

**CITY OF PALM BEACH GARDENS
CITY COUNCIL
Agenda Cover Memorandum**

**Meeting Date: November 3, 2016
Resolution 65, 2016**

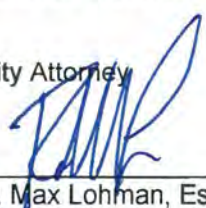

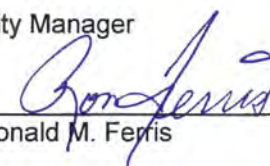
Subject/Agenda Item:

Site Plan and Major Conditional Use

Public Hearing and Consideration for Approval: A request for site plan approval for a 360,203-square-foot commercial mixed-use retail center on a 40.8-acre site. This petition also includes a request for a Major Conditional Use approval for a restaurant with drive-through within the Town Center (Parcel C) of the Alton Planned Community Development (PCD). The Town Center is located on the northeast corner of the Donald Ross Road and Alton Road intersection, and the Alton PCD is generally located south of Donald Ross Road, north of Hood Road, and east and west of Interstate 95.

Recommendation to APPROVE

Recommendation to DENY

<p>Reviewed by: Director of Planning and Zoning  Natalie M. Crowley, AICP Development Compliance and Zoning Manager  Bahareh Wolfs, AICP City Attorney  R. Max Lohman, Esq.</p>	<p>Originating Dept.: Planning & Zoning: Project Manager  Peter Horneinz, AICP Principal Planner</p>	<p>Finance: Accountant  Tresha Thomas Fees Paid: <u>N/A</u></p>	<p>Council Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/ Conditions <input type="checkbox"/> Denied <input type="checkbox"/> Continued to: _____</p>
	<p><input checked="" type="checkbox"/> Quasi – Judicial <input type="checkbox"/> Legislative <input checked="" type="checkbox"/> Public Hearing</p>	<p>Funding Source: <input type="checkbox"/> Operating <input checked="" type="checkbox"/> Other <u>N/A</u></p>	
	<p>Advertised: <input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required Date: 10/19/2016 Paper: Palm Beach Post</p>	<p>Budget Acct.#: <u>N/A</u> Contract/Agreement: Effective Date: <u>N/A</u></p>	<p>Attachments:</p> <ul style="list-style-type: none"> • Development Application • Project Narrative • Location Map • Resolution 65, 2016
<p>Approved By: City Manager  Ronald M. Ferris</p>	<p>Affected parties: <input type="checkbox"/> Notified <input checked="" type="checkbox"/> Not Required</p>	<p>Expiration Date: <u>N/A</u></p>	

EXECUTIVE SUMMARY

The subject petition is a request for site plan approval for the remaining vacant 40.80 acres of the Alton PCD Town Center District to construct the commercial retail portion of the Alton Town Center. The Alton Town Center District, identified as Parcel C on the PCD master plan, was approved to contain a mixture of uses that include commercial, office and residential. Two (2) projects previously approved by the City Council (Alton Neighborhood 1 and Atlantico) for the Town Center District were residential projects, and this petition seeks to fulfill the intent of the district through the provision of the commercial center.

The site plan consists of a 40.8-acre site with approximately 360,203 square feet of commercial retail development. Included within this commercial retail space is a grocery store, fitness center, a home improvement store, a gas station with a carwash, a variety of general retail uses, restaurant uses, a restaurant with drive-through (major conditional use) and a financial institution with a remote drive-through. The project's design is centered on the required Primary and Premier Streets incorporating the "main street" concept along with the central square designed for a multitude of pedestrian-oriented activities. The Applicant is requesting four (4) waivers. Staff is recommending approval of all four (4) waivers. A detailed analysis of the waivers and project is included in the following staff report.

Staff recommends approval of the Site Plan and Major Conditional Use.

BACKGROUND

On April 1, 2010, the City Council adopted Resolution 80, 2009, thereby approving the Application for Development Approval (ADA) for the Scripps Florida Phase II/Briger Tract Development of Regional Impact (DRI). The development program for the DRI consists of 2,600,000 square feet of industrial/research and development/biotech, 1,200,000 square feet of office, 300 hotel rooms, 500,000 square feet of retail development, and 2,700 dwelling units on approximately 681 acres located along the south side of Donald Ross Road, north of Hood Road, and east and west of Interstate 95.

On August 15, 2013, the City Council adopted Resolution 44, 2013, approving a Notice of Proposed Change (NOPC) to the DRI Development Order to modify three (3) conditions of approval related to intersection improvements: Donald Ross Road and Heights Boulevard Extension, and Donald Ross Road and the entrance to Florida Atlantic University, (FAU).

On April 3, 2014, the City Council adopted Resolution 21, 2014, approving modifications to utility easements, roadway cross-sections and buffers, lakes, open space, and revisions to conditions of approval.

On June 5, 2014, the City Council adopted Resolution 30, 2014, approving a site plan to allow the development of 360 townhome and single-family dwelling units within Parcel C – Town Center District.

On August 8, 2015, the City Council adopted Resolution 31, 2015, approving a Community Design Elements and signage package for the Alton PCD.

On October 8, 2015, the City Council adopted Resolution 44, 2015 and Resolution 45, 2015, approving a PCD conversion of four (4) multifamily dwelling units to three (3) additional apartment units for a total of 353 apartment units for the Atlantico at Palm Beach Gardens site plan within Parcel C – Town Center District.

On October 8, 2015, the City Council adopted Resolution 46, 2015, approving the site plan for a 241,400-square-foot Center for Intelligent Buildings Technology Complex within Parcel B of the Alton PCD.

On April 7, 2016, the City Council adopted Resolution 24, 2016, approving a site plan amendment to reduce the Center for Intelligent Buildings Technology Complex building square footage to 224,066 square feet, and to provide architectural, site, and landscape plan modifications in Parcel B of the Alton PCD.

On May 5, 2016, the City Council adopted Resolution 31, 2016, approving a site plan for a 3.5-acre community recreation and fitness facility to serve the residents of the Alton Community. The facility is located at the intersection of Alton Road and Grandiflora Road.

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LAND USE & ZONING

The land-use designation of the subject site, as shown on the City's Future Land Use Map, is Mixed Use (MXD) with a zoning designation of Planned Community Development (PCD) overlay with an underlying zoning designation of Mixed Use (MXD). The existing land uses and zoning designation of the properties surrounding the subject site are provided in the table below. This particular site is located within Parcel C of the PCD.

Table 1. Existing Zoning & Future Land-Use Designations

EXISTING USE	ZONING	LAND USE
<u>Subject Property</u> Alton DRI	Planned Community Development (PCD) / Mixed Use (MXD)	Mixed Use (MXD)
<u>North</u> Donald Ross Road Abacoa DRI (Town of Jupiter)	Mixed Use (MXD)	Mixed Use (MXD)
<u>South</u> Mandel Jewish Community Center	Planned Unit Development (PUD) / Mixed Use (MXD)	Mixed Use (MXD)
Westwood Lakes and Gardens	Planned Unit Development (PUD) / Residential Medium (RM)	Residential Medium (RM)
Trevi at the Gardens	Planned Unit Development (PUD) / Residential Medium (RM)	Residential Medium (RM)
Franklin Academy	Planned Unit Development (PUD) / Public/Institutional (P/I)	Mixed Use (MXD)
<u>East</u> Legends at the Gardens	Planned Unit Development (PUD) / Mixed Use (MXD)	Mixed Use (MXD)
San Michele	Planned Unit Development (PUD) / Residential Low Density 3 (RL-3)	Mixed Use (MXD)
Benjamin School	Planned Unit Development (PUD) / Public Institutional (P/I)	Residential Low (RL)
<u>West</u> East Pointe Country Club (Palm Beach County)	Mixed Use (MXD) Planned Community Development (PCD)	Mixed Use (MXD)

CONCURRENCY

Traffic

Traffic Concurrency has been reserved through the PCD/DRI approval process. The DRI utilized a Proportionate Share Agreement in order to meet the local traffic concurrency and address the impacts from the DRI. The Master Developer entered into a Proportionate Share Agreement with Palm Beach County, the Florida Department of Transportation, the Florida Turnpike Enterprise Authority, and the City of Palm Beach Gardens. The agreement addresses local traffic concurrency requirements and the specific traffic improvements that must be made to address the impacts of the DRI. The Proportionate Share Agreement contains a scheduled list of roadway improvements and payments that are required by the Applicant as the vehicle trip thresholds are triggered. The DRI has been phased based upon the permitted amount of trips, and once each trip threshold is triggered, the next Proportionate Share payment is required for building permits to be approved. In order to monitor the vehicle trips generated by the individual site plans proposed within the DRI and the required Proportionate Share payment, conditions of approval were included in Resolution 80, 2009 that require a trip generation analysis be performed prior to each site plan approval. The trip generation analysis for subsequent site plans are cumulative and must include all currently valid previous site plan approvals. If a trip generation analysis demonstrates that development of the site plan under consideration would generate any vehicle trips over the established vehicle trip threshold, then the subsequent Proportionate Share payment is required.

The Town Center (Parcel C) is permitted by the approved master plan to have a maximum of 450,000 square feet of retail use. The Applicant submitted a trip conversion analysis that utilized a conversion matrix and methodology included in the traffic analysis approved with the DRI to convert the 450,000 square feet of approved retail use to the specific development program proposed with this site plan.

The trip conversion analysis was reviewed by the City's traffic consultant to verify that the proposed development program will generate approximately 393 AM Peak-Hour trips, and 841 PM Peak-Hour trips. The maximum number of vehicle trips allowed under Phase 1 of the DRI include 1,369 AM Peak-Hour trips and 2,174 PM Peak-Hour trips. The proposed development program does not generate enough vehicle trips to go over the established threshold for Phase 1; therefore, the site plan is in compliance with the DRI/PCD and Proportionate Share Agreement.

Drainage

The drainage system for the project has been designed in accordance with the City's and South Florida Water Management District's requirements. The system consists of a series of interconnected catch basins and pipes that connect to the master storm water system for the PCD.

PROJECT DETAILS

The project is required to be designed based on the design concepts and principals outlined in the design guidelines approved with the PCD master plan via Resolution 1, 2010. These concepts and principals include the creation of pleasant and interconnected outdoor spaces and uses through the provisions of an integrated roadway network, building location to define public spaces, and the creation of a pedestrian-friendly environment with the provision of shelter or shade for comfort.

The site is located in the northern most section of the Town Center District adjacent to Donald Ross Road on the south side and directly north of the Town Center District lake and Atlantico project. The site plan design consists of 16 buildings that vary in size and footprint. The buildings are located along the required Premier Street ("Main Street"), Primary Street, and Secondary Streets identified in the design guidelines. The proposed development program consists of 221,561 square feet of general retail uses that include a grocery store, fitness center, personal services, specialty and quality restaurants, a 119,361-square-foot home improvement store (which includes a 19,379-square-foot garden center), 2,006 square feet of restaurant with drive-through, a 3,475-square-foot financial institution with drive-through, a gas station with a carwash, and approximately 13,800 square feet of outdoor seating area on a 40.80-acre site for a total of 360,203 square feet of development. The Applicant has identified the large anchor tenants to be within Building 'A' as a grocery store, Building 'S' as a fitness center, and Building 'T' as the home improvement store. The remaining buildings may contain a variety of commercial and retail uses consistent with the List of Permitted Uses for the Town Center District approved with the original PCD master plan.

Project Design

Overall Design Theme

It is important that the Town Center Commercial area has a level of design consistency and compatibility throughout the project as it relates to architectural style, building colors, construction materials, and architectural details. To this end, the Applicant has provided architectural building elevations, illustrations and details of common space elements and features, pavement treatments, and landscaping that have been reviewed by Staff to ensure that the overall design theme within the commercial area is carried out across all buildings and amenities. The Applicant is proposing a contemporary design theme utilizing linear and right-angular design elements. Many of the construction materials for the project's buildings, hardscape features, landscape species, roadway pavers, and site lighting either match or are designed to be compatible with many of the materials throughout the Alton PCD. These include corten steel, simulated porcelain tile wood product, paver bricks, Japanese Blueberry street trees, and consistent light fixture designs. Staff has determined that the overall design theme is consistent.

Interconnectivity within the Town Center District

A key design principal to facilitating and promoting a pedestrian friendly and oriented Town Center District is interconnectivity between individual projects and uses. The construction of the land bridge over the Town Center lake, the Premier Street, and Primary Street, as identified on the Alton master plan, will provide the necessary infrastructure for the residents living in the residential areas to the south (Neighborhood 1 and Atlantico) of the Town Center Commercial area via the land bridge and other local roads without having to travel along Alton Road.

Roadway Network

Access

The project has three (3) points of access from Donald Ross Road. The eastern and western most project access points along Donald Ross Road onto the project's Secondary Streets will be right-in and right-out only. The central project access point along Donald Ross Road onto the Premier Street will be aligned with the Florida Atlantic University (FAU) entrance and will provide full access and be signalized. The Applicant will be responsible for providing a surety bond for the traffic signal and issuing construction contracts for the removal of the median restriction on Donald Ross Road.

There will be two (2) project access points along Alton Road. The northern most access point onto the project's Secondary Street will be a right-in and right-out only. The southern access point onto the Primary Street will be full access. In addition, all of the access points along Donald Ross Road accommodate pedestrian access via the 12-foot pathway within the 55-foot-wide parkway buffer, and the Alton Road access points are interconnected into the Alton PCD's internal sidewalk network along Alton Road providing for significant pedestrian access.

Integrated Roadway Network

The Town Center Commercial area is based on a gridded design of roadways and driveways running parallel and perpendicular to each other. These roadways include the remaining north portion of the Premier Street, the completion of the Primary Street, and smaller Secondary Streets. Each street design includes minimum five-(5) foot-wide pedestrian sidewalks, and all the sidewalks along the Premier Street and Primary Street have wider eight-(8) to 15-foot wide sidewalks and pedestrian areas. To further facilitate and encourage pedestrian activities within the Town Center Commercial Area, the Applicant is providing a variety of hardscape shade features, including trellis and canopies with benches to provide comfort and relief to pedestrians. These features have been located strategically at midblock street crossings and various intervals along the project's streets. In addition, all entrances and exits from the project's buildings are connected by an integrated sidewalk system throughout the Town Center Commercial Area and ultimately connecting the Alton PCD wide sidewalk network.

Premier Street

The Premier Street runs north to south and begins at Donald Ross Road traveling south, splitting the Atlantico multifamily residential community in the middle, and completes at its intersection with the residential road Faulkner Terrace in Neighborhood 1. The remaining north portion of the Premier Street will be completed with this project. This section of the street will be constructed with paver bricks. The paver bricks will provide an enhanced street texture and aesthetics and identify that a person has entered a commercial area. The street features wide pedestrian sidewalks along both sides, hardscape amenities such as benches, decorative street lights, shade structures, shaded gathering areas and street trees to provide additional shade, and on-street parking. Pedestrian crosswalks are identified through the use of a contrasting paver brick color and style from the color and style used to construct the street, thus alerting drivers of the potential for pedestrians. The street successfully connects the Town Center Commercial Area, the multifamily and single-family neighborhoods of the Town Center District.

Primary Street

The Primary Street will provide east to west access from Alton Road to the Town Center Commercial Area and the Atlantico multifamily residential community, completing at its intersection with the Premier Street at the roundabout. The street provides access to the project's central plaza from Alton Road and divides the Alton Town Center Commercial Area from the Atlantico multifamily residential community. The Primary Street is designed with eight-(8) foot-wide pedestrian sidewalks on each side, on-street parking, bicycle lanes, decorative street lighting, pedestrian sitting areas, and small plazas, etc. The Applicant is also going to provide signature art pieces along this street.

Roundabout

The intersection of the Premier Street and Primary Street is identified by a roundabout that will be constructed with decorative concrete and paver bricks and features landscaping with an artistic 10-to 12-foot-tall fountain in the middle. The roundabout has been carefully designed and reviewed by Staff to provide an aesthetically pleasing viewing vista looking north or south along the Premier Street and looking east along the Primary Street. It is also visible from the Town Center Commercial Area's central plaza and the adjacent Atlantico multifamily apartments.

Secondary Streets

The project's Secondary Streets provide both east to west access from Alton Road through the project and north to south access from Donald Ross Road through the project. The northern most Secondary Street that runs east to west provides access to the buildings that front along Donald Ross Road and parking areas in the center of the project. The street includes five- (5) foot-wide sidewalks on each side constructed from paver bricks, a large quantity of Japanese Blueberry trees as street trees, and a low Podocarpus planting material to screen the vehicle parking areas that abut the north

and south sides of the street. The other two (2) Secondary Streets provide north to south access through the site, including five-(5) foot-wide sidewalks on each side constructed of paver bricks, on-street parking, triple trunk Montgomery Palms and Green Buttonwood trees. These Secondary Streets are designed to provide a comfortable experience for pedestrians.

Architecture

The design guidelines include architectural guidelines to ensure a level of consistency and compatibility to the overall architectural style and design within the commercial area of the Town Center District. The architectural guidelines allow for a degree of flexibility in their application of design components and planning principles for high-visibility locations versus less visible locations, thus establishing a gradation of design applicability. The architectural design guidelines contain nine (9) building design principles that include, but are not limited to, requiring buildings at street corners to be significant structures, enhancing public and semi-public spaces with buildings, relating buildings to streets, providing buildings that shelter pedestrians from the sun, and using massing and roof forms to emphasize the location of entries. In addition to these building design principles, there are architectural design requirements regarding façade/wall height transitions, design treatments (i.e., canopies, overhangs, ornamental details, decorative towers, articulated facades, etc.), preferred exterior wall finishes and roof materials, and specifics for corner lots. To this end, the Applicant's architectural design integrates the above building design principles and architectural design requirements.

The Applicant is incorporating a contemporary styled architecture for the project's buildings and overall design theme. The application of linear building design elements in conjunction with the street grid network and right angular open space areas and plazas all contribute to the contemporary atmosphere and theme of the project.

Architectural design elements include towers, building roof step backs, and vertical and horizontal scoring and application of building materials. Other design features and construction materials include horizontal roof overhangs, thin horizontal metal awnings, metal roof cornices, stone veneer, porcelain tile with a wood grain finish, smooth stucco building finishes, exterior metal panel systems, and other aluminum products with a corten steel finish. The application of building colors are intended to contrast against the above textured materials to give the project visual interest.

Orientation of Buildings

The site plan depicts the size, location, and orientation of the buildings throughout the project along with the identified Premier Street, Primary Street, and Secondary Streets. The Applicant is proposing to locate eight (8) of the project's 16 buildings adjacent to the Donald Ross Road parkway buffer. These include Buildings 'D', 'E', 'F', 'G', 'H', 'I', 'J', and 'K'. The master developer designed the parkway buffer to be pedestrian oriented through the inclusion of a 12-foot-wide meandering pathway, pedestrian scale lighting, and small pedestrian seating areas and plazas located at various locations.

Buildings 'L', 'M', 'O', 'P', 'Q', 'R', and 'S' have been oriented towards the Premier Street to create and define the streetscape. Buildings 'A', 'C', and 'T' are located on opposite sides of the project. These buildings are for the large format grocery store and home improvement store. Their locations anchor the east and west boundaries of the project. A brief description of these buildings and their anticipated uses is described below.

Moving from west to east on the project's site plan along Donald Ross Road, Building 'D' anchors the corner of Alton Road, and Donald Ross Road is anticipated to be a single-tenant restaurant user; Building 'E' is a multi-tenant building that includes the restaurant with drive-through use on the west side of the building; Buildings 'F' (single-tenant restaurant) and 'G' (multi-tenant) have been oriented to create a public plaza that can be accessed from the parkway buffer meandering pathway; Building 'H' (multi-tenant) and Building 'I' (single-tenant restaurant) are also oriented to create a second public plaza accessed from the parkway buffer meandering pathway; Building 'J' is anticipated to be a financial institution that provides a remote drive-through located within the parking area; and finally the eastern most building that is adjacent to the Florida Power & Light property is proposed to be a gas station with a carwash. With the locations of these buildings along the parkway buffer and four (4) of the buildings oriented to create public pedestrian plazas, the Applicant is achieving a key design principle identified in the design guidelines that is to locate buildings to clearly define public spaces.

Buildings 'L', 'M', 'O', 'P', 'Q', 'R', and 'S' are oriented to create and define the Premier Street streetscape. At the intersection of the Premier and Primary Street, at the roundabout, the ends of Buildings 'Q' and 'R' define the large 42,981-square-foot central plaza that is a main feature of this project. Across the Premier Street, Building 'S' anchors the east side providing building massing and definition to this public space.

Central Plaza

The design guidelines require the Town Center District to include a central square that is to be located adjacent to the Premier Street and designed for a multitude of pedestrian-oriented activities. The square is required to be a minimum of 20,000 square feet. Generally, the Applicant is proposing a central plaza in the northwest corner of the intersection of the Premier Street and Primary Street. The boundaries and space of the central plaza are defined by Buildings 'Q', 'R', and 'S'. The design of the plaza includes Wild Date Palms and Japanese Blueberry Trees in raised planters, a water wall, and other pedestrian-oriented hardscape features arranged to create energy and gathering areas. Buildings 'Q' and 'R' help to define the plaza space and are anticipated to be utilized by restaurant uses that include large covered outdoor patio seating. This collocation of uses will provide a pedestrian plaza fulfilling the intent of the design guidelines for this area.

Landscaping and Buffering

Landscape Buffers

The approval of the Alton PCD master plan established the required PCD buffers and road right-of-way buffers for the PCD's internal collector roads that include Alton Road, Grandiflora Road, and Pasteur Boulevard. The master developer has constructed both the 55-foot Donald Ross Road parkway buffer and 30-foot Alton Road right-of-way buffer adjacent to this project. The Donald Ross Road parkway buffer features a 12-foot meandering pathway, pedestrian amenities and lighting, and a landscape pallet of clusters of native trees and palms and understory plantings consisting of Live Oak Trees, Slash Pine Trees, Sabal Palm Trees, Dahoon Holly Trees, Way Myrtle Trees, in addition to a variety of shrubs and grasses. The Alton Road right-of-way buffer adjacent to this project includes signature specimen Date Palms, Live Oaks, and a variety of ground covers and grasses.

The contemporary design theme of this project based upon the gridded street format provides many opportunities for creating focal point views within the project. To this end, the Applicant is utilizing the Medjool Palm as a signature tree within the development. These trees have been located at all vehicle entry points into the project, vehicle parking areas, street intersections, and is also the primary landscape streetscape element along the Premier Street in addition to the Wild Date Palms to provide variety. The palm tree palette used to achieve the Applicant's desired landscape theme includes Medjool Date Palms, Christmas Palms, Wild Date Palms, Royal Palms, and triple Montgomery Palms. Along the Secondary Streets, the Applicant makes extensive use of the Japanese Blueberry Tree which can be found throughout the Alton development providing a level of cohesiveness and consistency among the projects. Finally, within the parking area landscape islands, the Applicant is utilizing Gumbo Limbo Trees, Green Buttonwood Trees, and Ligustrum Trees. The Primary Street that divides this project from the adjacent Atlantico residential project has been designed to include Live Oak Trees, to remain consistent with the streetscape design of Atlantico.

Primary Street Landscape Buffer

On the north side of the Primary Street beginning at Building 'A' and continuing to the central plaza, the Applicant is proposing a 22-foot to 39-foot landscape buffer to fully screen the back of store operations for Buildings 'A' and 'C' and 'O', 'P', and 'Q'. The landscape buffer is being planted with Live Oak Trees, Areca Palm Trees, clusters of Sabal Palm Trees, Ligustrum Trees, large Clusia hedges, and additional shrubs and ground cover; and behind all of the landscaping the Applicant is including a 12-foot-tall screen wall. This thick and heavily landscaped buffer will provide adequate screening of the back of house operations and uses for those buildings.

Parking

Vehicle Parking

Based on the Applicant's proposed development program, the project is required to have 1,723 parking spaces utilizing the Mixed Use/Shopping Center parking ratio of one (1) space per 200 square feet pursuant to Section 78-345 of the City's Code. The site plan is providing a total of 1,679 parking spaces that are 9.5-foot by 18.5-foot in size. The proposed 1,679 parking spaces are less than the total required amount of parking spaces by 44 spaces. The Applicant is requesting a waiver for a reduction in the required number of parking spaces. Please see Waiver Section.

Bicycle Parking

The Applicant is providing 84 bicycle parking spaces in 20 individual bicycle racks in various locations around the project. This total of 84 spaces is consistent with the design guideline requirement that the number of bicycle spaces provided be five percent (5%) of the total gross number of parking spaces. The location of the bicycle racks was chosen based on convenience and accessibility for people riding bicycles. For example, bicycle racks were located between two (2) buildings, close to building entrances, and around the central plaza.

Lighting

The design guidelines require project lighting to utilize decorative lamp posts and lighting fixtures to serve pedestrian and multimodal areas and be consistent with lighting requirements set forth in Section 78-182 of the City's Code. To this end, the Applicant has submitted photometric plans that have been reviewed by Staff. The Applicant is including pedestrian scale lighting poles and fixtures that are consistent with the other pedestrian lighting found throughout the Alton project. This will provide a cohesive design and compatibility throughout the Town Center District and PCD. The photometric plans also contain details on the parking area lighting. Staff has reviewed these poles and fixtures and found them to be compatible with the proposed development. In addition to this project lighting, the Applicant will be providing building accent lighting and up lighting in the project's common and open space areas and to accent the project's signature hardscape features and plazas.

Signage

The Applicant is required to provide a master signage plan, as a separate application, to be reviewed and approved by the Development Review Committee (DRC), the Planning, Zoning, and Appeals Board (PZAB), and the City Council for this project. The master signage plan will include monument signs, wall signs, directional signs, etc.

MAJOR CONDITIONAL USE ANALYSIS

A Conditional Use Analysis has been provided as part of the application in accordance with Section 78-52(d), *Conditional uses*, of the Land Development Regulations for the proposed restaurant with drive-through use.

The following is Staff's analysis based on the criteria set forth in Section 78-52(d), *Conditional Uses*:

(1) Comprehensive Plan. The proposed use is consistent with the comprehensive plan.

The comprehensive plan designation for this site is Mixed Use Development District (MXD). The use is consistent and compatible with the comprehensive plan.

(2) Chapter requirements. The proposed use is consistent with all applicable requirements of this chapter.

The proposed use is consistent with all applicable requirements of Chapter 78 of the City's Code.

(3) Standards. The proposed use is consistent with the standards for such use as provided in Section 78-159.

The proposed use is in compliance with the requirements set forth in Section 78-159 of the City's Code based on the requested waivers approved by City Council.

(4) Public welfare. The proposed use provides for the public health, safety, and welfare by:

a) Providing for a safe and effective means of pedestrian access;

The proposed project provides for pedestrian sidewalks along the south part of the building.

b) Providing for a safe and effective means of vehicular ingress and egress;

The site has adequate access and includes a vehicle by/pass lane as required.

c) Providing for an adequate roadway system adjacent to and in front of the site;

The project includes an adequate roadways system adjacent to and in front of the site.

d) Providing for safe and efficient onsite traffic circulation, parking, and overall control; and

The proposed site plan addresses all safety concerns and provides efficient on-site vehicle circulation and pedestrian access.

e) Providing adequate access for public safety purposes, including fire and police protection.

The site has been designed to address all comments and concerns from both the fire and police departments.

(5) Screening and buffering. The proposed use utilizes such techniques as landscaping, screening, buffering, site or building design, or business operation procedures to mitigate impacts on surrounding properties, including such impacts as:

a) Noise;

The proposed restaurant with drive-through is required to meet all noise requirements outlined in the City's Performance Standards (Section 78-661 of the City Code). The building that includes the drive-through use is located within the Town Center Commercial Area, and is over 600 feet from the nearest residential building in the adjacent residential project.

b) Glare;

No activities will be conducted outside that would create any glare and the site's lighting is consistent with the City's lighting regulations.

c) Odor;

The site design provides the required number of dumpsters and trash compactors. Waste management will regularly pick up waste. Solid waste collection for commercial typically occurs bi-weekly.

d) Ground-, wall-, or roof-mounted mechanical equipment;

All ground- wall- and roof-mounted mechanical equipment will be screened, consistent with the standards found in the City's Land Development Regulations.

e) Perimeter, interior, and security lighting;

The proposed project will meet the lighting standards of the City's Land Development Code.

f) Signs;

The Applicant will be providing a master signage program under separate cover at a later date.

g) Waste disposal and recycling;

Waste disposal and recycling will be regularly picked up by the waste management system, consistent with other businesses with the Town Center Commercial Area.

h) Outdoor storage of merchandise and vehicles;

No outdoor storage of merchandise or vehicles is proposed with this use.

i) Visual impact; and

The project's setbacks and proposed landscape buffers will mitigate some of the visual impact the proposed use may create. In addition, the Applicant is exceeding the required architectural standards to further mitigate the visual impact.

j) Hours of operation.

The proposed retail and restaurants will hold normal business hours. No 24-hour restaurants are proposed. A condition of approval will be included in the development order restricting the hours of operation to ensure no 24-hour restaurants will operate.

(6) Utilities. The proposed use minimizes or eliminates the impact of utility installation, including underground and overhead utilities, on adjacent properties.

The proposed use will be part of a new large commercial development that will feature new underground utilities constructed to serve this use and all other uses.

(7) Dimensional standards. The proposed use meets or exceeds all dimensional requirements required by the chapter.

The proposed use is located within a commercial multi-tenant building that meets the dimensional standards of this chapter.

(8) Neighborhood plans. The proposed use is consistent with the goals, objectives, policies, and standards of neighborhood plans.'

Not applicable.

(9) Compatibility. The overall compatibility of the proposed development with adjacent and area uses, and character of area development.

The Town Center Commercial Area is part of the Town Center District within the Alton Mixed Use PCD and approved for commercial, residential, and other non-residential uses. The development of this area as a commercial development was previous planned and anticipated.

(10) Patterns of development. The proposed use will result in logical, timely, and orderly development patterns.

The development of the Town Center Commercial Area is consistent with the original intent and approval of the Alton Mixed Use PCD. The two (2) other projects approved within the Town Center District are residential projects, and the development of the commercial area completes the anticipated development pattern. The drive-through use will not be visible from Donald Ross Road.

(11) Purpose and intent. The proposed use will be in harmony with the general purpose and intent of this chapter and the goals, objectives, and policies of the city.

The proposed uses are consistent with the list of permitted uses approved with Resolution 1, 2010 that approved the Alton Mixed Use PCD; therefore, they are

consistent with the intent of this chapter and the goals, objectives, and policies of the City.

(12) Adverse impact. The design of the proposed use and structures will minimize any adverse visual impacts or impacts caused by the intensity of the use.

The proposed use and the associated drive-through lanes are being significantly screened from public view along Donald Ross Road. In addition, the use is located along a Secondary Street and not the project's main street, further mitigating the potential impacts.

(13) Environmental impact. The design of the proposed use minimizes any adverse impacts that may be created, including impacts on environmental and natural resources including air, water, stormwater management, wildlife, vegetation, and wetlands.

The environmental impacts associated with the development of this project have been previously mitigated and shall comply with the approval of the DRI and PCD development order in 2010.

Waiver Request/Staff Analysis

The Applicant is requesting four (4) waivers with this petition.

	Design Guidelines Section	Requirement	Proposed	Waiver	Staff Support
1	Section B.5.c.(7)(b): Primary Street Setbacks	Building located within ten (10) feet of street build-to-line	None	No building	Approval
2	Section B.5.c.(7)(b): Primary Street Setbacks	80% of building elevation located within ten (10) feet of streets build-to-line	None	No building elevation	Approval
3	Section B.5.c.(7)(c): Secondary Streets	Provide five-(5) foot bicycle lane and On-Street Parking	Removal of bicycle lane and on-street parking on north-south Secondary Streets only	No bicycle lane and no on-street parking on east-west Secondary Street	Approval
4	Section B.5.c.(4): Parking Regulations	Total parking spaces required = 1,723	Total parking spaces proposed = 1,679	44 parking spaces or 2.5%	Approval

- 1) The Applicant is requesting a waiver from design guidelines Section B.5.c.(7)(b), *Primary Streets*, which requires buildings to be located within ten (10) feet of the build-to-line along the Primary Street. The Primary Street, as identified on the PCD master plan, and discussed in the sections of this Staff report, connects Alton Road to the Town Center Commercial Area and the Atlantico residential community, and

terminates at the intersection with the Premier Street in a roundabout. Build-to-lines are a line at which construction of a building is to occur. The Applicant is seeking relief from this requirement to provide for the necessary back-of-store operations that include loading, unloading, trash and refuse storage, etc., for Buildings A/C and O/P/Q. Access to the rear of these buildings will be from the service alleyway that runs parallel to the Primary Street. To mitigate, buffer, and screen these back-of-store operations the Applicant has designed a landscape and hardscape buffer that varies in width from 22 feet to 39 feet in some locations. The landscape portion of this buffer will be thickly planted with Live Oak Trees, Areca Palms Trees, clusters of Sabal Palm Trees, Ligustrum Trees, large Clusia hedges, and additional shrubs and ground cover; and behind all of the landscaping, the Applicant is including a 12-foot-tall screen wall. In addition, in order to continue to "activate" the street for pedestrians and fulfill the intent of the required build-to-lines, the buffer includes an eight-(8) foot-wide meandering pathway, decorative pedestrian street lighting, seating areas with signature shade structures, and locations for future outdoor art. Staff has worked with the Applicant to ensure that the view corridors of these rear service areas from the pedestrian level street views and from the adjacent Atlantico residential project are sufficiently screened. *Staff recommends approval.*

- 2) The Applicant is requesting a waiver from design guidelines Section B.5.c.(7)(b), *Primary Streets*, which requires 80% of building elevations to be located within ten (10) feet of the Primary Street's build-to-line. As discussed above, the Applicant is seeking relief from this requirement in order to provide for the necessary back-of-store operations for buildings A/C and O/P/Q via the service alleyway. The Applicant is mitigating, buffering, and screening these back-of-house operations and implementing design strategies and techniques to "activate" the street as described above. *Staff recommends approval.*
- 3) The Applicant is requesting a waiver from design guidelines Section B.5.c.(7)(c), *Secondary Streets*, which requires Secondary Streets to incorporate bicycle lanes and on-street parking spaces. The Applicant is seeking relief from the requirement for bicycle lanes along the project's Secondary Streets. Right-of-way size constraints are a factor, along with the function of these streets. These facilities function more like driveways than as streets. The Applicant is designing the Secondary Streets to be low speed to allow the shared use of the vehicle travel lane with bicycles. To achieve this shared use, the Secondary Streets will be constructed of paver bricks, pedestrian crosswalks constructed with contrasting paver brick designs and colors, providing street trees located less than 20 feet on center, and hardscape features like benches and shade structures all designed to slow vehicle speeds. The Applicant is also seeking relief from the requirement for on-street parking spaces along the east-west Secondary Street. Due to size constraints, the provision of on-street parking had a significant impact on the size and quantity of landscaping that could be located within the street. In lieu of providing on-street parking spaces along this roadway, the Applicant is providing additional landscaping and wider tree lawns. The Applicant is providing on-street parking along the north-south Secondary Streets. *Staff recommends approval.*

- 4) The Applicant is requesting a waiver from design guidelines Section B.5.c.(4), *Parking Regulations*, which requires projects within the Town Center District to adhere to the City's parking requirements in Section 78-345 of the City's Code. The Applicant's site design includes approximately 1,679 parking spaces distributed throughout the site in both traditional parking fields and on-street parking. The project is required to provide 1,723 parking spaces calculated using a parking ratio of one (1) space per 200 square feet of development that is the parking rate permitted for Mixed Use/Shopping Center in the City's Code. Staff supports the Applicant's waiver request. The Town Center Commercial Area project is part of the larger Town Center District within the Alton PCD. It is being designed as an urban project that promotes and encourages people to walk and bike to the project and is consistent with industry standards. The project includes a variety of synergistic uses that require parking at different times. As previously discussed in this Staff report, the Town Center District has been designed to provide vehicular and pedestrian connectivity throughout the Mixed Use District. This will facilitate and promote the residents residing in the two (2) residential projects to the south of the Town Center Commercial Area the ability to walk or ride a bicycle to utilize the many convenient uses within the Town Center Commercial Area. In addition, the future residential neighborhoods in Alton PCD Parcels D, E, and F will be interconnected via the Alton PCD's extensive sidewalk network through the neighborhoods and along the PCD's collector road system (i.e., Alton Road, Grandiflora Road, and Pasteur Boulevard). *Staff recommends approval.*

PLANNING, ZONING, AND APPEALS BOARD (PZAB)

On August 9, 2016, the PZAB recommended approval of the subject petitions to the City Council by a vote of 7 to 0.

STAFF RECOMMENDATION

Staff recommends **APPROVAL** of Resolution 65, 2016 as presented.

CITY OF PALM BEACH GARDENS
DEVELOPMENT APPLICATION

Planning and Zoning Department
CITY OF PALM BEACH GARDENS
10500 North Military Trail
Palm Beach Gardens, FL 33410
(561) 799-4243 Fax (561) 799-4281

Request:

- | | |
|--|--|
| <input type="checkbox"/> Planned Community Development (PCD) | <input type="checkbox"/> Annexation |
| <input type="checkbox"/> Planned Unit Development (PUD) | <input type="checkbox"/> Rezoning |
| <input type="checkbox"/> Amendment to PCD, PUD or Site Plan | <input checked="" type="checkbox"/> Site Plan Review |
| <input type="checkbox"/> Conditional Use | <input type="checkbox"/> Concurrency Certificate |
| <input type="checkbox"/> Amendment to the Comprehensive Plan | <input type="checkbox"/> Time Extension |
| <input type="checkbox"/> Administrative Approval | <input type="checkbox"/> Miscellaneous |
| <input type="checkbox"/> Administrative Appeal | <input type="checkbox"/> Other <input type="text"/> |

Date Submitted:

Project Name: Alton Town Center

Owner: NADG/Brock (Alton PBG) LP

Applicant (if not Owner): NADG/Brock (Alton PBG) LP

Applicant's Address: 400 Clematis St., #210, West Palm Beach Telephone No. (561) 578-8700

Agent: Ken Tuma @ Urban Design Kilday Studios

Contact Person: Ken Tuma or Marty R.A. Minor E-Mail: ktuma@udkstudios.com

Agent's Mailing Address: 610 Clematis Street, Suite CU-02, West Palm Beach, FL 33401

Agent's Telephone Number: (561) 366-1100

FOR OFFICE USE ONLY	
Petition Number: _____	Date & Time Received: _____
<u>Fees Received</u>	
Application \$ _____	Engineering \$ _____
Receipt Number: _____	

Architect: GliddenSpina and Partners

Engineer: Kimley-Horn and Associates

Planner: Urban Design Kilday Studios

LandscapeArchitect: Urban Design Kilday Studios

Site Information:

Note: Petitioner shall submit electronic digital files of approved projects. See attachment for details.

General Location: Southeast corner of Donald Ross Road and Alton Road

Address: _____

Section: 26 Township: 41 South Range: 42 East

PropertyControl Number(s): 52424126010030030

Acreage: 40.8 Current Zoning: PCD (MXD) RequestedZoning: PCD (MXD)

Flood Zone ^B _____ Base Flood Elevation (BFE) – to be indicated on site plan _____

Current Comprehensive Plan Land Use Designation: MXD

Existing Land Use: Vacant Requested Land Use: _____

Proposed Use(s) i.e. hotel, single family residence, etc.: _____
Commercial Town Center

Proposed Square Footageby Use: 192,778 commercial center

ProposedNumberandType of Dwelling Unit(s) i.e. single family, multifamily, etc. (if applicable):
Not applicable

Justification

Information concerning all requests (attach additional sheets if needed.)
{Section 78-46, Application Procedures, Land Development Regulations.}

1. Explain the nature of the request: See Project Narrative

2. What will be the impact of the proposed change on the surrounding area?

See Project Narrative.

3. Describe how the rezoning request complies with the City's Vision Plan and the following elements of the City's Comprehensive Plan - Future Land Use, Transportation, Housing, Infrastructure, Coastal Management, Conservations, Recreation and Open space, Intergovernmental Coordination and Capital Improvement.

This request is for Site Plan Approval and not a rezoning. This question does not apply to this request.

4. How does the proposed project comply with City requirements for preservation of natural resources and native vegetation (Section 78-301, Land Development Regulations)?

Preservation requirements were addressed with the approval of the Alton PCD.

5. How will the proposed project comply with City requirements for Art in Public Places (Chapter 78-261, Land Development Regulations)?

The applicant will address the Art in Public Places requirement prior to the issuance of the first Certificate of Occupancy.

6. Has project received concurrency certification?

Concurrency certification was granted with the adoption of the Alton PCD development order.

Date Received: April 1, 2010

Legal Description of the Subject Property

(Attach additional sheets if needed)

Or see attached deed for legal description.

Location

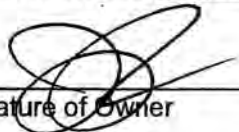
The subject property is located approximately 0⁰ mile(s) from the intersection of Donald Ross Road and Alton Road, on the north, east, south, west side of the intersection (street/road).

Statement of Ownership and Designation of Authorized Agent

Before me, the undersigned authority, personally appeared William Johnson who, being by me first duly sworn, on oath deposed and says:

1. That NADG/Brock (Alton PBG) LP is the fee simple title owners of the property described in the attached Legal Description.
2. That he is requesting a Site Plan Approval within the Town Center District of the Alton Planned Community Development in the City of Palm Beach Gardens, Florida.
3. That he appointed Ken Tuma of Urban Design Kilday Studios to act as authorized agent on his/her behalf to accomplish the above project.

Name of Owner: NADG/Brock (Alton PBG) LP



Signature of Owner

(561)578-8700

Telephone Number

Jeff W. Preston, Manager

Name/Title

(561)598-6612

Fax Number

400 Clematis Street, Suite 201

Street Address

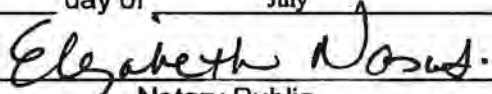
jwpreston@nadg.com

E-mail Address

West Palm Beach, FL 33401

City, State, Zip Code

Sworn and subscribed before me this 14th day of July 2015.



Notary Public

My Commission expires:

2/28/16



Applicant's Certification

I/We affirm and certify that I/we understand and will comply with the land development regulations of the City of Palm Beach Gardens, Florida. I We further certify that the statements or diagrams made on any paper or plans submitted here with are true to the best of my/our knowledge and belief. Further, I/we understand that this application, attachments, and application filing fees become a part of the official records of the City of Palm Beach Gardens, Florida, and are not returnable.

Applicant is: 

Signature of Applicant

Owner Ken Tuma

Print Name of Applicant

Optionee 610 Clematis Street, Suite CU-02

Street Address

Lessee West Palm Beach, FL 33401

City, State, Zip Code

Agent (561) 366-1100

Telephone Number

Contract Purchaser (561) 366-1111

Fax Number
Ktuma@udkstudios.com

E-Mail Address



Palm Beach Gardens Planning and Zoning Department
10500 North Military Trail, Palm Beach Gardens, FL 33410
561-799-4243

Permit # _____

Financial Responsibility Form

The owner understands that all City-incurred professional fees and expenses associated with the processing of this application request are ultimately the responsibility of the owner. A security deposit shall be deposited in an interest-bearing account with any accrued interest to be retained by the City of Palm Beach Gardens.

The owner and/or designee shall be invoiced on a monthly basis for professional fees such as, but not limited to, consultant engineering services, legal services, advertising costs, and/or any other costs attributable to the processing of the permit for which the City incurred during the previous month. The owner and/or designee shall reimburse the City within thirty (30) days from date of invoice. If payment is not received, the City may utilize the security deposit for re-imbursement purposes. All activities related to the pending permit(s) will cease until any outstanding invoices are paid.

The owner/designee further understands that transfer of this responsibility shall require a completed form, signed and notarized by the responsible party, and delivered to the City's Planning and Zoning Department if the name and/or address of the responsible party changes at anytime during the application review process.

Owner signature

7/14/15
Date

Jeff W. Preston, Manager; NADG/Brock (Alton PBG) LP
Owner printed name

Property Control Number

DESIGNEE/BILL TO:

NADG/Brock (Alton PBG) LP
400 Clematis Street, Suite 201, West Palm Beach, FL 33401

Designee Acceptance Signature

NOTARY ACKNOWLEDGEMENT

STATE OF Florida

COUNTY OF Palm Beach

I hereby certify that the foregoing instrument was acknowledged before me this 14th day of July, 2015, by Jeff W. Preston. He or she is personally known to me or has produced _____ as identification.

Elizabeth Nasuti
Notary public signature

Elizabeth Nasuti
Printed name

State of Florida at-large

My Commission expires: 2/28/16



ALTON TOWN CENTER
Site Plan Application
Project Narrative
September 15, 2016



Urban Planning and Design
Landscape Architecture
Communication Graphics

Requests

On behalf of the Applicant, NADG/Brock (Alton PBG) LP, please accept this request for a Site Plan Approval for the Alton Town Center commercial district on 40.8 acres within the Town Center District of the Alton Planned Community Development (PCD). The Alton PCD is approximately 681 acres in size and is located south of Donald Ross Road, north of Hood Road and east and west of Interstate 95. The subject site is located within the northern portion of the Town Center District at the southeast corner of the intersection between Donald Ross Road and Alton Road and is currently vacant.

The attached site plan depicts the 40.8-acre Town Center development, which will consist of 360,203 square feet of commercial space. Within this space, the applicant is proposing a grocery, fitness center, restaurants with and without drive-throughs, a financial institution with a drive-through, a gas station with car wash and general retail uses. With this request, the applicant is seeking 13,800 square feet of outdoor seating area with service. This 13,800 square feet has been included within the project's traffic equivalency statement. In addition to the site plan approval request, we are seeking a Major Conditional use for a restaurant with a drive-through and a Minor Conditional Use for a Convenience Store with gas sales. Also, this request includes a Metes and Bounds Subdivision application.

Consistent with the approved PCD Master Plan and Design Guidelines, the proposed site plan includes the required "Premier" and "Primary" Streets, which will intersect at the southern portion of the site. On-street parking is provided along these streets. At this intersection, the applicant is proposing a one acre "Central Square," which is more than twice the size of the Design Guidelines requirement. The location of the Central Square is adjacent to the entry to the Atlantico at Palm Beach Gardens apartment community, which recently received site plan approval. With enhanced sidewalks on both sides of each street and the large plaza, the proposed Alton Town Center will have more area devoted to pedestrian space than any other commercial development within the City.

In addition to the Premier and Primary streets, Secondary streets have been added to create a grid-like network of streets within the center. Consistent with the Design Guidelines requirements, commercial buildings have been located along the Premier and Primary Street frontages with parking located behind the buildings. In the areas where a building is not provided along these streets, landscaped open spaces with pedestrian amenities have been provided. The buildings will be one-story in height with some two-story features. Sidewalks have been provided throughout the site along the Premier, Primary and Secondary streets.

However, there are some features of the provided site plan which deviate from the Design Guidelines. The deviations largely concern the treatment of the Primary Street, the design of the Secondary Streets and architectural treatments. However, the commercial district has been and will continue to be designed to balance the needs and safety of pedestrians and motorists visiting the site. In fact, pedestrian activity will be created along the Donald Ross Road frontage for the first time.

610 Clematis Street
Suite CU02
West Palm Beach, FL 33401
561.366.1100 561.366.1111 fax
www.udkstudios.com
LCC000035

Location

The 40-acre site is located within the northern portion of the 133-acre Town Center District of the Alton PCD. The site is located immediately north of the proposed 13-acre Atlantico at Palm Beach Gardens apartment community and an 18-acre lake, which will provide drainage retention for the Town Center District including the subject site.

Land Use & Zoning

As the subject site is approximately 30% of the overall Town Center District area, the Future Land Use Designation of MXD (Mixed Use) and zoning of Mixed Use with a Planned Community Development Overlay (MXD/PCD) applies to the subject site and all surrounding properties.

As stated above, the subject site is located within the Parcel C – Town Center District. The site is bounded by the future FPL substation and upland preserve to the east, the future Atlantico neighborhood to the south and Parcel A – Scripps Campus District and Alton Road to the west. To the north of the proposed Alton Town Center is Donald Ross Road and the Abacoa DRI in the Town of Jupiter. For context, the zoning and land use designations of properties adjacent to the Alton PCD are as follows:

**ZONING CLASSIFICATION & LAND USE DESIGNATIONS OF
ADJACENT PROPERTIES**

EXISTING USE	ZONING	LAND USE
Subject Property Alton Town Center within the Town Center District of Alton PCD	Mixed Use (MXD) Planned Community Development (PCD)	Mixed Use (MXD)
North Donald Ross Road Abacoa DRI (Town of Jupiter)	Mixed Use (MXD)	Mixed Use (MXD)
North Palm Beach Heights (Town of Jupiter)	Residential -1 (R-1) & Residential-2 (R-2)	Residential High (RH)
South Hood Road Westwood Gardens/ Westwood Lakes	Planned Unit Development (PUD) Residential Medium (RM)	Residential Low (RL)
Jewish Community Center PUD	Planned Unit Development (PUD)	Mixed Use (MXD)
Robert Frances	Planned Development Area (PDA)	Mixed Use (MXD)
Danny Baily		
East San Michele neighborhood	Planned Unit Development (PUD)	Residential Low (RL)
Legends at the Gardens	Planned Unit Development (PUD)/ Mixed Use (MXD)	Mixed Use (MXD)
Benjamin School	Planned Unit Development (PUD)/ Public /Institutional (P/I)	Residential Low (RL)
West Eastpointe neighborhood	RE (Residential Estate)	LR-2 (Low Residential-2)

(Palm Beach County)		
Franklin Academy	(MXD/PUD)	Mixed Use (MXD)

Access

Access to the site will be from Donald Ross Road and the future Alton Road. Along the six-lane divided Donald Ross Road, one full access entry at the northern terminus of the Premier Street. Two right-in, right-out entrances are proposed to the east and west of the main entrance along Donald Ross Road. Along the future Alton Road, entrance to the subject site is provided by the Primary Road and a right-in, right-out entrance. Numerous pedestrian connections will be provided from the extensive internal sidewalk network within the center to the adjacent pedestrian pathways along the 55-foot wide Donald Ross Road Parkway buffer and 30-foot wide Alton Road buffer.

Site Analysis

SITE ANALYSIS: Alton Town Center			
	Alton PCD Design Guidelines and City's LDRs	Proposed Site Plan	Consistent
<i>Development Area</i>	5 acre	40.80 acres	Yes
<i>Open Space</i>	Minimum 15%	21.1%	Yes
<i>Lot Coverage</i>	Maximum 70%	19.4%	Yes
<i>Setbacks</i>			
<i>Front</i>	55 feet from Donald Ross Road	55 feet from Donald Ross Road	Yes
<i>Side</i>	10 feet from site plan property line	11 feet from side property line	Yes
<i>Side Street</i>	30 feet along Alton Road	40 feet along Alton Road	Yes
<i>Rear</i>	15 feet	125 feet	Yes
<i>Building Height</i>	4 floors or 50 feet	1 floor/37 feet	Yes
<i>Parking</i>	1 space per 200 s.f. (1 space per 1,000 s.f. for garden center) + 13,800 of outdoor seating with service/patio area = 1,723 spaces required	1,691 spaces	Yes, for interior building area. Parking waiver request for a portion (44 spaces) of outdoor seating parking requirement.
<i>Parking Space Size</i>	9' x 18.5' with 26' drive aisle	9.5' x 18.5' with 25' drive aisle and 10' x 18.5' angled parking with 18' drive aisle	Yes
<i>Landscaping</i>	54,453 Points Required	84,423 Points Provided	Yes

Site Plan Features

The Applicant is requesting site plan approval for a pedestrian-focused, upscale Town Center for the Alton community. The proposed site plan for the Alton Town Center will contain 16 proposed commercial

buildings located on a grid of pedestrian-oriented streets. The proposed uses include retail, personal services, grocery, fitness center, specialty restaurants with and without drive-through, quality restaurants, financial institutions, and a home improvements store. The home improvement store is proposing a limited amount of outdoor sales during store hours. An exhibit showing the locations, limits of display area and materials to be sold is attached for your review. In addition, the updated traffic impact analysis indicates traffic concurrency for 13,800 square feet of outdoor seating area. This area has been identified as patio area on the submitted site plan.

Architecture

Alton Town Center is designed as contemporary styled project. To make contemporary designs work, they need to be based in straight forward design themes. The theming of this contemporary project is a study in contrast, which can best be termed as creating an "edgy" design sensibility.

The arrangement of the massing is asymmetrical as a rule. Also the use of linear design elements set against more massive straight forward right angular architecture creates visual tension, which helps creates architectural energy. This contributes to the contemporary atmosphere.

Architectural elements, such as tower elements with large horizontal roof overhangs, thin sleek horizontal metal awnings, feed this energy further. Special attention is paid to utilizing differing materials with textures.

The materials used are clean smooth white stucco for basic massing; colors are tonal and set in contrast against the varied textured materials. These are wood looking porcelain tile, brushed aluminum, Corten steel, glass store fronts and a clean off white stone. Contrast is derived from the interplay of materials and textures set against the bright tonal nature of the project. It is this contrast which brings the project to life, giving it a lively crisp and clean design dynamic.

There are several courtyards and a pedestrian park which leads to a main plaza. This area is dynamic people place with fountains, sculptures, art, benches, which incorporates the materials used in the buildings to reiterate the contemporary energy of the project.

The project will be an architecturally interesting and enjoyable people oriented place to shop and enjoy.

Landscaping

Donald Ross Road Buffer

The landscape design concept is to create a multi-modal 12' path that meanders along this parkway at the same grade as the cross walks, and finish floor elevations of the buildings fronting the parkway. This universal design is proposed to encourage the 55' parkway to be utilized as both an active recreational amenity, and as passive park uses. With the elevations of the walks and buildings all at the same level persons of all activity levels can utilize these paths, without the challenges of slopes and elevation changes. This will allow and encourage pedestrian activity along the parkway.

The landscape design concept for this area is to create "Native Clusters" of native trees and palms and understory planting. Live Oaks, Slash Pine, Sabal Palms, Dahoon Holly trees, Wax Myrtle, and a variety of native shrubs and grasses replicate the natural habitat and ecosystem of a Mesic Oak and Pine Flatwood plant communities. These Trees and Palms are up lit with LED lighting to create dramatic night time effects.

Landscape Design Concept Hierarchy

The Medjool Palm is utilized in the landscape design as creating focal points, and as way finding elements. These specimen palms are proposed at the vehicular entry points, off of Donald Ross Road and Alton Road. They are also proposed at the major streetscape intersections along the Premier, Primary and Secondary Streets internal to the Town Center. The Medjool Date Palms will provide a larger shade pattern than other types of palms. These major intersections have specialty paving hardscapes. Minor intersections have large Royal Palms proposed at the corners.

The Premier Street features a diverse collection of specimen palms, including Medjool Date Palms, Christmas Palms, Wild Date Palms, Royal Palms and triple Montgomery Palms. The Primary Street will be lined with large Live Oaks. The Secondary Streets will feature triple Montgomery Palms and Japanese Blueberry trees. These palms are proposed to be planted in between the road and the pathways. These landscape areas along the streets have podocarpus hedges proposed to buffer the pedestrian from vehicular traffic. Gumbo Limbo Trees, Green Buttonwood Trees, and Tree Ligustrum Trees are proposed for the parking area landscape islands. The Primary Street in between the Town Center and Atlantico Multi-Family consists of a Live Oak Tree lined street. The thematic Medjool Palm is proposed at the entry point off Alton Road.

Please note that the east-west Secondary Street will be lined with Japanese Blueberry trees, which are consistent with the overall Alton landscape theme.

Alton Road Landscape Buffer Concept

This landscape buffer consists of the formal design of equally spaced specimen Medjool Palms, Live Oak trees, and Bizmark Palms. These Trees and Palms are up lit with LED lighting to create dramatic night time effects, consistent with the Alton Road landscaping treatment.

Signage

The Applicant is preparing a Master Signage Program for Alton Town Center. This Master Signage Program, which will be provided under a separate cover, will govern all signage within the project.

Pedestrian-Orientation

Consistent with the adopted Design Guidelines for the projects, the proposed Alton Town Center provides for a grid of Premier, Primary and Secondary Streets. With enhanced sidewalks on both sides of each street and the large Central Plaza, the proposed Alton Town Center will have more area devoted to pedestrian space than any other commercial development within the City. More than 3 miles of sidewalks are provided within the project. Please note that signature shade structures have been provided along the Premier, Primary and Secondary Streets.

Premier Street

The Premier Street, as indicated on the PCD Master Plan and consistent with the Design Guidelines, connects Donald Ross Road to Alton Road. The street connects the commercial, multi-family and single family neighborhoods of the Town Center District. Within the subject site plan, the Premier Street extends approximately 970 linear feet from the Donald Ross Road right-of-way line south to the northern property line of the future Atlantico multi-family neighborhood.

The Premier Street features two 11-foot wide travel lanes, in addition to 2-foot wide valley gutters and 7-foot wide parallel parking spaces. On each side of the Premier Street, a 15-foot wide pedestrian area is provided. This pedestrian area feature a minimum 8-foot wide "clear path" for multiple pedestrian to pass each other simultaneously. The pedestrian area also features pavers, shade-providing landscaping,

benches, decorative street lights and other street furniture. Pavers are provided at the intersections along the Premier Street and with the cross walks.

Along the streetscape will be a variety of large palms, which meet and exceed the Design Guideline standards for taller trees and palms. Medjool Date Palms, Wild Date Palms, triple Montgomery and Christmas palms will line various portions of the Premier Street.

At the southern end of the Premier Street within the Alton Town Center will be a one acre Central Square, which is more than twice the size of what is required by the Design Guidelines. The plaza will feature pavers/stamped concrete, seating areas, artwork and landscaping.

South of the plaza is the intersection of the Premier and Primary streets. This intersection will be a roundabout, which reduces traffic speeds in this pedestrian-oriented area. South of the roundabout is the northern vehicular entrance to the proposed Atlantico at Palm Beach Gardens multi-family community.

Primary Street

Consistent with the approved PCD Master Plan, the Primary Street connects the Alton Road to the approximate midpoint of the Premier Street. The Primary Street also divides the Alton Town Center from the Atlantico neighborhood and the central lake feature within Parcel C. The Primary Street will feature two, 11-foot wide vehicle travel lanes as well as two designated bicycle lanes. In addition, an 8-foot wide sidewalks are provided on both sides of the street. These sidewalks connect to the 8-foot sidewalks along the central Town Center lake and along Alton Road.

On the northern side of the Primary Roadway, the applicant is proposing a heavily landscaped meandering sidewalk. This meandering sidewalk, with pavers, will wind its way through enhanced and shade-producing landscaping and artwork locations. The Applicant will be seeking a waiver from the Design Guideline standard with regards to commercial buildings fronting on the Primary Street. As the proposed Town Center district will be providing numerous services geared toward the local Alton residents, these services require loading and service areas. The service area for the proposed grocery and fitness center buildings have been separated from the Primary Street by a 12-foot high wall, 22 to 39 feet of lush landscaping and the proposed artwork. This shaded walk along the Primary Street also leads to the central plaza.

Secondary Streets

The Secondary Streets within the proposed Town Center site plan run east to west and north to south. The secondary streets all feature 11-foot wide drive lanes as long as 5-foot wide sidewalks on both sides of the street. All of the proposed north-south Secondary Streets feature on-street parking. The east-west Secondary Street does not feature on-street parking as it was desired, from a design standpoint, to provide additional street trees, 14' Japanese blueberry trees, along this corridor. A waiver is being sought to not provide bicycle lanes.

Lighting

Decorative streetlights, consistent with the streetlights used throughout the Town Center district, will be provided along Premier, Primary and Secondary Streets. In addition, these decorative lights will be used within the Central Square plaza and the pedestrian pavilion along the Premier Street. Within the parking area, a 25-foot high light fixture is proposed, consistent with City Code standards. In addition, accent and up-lighting will be provided within the Central Square plaza area, the water wall feature, the pedestrian

pavilion along the Premier Street, shade structures, public artwork and fountains, and architectural features on the proposed buildings.

ANALYSIS OF CONFORMANCE WITH ALTON DESIGN GUIDELINES

Below is an analysis of the proposed Alton Town Center site plan and its compliance with the PCD’s Design Guidelines. The analysis will determine what waivers will be needed to achieve the requested site plan.

Premier Street Frontage

	Design Guidelines Requirement	Proposed Site Plan	Waiver?
ROW or Easement Width	40 feet	40 feet	No
Build-To Lines	70 feet – up to 84 feet with 10% permitted variation	75 feet where buildings are located (not including buildings at wider entry feature)	No
Block Length	250 feet minimum 500 feet maximum	450 feet maximum on Premier Street	No
Block Perimeter	1800 linear feet	Maximum of 1800 linear feet	No
% of Buildings at Build-to line	90%	100%	No
Maximum Lot Coverage	50%	19%	No
On-Street Parking	Required	Provided	No
Parallel On-Street Parking	Required	Provided	No
Parking Space Size	On Street – 7’ x 23’ with 2’ F curb Regular Space – 9’ x 18.5’	On Street – 7’ x 23’ with 2’ F curb Regular Space – 9’ x 18.5’	No
Parking Lot along Street Frontage	Prohibited	Not Provided within 50 feet of street frontage	No
Pedestrian Area	15 feet on each side of street	15 feet	No
Sidewalk Clear Area	8 feet	8 feet	No
Pedestrian Covering, i.e. awnings, balconies, arcades, etc.	60%	54 to 65%	Yes
Central Plaza provided	20,000 square foot plaza to be provided adjacent to Premier Street	43,017 s.f. provided at northwest and northeast corners of intersection of Premier and Primary Roads	No
Pedestrian Crossings	Decorative surface/pavers for crosswalks,	Streets, intersection, crosswalks, sidewalks and central plaza to	No

	intersections, public spaces	have decorative pavers and/or stamped concrete.	
Tenant frontage size	Tenants less than 25,000 square feet in size may not occupy more than 120 feet of Premier Street frontage. Tenants greater than 25,000 square feet shall not occupy more than 300 feet of Premier Street frontage.	In Compliance with tenant standard for Premier Street.	No
Bicycle Lanes	No	No	No
Elevation features windows, doorways, and openings	60% of the length of the elevation	45 - 60% provided	Yes
Pedestrian Benches	Bench every 300 feet	A minimum on one bench per 300 feet	No
Street Light Poles	Decorative Lights required	Decorative street lights (Chateau fixture) provided	No
Landscaping	Street trees located every 30 feet of frontage. Minimum heights 18 feet – trees 22 feet – palms	Palms 18 to 26 feet in height	No

Primary Street frontage

The Primary Street is located at the southern boundary of the site west of the Premier Street and the following requirements apply:

	Design Guidelines Requirement	Proposed Site Plan	Waiver?
ROW or Easement Width	50 feet	50 feet	No
Build-To Lines	80 feet – up to 84 feet with 10% permitted variation	130 feet *Where buildings are provided	Yes
Block Length	250 feet minimum 500 feet maximum	425 feet & 440 feet	No
Block Perimeter	1800 linear feet	Maximum of 1800 linear feet	No
% of Buildings at Build-to line	90%	0%	Yes
Maximum Lot Coverage	50%	19%	No

Parallel On-Street Parking	Required	Provided	No
Parking Lot along Street Frontage	Prohibited	Not Provided	No
Pedestrian Area	15 feet on each side of street	15-22 feet	No
Sidewalk Clear Area	8 feet	8 feet	No
Pedestrian Covering, i.e. awnings, balconies, arcades, etc.	25%	0%	Yes
Pedestrian Crossings	Decorative surface/pavers for crosswalks, intersections, public spaces	Crosswalks to have decorative pavers	No
Bicycle Lanes	Required	Provided	No
Elevation features windows, doorways, and openings	25% of the length of the elevation	0%	Yes
Street Light Poles	Decorative Lights required	Decorative Lights (Chateau fixture) provided	No
Landscaping	Street trees located every 30 feet of frontage. Minimum heights 16 feet – trees 18 feet – palms	16-foot high Live Oaks provided	No

Secondary Streets

	Design Guidelines Requirement	Proposed Site Plan	Waiver?
ROW or Easement Width	26 to 50 feet	26 to 50 feet	No
Build-To Lines	72 to 83 feet – up to 100 feet with 10% permitted variation	72-75 feet where buildings are located	No
Block Length	250 feet minimum 500 feet maximum	Maximum of 450 feet	No
Block Perimeter	1800 linear feet	1,800 linear feet	No
% of Buildings at Build-to line	65%	100% of affected buildings	No
Maximum Lot Coverage	50%	19%	No
On-Street Parking	Optional	Provided	No
Pedestrian Area	11 feet on each side of street	12 feet minimum	No
Sidewalk Clear Area	5 feet	5 feet	No

Bicycle Lanes	Provided	Not Provided	Yes
Pedestrian Benches	Shaded sitting area every 330 feet of parking lot frontage	Trellis and benches provided at midblock crossing locations.	Yes
Street Light Poles	Decorative Lights required	Decorative Light (Chateau fixture) provided	No
Landscaping	Street trees located every 30 feet of frontage. Minimum heights 14 feet – trees and palms 5-feet of landscaping between secondary road pedestrian area and parking lot	22 feet of clear trunk and 26 feet for overall height of Montgomery Palms provided.	No

Waiver Summary Table

	Design Guideline Section	Requirement	Proposal	Waiver?
1	Section B.5.c.(7)(b): Primary Street Setbacks	Building located within 10 feet of street build-to-line	None	No buildings front on Primary Street
2	Section B.5.c.(7)(b): Primary Street Setbacks	80% of building elevation located within the 10 feet of streets build-to-line	None	No buildings front on Primary Street
3	Section B.5.c.(7)(c): Secondary Street -	Provide five (5) foot bicycle lane and on-street parking	Removal of bicycle lane and on-street parking on north-south Secondary Streets only	No bicycle lane and no on-street parking on the east-west Secondary Street
4	Section B.5.c.(4): Parking Regulations	Total parking spaces required = 1,723	Total parking spaces proposed = 1,679	44 parking spaces

As indicated above, four waiver requests are associated with this Site Plan Approval application. The first two waivers address the project's Primary Street. As identified on the adopted PCD Master Plan, the Primary Street connects Alton Road with the Premier Street within the Town Center. Because of the desire to bring uses to the Town Center district that will serve the residents of Alton, such as a grocery, home improvement store and a fitness center. These desired uses, especially the grocery, require a "back of store" section where deliveries can be made. From a health and safety standpoint, these delivery and

loading areas need to be separated from pedestrian and vehicular traffic. In order to buffer these delivery and loading areas, the applicant is proposing to create a heavily landscaped meandering pathway along the northern boundary of the Primary Street. On the north side of the Primary Street, a meandering sidewalk with benches, lush landscaping and artwork is proposed. The walkway will be separated from the rear of the commercial buildings by a 12-foot high wall, 22 to 39 feet of lush landscaping and the proposed artwork. This shaded art along the Primary Street also leads to the district's 26,000-square foot central plaza.

The third waiver request is related to the provision of designated bicycle lane and on-street parking on Secondary Streets within the project. The Applicant is requesting a waiver from this requirement as the Secondary Streets will be used as a shared facility for both bicyclists and motorists, similar to the use of local City streets as shared facilities for bicyclists and motorists. Along each of the north/south secondary streets, trellis features have been added at the mid-block crossings. The four new trellis features enhances the pedestrian experience along these streets.

In addition, the Applicant is seeking to waive the on-street parking requirement for the east-west Secondary Street in order to provide additional street trees and hardscape areas to accent the sidewalks on both sides of the street. Additional Japanese Blueberry trees have been added to the east/west secondary streetscape along with four new benches and a color palette of grasses and vegetation for a pleasant pedestrian experience. The two north-south Secondary streets will provide on-street parking.

The fourth waiver request seeks to waive a portion of the parking requirement for patio/outdoor seating within the center. With the proposed site plan, 13,800 square feet of patio/outdoor seating areas which will feature dining with service. Like the parking requirement for interior retail space, the patio/outdoor seating areas has a parking ratio of 1 space per 200 square feet, which would result 69 parking spaces. The site has 25 extra spaces above the parking requirements for the interior shopping center spaces and the home improvement garden center. We are seeking a waiver of 44 parking spaces – or about 2% of the total parking provided – for the patio area parking requirements for several reasons. The patio/outdoor seating areas are dependent upon the weather for its use. Rain, heat, humidity, wind and cold limit the availability and the function of the patio/outdoor seating area. In addition, consistent with the principles of mixed use communities, 353 apartments and the estimated 812 residents are within a five-minute walk to all of Alton Town Center. Hundreds of other Town Center District residents will have less than a 10 minute walk or a short bicycle ride to the project. Having a grocery, fitness center and quality restaurants and coffee shops within walking distance is amenity to the Town Center residents and an amenity they will use. Part of the justification for this requested waiver is that Town Center District residents will walk and not use their cars when visiting the site.

Waiver Criteria Compliance

Consistent with the requirements of Section 78-158 of the City's LDRs, the waiver request shall comply with a majority of the criteria listed within the code. The City's waiver criteria are listed below in **bold** and the responses follow in *italics*.

(1) The request is consistent with the city's comprehensive plan.

With this request, the applicant is requesting to deviate from standards set by the Alton Design Guidelines to create an urban, pedestrian-focused commercial town center for the Alton community. The proposal to create this pedestrian-oriented is consistent with the requirements of Policies 1.1.1.15. and 1.3.6.3. of the Future Land Use Element of the City's Comprehensive Plan. These policies require a pedestrian-oriented

environment within a BioScience MXD, which Alton is one, and for the City to encourage walking within the City. As stated above, the proposed Alton Town Center provides for more pedestrian facilities than any other commercial area within the City. As such, the request is consistent with the City's Comprehensive Plan.

(2) The request is consistent with the purpose and intent of this section.

The purpose and intent of this Section 78-158 is to promote creative and innovative design through the planned development process. With the waiver requests, the applicant is able to provide a contemporary commercial district for the Alton community. Please note that the applicant is providing more than 55% additional landscaping points than what is required for this application. As such, the waiver requests are consistent with the purpose and intent of Section 78-158.

(3) The request is in support of and furthers the city's goals, objectives, and policies to establish development possessing architectural significance, pedestrian amenities and linkages, employment opportunities, reductions in vehicle trips, and a sense of place.

With the requested waiver for the variation to the Design Guideline standards, the applicant will be creating an environment that is as easy to access for pedestrian as well as motorists. The proposed site plan has 18 separate sidewalk connections to the 8-foot wide sidewalk along Alton Road and 12-foot wide sidewalk within the Donald Ross Road parkway. The proposed Alton Town Center features unique and contemporary buildings which possess architectural interest and significance. The requested waivers will allow the creation of a high quality aesthetic environment within the Alton Town Center District consistent with City standards. Along the street frontages, pedestrian covering and areas of interest are provided. These sidewalk amenities will be used as hundreds of Town Center District residents will be within a five minute walk to the grocery, fitness center and coffee shop – an amenity that will attract active residents.

(4) The request demonstrates that granting of the waiver will result in a development that exceeds one or more of the minimum requirements for PUDs.

As indicated above, the Alton Town Center site Plan application PUD exceeds several of the minimum standards including the provision of open space and landscaping points. The site is proposing 21.1% open space while 15% is required. In addition, the proposed landscaping within the project exceeds the City's landscaping standards.

(5) The request for one or more waivers results from innovative design in which other minimum standards are exceeded.

The proposed Alton Town Center employs various innovative techniques in its design, such as building layouts, creation of large plazas, contemporary architectural style and enhanced pedestrian facilities. The request for the referenced waivers from the Design Guideline standards is consistent with these efforts. For example, the Central Square plaza will be the transition and gathering space connecting the residential and non-residential portions of the Town Center District. This plaza is more than twice the size that what is required by the Alton Design Guidelines. This plaza will feature outdoor seating, large palms and a water wall.

(6) The request demonstrates that granting of the waiver will result in preservation of valuable natural resources, including environmentally-sensitive lands, drainage and recharge areas, and coastal areas.

The proposed waivers and site plan will not impact the existing upland preserve areas or the drainage for the site. As such, this criterion has been met.

- (7) The request clearly demonstrates public benefits to be derived, including but not limited to such benefits as no-cost dedication of rights-of-way, extensions of pedestrian linkages outside of the project boundaries, preservation of important natural resources, and use of desirable architectural, building, and site design techniques.**

As required by the City's Comprehensive Plan, Zoning Code and the Alton Design Guidelines, the Alton Town Center features a pedestrian-oriented environment which provide linkages to the adjacent arterial roadways of Donald Ross Road and Alton Road as well as internal linkages to the future Atlantico and Neighborhood #1 communities. A contemporary architecture is being proposed consistent with the architecture approved for Neighborhood #1 and Atlantico.

- (8) Sufficient screening and buffering, if required, are provided to screen adjacent uses from adverse impacts caused by a waiver.**

The requested waivers will only affect the internal layout of the Alton Town Center. The Town Center will be screened by the approved landscape buffers along Donald Ross Road and Alton Road. Within the project, the project will provide more than 55% more landscape points that what is required. As such, the request meets the referenced criterion.

- (9) The request is not based solely or predominantly on economic reasons.**

The requested waivers allow for the functionality of a modern commercial district within a modified grid pattern for streets within the project. The additional landscaping, open space, plaza area and pedestrian facilities were not provided for economic reasons.

- (10)The request will be compatible with existing and potential land uses adjacent to the development site.**

The requested Alton Town Center site plan, street layout and sidewalk widths and locations are compatible to the Alton PCD Master Plan, the Design Guidelines, the approved Alton PCD construction plans and proposed plans for adjacent neighborhoods. As such, the request meets this criterion.

- (11)The request demonstrates the development will be in harmony with the general purpose and intent of this section, and that such waiver or waivers will not be injurious to the area involved or otherwise detrimental to the public health, safety, and welfare.**

As previously stated, the requested waivers allow for the functionality of a modern commercial district within a modified grid pattern for streets within the project. The proposed waivers will not be injurious to the area or detrimental to the public health, safety and welfare. The applicant believes the pedestrian orientation of the site plan will encourage more walking by the community's residents, aiding to their health and safety.

Major and Minor Conditional Uses

The request for a Specialty Restaurant with a drive-through facility is a major conditional use and for a Convenience Store with gas sales as a minor conditional use under the Alton PCD. Section 78-52 of the City's Land Development Regulations. For the consideration of approval of these major and minor conditional uses, the code provides for 13 criteria points for the evaluation of the request. For your convenience, I have replicated the criteria in **bold** below with our responses in *italics*.

Conditional Use Criteria:

(1) Comprehensive Plan. The proposed use is consistent with the comprehensive plan.

The proposed application is a request to provide the commercial Town Center component to the Alton PCD's Town Center mixed use district. As stated above, the Alton PCD has a Mixed Use future land use designation. The proposed uses are consistent with the Mixed Use land use designation and have been included with several existing mixed use projects within the City.

(2) Chapter requirements. The proposed use is consistent with all applicable requirements of this chapter.

The proposed application is a request to create the Town Center for the Alton PCD, which is a mixed use development which will bring new quality employment opportunities to the City. The building elevations and signage will be consistent with the architectural style and theming of the project. This request is consistent with the applicable requirements of City's Land Development Regulations.

(3) Standards. The proposed use is consistent with the standards for such use as provided in Section 78-159.

The specific City standards for a restaurant with a drive through lane and a convenience store with gas sales have been met.

(4) Public welfare. The proposed use provides for the public health, safety, and welfare by:

(a) Providing for a safe and effective means of pedestrian access.

Internal pedestrian access is currently provided through a series of sidewalks. Additional sidewalks will be provided from all new buildings to the public sidewalk network.

(b) Providing for a safe and effective means of vehicular ingress and egress.

The site currently has access from two major roadways, Donald Ross Road and Alton Road. Site design has taken into account required turning movements for public safety vehicles.

(c) Providing for an adequate roadway system adjacent to and in front of the site.

The site is bound by Alton Road on the west and Donald Ross Road on the north. These major roadways provide an adequate roadway system adjacent the site. All access points to the project from these adjacent roadways meet all applicable standards.

(d) Providing for a safe and efficient onsite traffic circulation, parking, and overall control.

The proposed site plan provides for a grid network of streets to provide circulation through the site. The proposed location of the conditional uses minimizes the impacts to the overall project.

(e) Providing adequate access for public safety purposes, including fire and police protection.

Access and circulation has been designed to allow for ease of circulation and access for emergency vehicles from Donald Ross Road and Alton Road. The proposed designs of the parking and vehicular areas

allows for convenient and effective movement for the public safety and for fire and police protection in a logical manner.

(5) Screen and buffering. The proposed use utilizes such techniques as landscaping, screening, buffering, site or building design, or business operation procedures to mitigate impacts on surrounding properties, including such impacts as:

(a) Noise – *The proposed uses is part of the proposed Town Center and is specifically located directly adjacent to Donald Ross Road. Within the proposed site plan, these uses are the farthest from existing and future residential development. The proposed use will not create any adverse noise. The proposed use will comply with the City’s noise standards and regulations.*

(b) Glare – *The proposed lighting will be consistent with the existing lighting on the property and will be designed to minimize glare to the adjacent roadways and properties. The proposed lighting will meet all applicable City lighting standards.*

(c) Odor – *There will be no odor produced as a result of the proposed uses on this site. Trash and debris from the use will be regularly removed from the site by the waste disposal provider. The property manager has a comprehensive dumpster maintenance program to ensure no odor problems arise.*

(d) Ground, wall, or roof mounted mechanical equipment –*All ground wall or roof mounted mechanical equipment is proposed to be screened via a parapet wall or landscaping.*

(e) Perimeter, interior, and security lighting – *All security lighting will be in compliance with the City’s LDRs and Florida State Statues.*

(f) Signs – *The applicant is proposing a signage program for the project. Signage for these uses will be consistent with the Alton Town Center signage program.*

(g) Waste disposal and recycling – *The site has an existing program in place for waste disposal on this site.*

(h) Outdoor storage of merchandise and vehicles – *There will be no outdoor storage of merchandise or vehicles on this site.*

(i) Visual impact – *The applicant is proposing to improve the current plaza to enhance the visual appearance of the site. The architectural design of the buildings are consistent with the existing architecture and has incorporated many of the design elements of the existing buildings.*

(j) Hours of operation – *The use will comply with the LDR regulations for hours of operation.*

(6) Utilities. The proposed use minimizes or eliminates the impact of utility installation, including underground and overhead utilities, on adjacent properties.

The proposed building construction for Alton Town Center, including the requested uses, will result in the placement of new underground utilities to serve the project. None of the proposed improvements will impact adjacent properties.

(7) Dimensional standards. The proposed use meets or exceeds all dimensional requirement required by the chapter.

The proposed uses meet and exceed all dimensional requirements, such as setbacks, stacking lengths, and parking stall sizes.

(8) Neighborhood Plans. The proposed use is consistent with the goals, objectives, policies, and standards of neighborhood plans.

There is no Neighborhood plan for this area.

(9) Compatibility. The overall compatibility of the proposed development with adjacent and area uses, and character or area development.

The existing commercial development is bordered by two major roadways and other nonresidential development. The proposed uses are consistent with the existing character of the area.

(10) Patterns of development. The proposed use will result in logical, timely, and orderly development patterns.

The development of this site is consistent with the comprehensive plan, the surrounding zoning and the Land Development Regulations. The proposed Conditional Uses will provide for a logical, timely and orderly pattern of development.

(11) Purpose and intent. The proposed use will be in harmony with the general purpose and intent of this chapter and the goals, objectives, and policies of the City.

The proposed uses are consistent with the general purpose and intent of the code as well as the goals, objectives and policies of the City for commercial development.

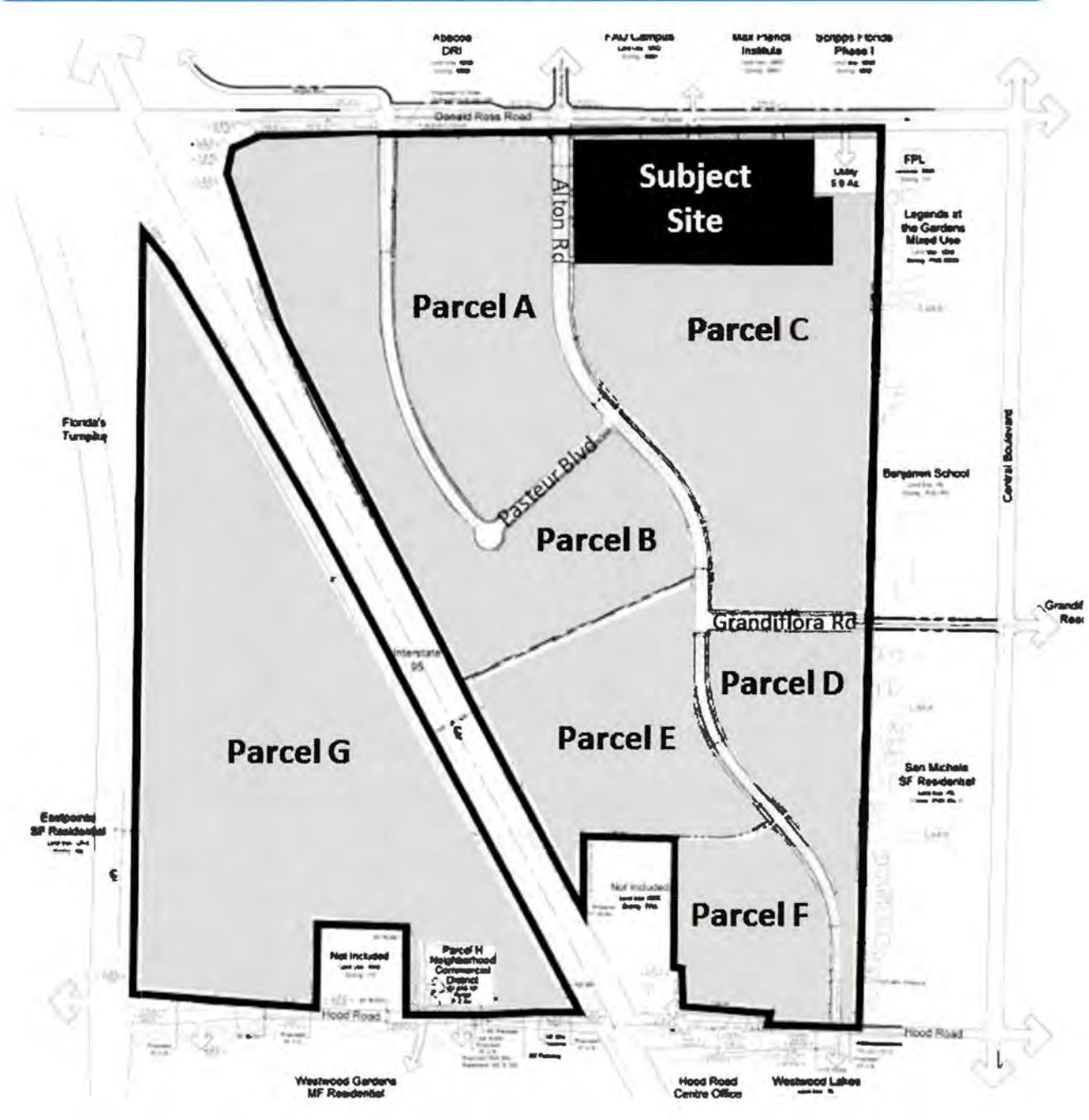
(12) Adverse impact. The design of the proposed use and structures will minimize any adverse visual impacts or impacts caused by the intensity of the use.

The improvements to the site have been designed in consideration of the surrounding properties and to improve the visual esthetics of the site while minimizing abutting property impacts.

(13) Environmental impact. The design of the proposed use minimizes any adverse impacts that may be created, including impact on environmental and natural resources including air, water, storm water management, wildlife, vegetation, and wetlands.

As part of an overall PCD, the Environmental impact for this site was addressed with the PCD approval in 2010. As such, there are no existing environmental areas on the site.

Location Map



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RESOLUTION 65, 2016

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PALM BEACH GARDENS, FLORIDA GRANTING SITE PLAN AND MAJOR CONDITIONAL USE APPROVAL FOR A 360,203-SQUARE-FOOT COMMERCIAL RETAIL DEVELOPMENT WITH A DRIVE-THROUGH RESTAURANT WITHIN THE TOWN CENTER (PARCEL C) OF THE ALTON PLANNED COMMUNITY DEVELOPMENT (PCD); THE SUBJECT SITE IS APPROXIMATELY 40.8 ACRES WITHIN THE 133.68-ACRE PARCEL C, WITHIN THE 681-ACRE PLANNED COMMUNITY DEVELOPMENT (PCD), AS MORE PARTICULARLY DESCRIBED HEREIN; PROVIDING CONDITIONS OF APPROVAL; PROVIDING WAIVERS; PROVIDING AN EFFECTIVE DATE; AND FOR OTHER PURPOSES.

WHEREAS, the City Council, as the governing body of the City of Palm Beach Gardens, Florida, pursuant to the authority in Chapter 163 and Chapter 166, *Florida Statutes*, and the City's Land Development Regulations (LDR), is authorized and empowered to consider petitions related to zoning and land development orders; and

WHEREAS, the City Council adopted Ordinance 18, 2009, approving a text and map amendment for the Scripps Phase II/Briger Tract Development of Regional Impact (DRI); and

WHEREAS, the City Council adopted Ordinance 33, 2009, approving the zoning regulations and design guidelines for the Briger Planned Community District (PCD); and

WHEREAS, the City Council adopted Resolution 80, 2009, approving a 681-acre DRI for 2.6 million square feet of industrial/research and development/biotech, 1.2 million square feet of office, 300 hotel rooms, 500,000 square feet of commercial/retail development, and 2,700 dwelling units; and

WHEREAS, the City of Palm Beach Garden's Addressing Committee on January 27, 2014, approved a subdivision name change for the Scripps Florida Phase II/Briger Tract PCD to be known as the Alton PCD; and

WHEREAS, the City Council adopted Resolution 21, 2014, approving an amendment to the Alton PCD to incorporate modifications to utility easements, roadway cross sections and buffers, lakes, open space, and revisions to conditions of approval; and

WHEREAS, the City Council adopted Resolution 30, 2014, approving a site plan for 360 residential townhome and single-family dwelling units known as Neighborhood 1 within Parcel C; and

WHEREAS, the City Council adopted Resolution 31, 2015, approving a Community Design Elements and signage package for the Alton PCD; and

1 **WHEREAS**, the City Council adopted Resolution 31, 2016, approving a site plan for a
2 3.5-acre Community Recreation and Fitness Facility at the northeast corner of Parcel E of the
3 Alton PCD; and
4

5 **WHEREAS**, the City Council adopted Resolution 24, 2015, approving a site plan
6 amendment for the Center for Intelligent Buildings Technology Complex in Parcel B of the Alton
7 PCD; and
8

9 **WHEREAS**, the subject site has a Planned Community Development (PCD) Overlay
10 with an underlying Mixed Use (MXD) zoning designation and has the land-use designation of
11 Mixed Use (MXD); and
12

13 **WHEREAS**, the Planning and Zoning Department has reviewed the application, has
14 determined that it is sufficient and consistent with the City's Comprehensive Plan and Land
15 Development Regulations, and has recommended approval; and
16

17 **WHEREAS**, the Planning, Zoning, and Appeals Board reviewed the petition at its August
18 9, 2016, meeting and recommended approval of the subject petition (SPLN-15-07-000020) to
19 City Council by a vote of 7 to 0; and
20

21 **WHEREAS**, the City Council has considered the evidence and testimony presented by
22 the Applicant and other interested parties and the recommendations of the various City of Palm
23 Beach Gardens reviewing agencies and staff; and
24

25 **WHEREAS**, the City Council deems approval of this Resolution to be in the best interest
26 of the health, safety, and welfare of the residents and citizens of the City of Palm Beach
27 Gardens and the public at large.
28
29

30 **NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF**
31 **PALM BEACH GARDENS, FLORIDA** that:
32

33 **SECTION 1.** The foregoing recitals are hereby affirmed and ratified.
34

35 **SECTION 2.** The application is hereby APPROVED for a site plan permitting the
36 development of a 360,203-square-foot commercial retail development and major conditional
37 use for a restaurant with drive-through on 40.8 acres within the 133.68-acre Parcel C Town
38 Center District within the 681-acre Alton DRI/PCD, subject to the conditions of approval
39 contained herein that are in addition to the general requirements otherwise provided by
40 resolution for real property described as follows:
41

42 LEGAL DESCRIPTION:
43

44 TRACT "C-3" OF THE PLAT OF THE ALTON PCD AS RECORDED IN PLAT BOOK 118,
45 PAGES 197 THROUGH 206 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY,
46 FLORIDA.
47
48

1 **SECTION 3.** The City Council of the City of Palm Beach Gardens, Florida hereby
 2 APPROVES the following four (4) waivers:

- 3
- 4 1. Section B.5.c.(7)(b) of the Alton PCD Design Guidelines, *Primary Streets*, to allow
 5 buildings along the Primary Street to not be located within ten (10) feet of the required
 6 build-to line.
 - 7
 - 8 2. Section B.5.c.(7)(b) of the Alton PCD Design Guidelines, *Primary Streets*, to allow 80
 9 percent of building elevations along the Primary Street to not be located within ten (10)
 10 feet of the build-to line.
 - 11
 - 12 3. Section B.5.c.(7)(c) of the Alton PCD Design Guidelines, *Secondary Streets*, to permit
 13 Secondary Streets within the project to not have bicycle lanes and the northern most
 14 Secondary Street to not include on-street parking spaces.
 - 15
 - 16 4. Section B.5.c.(4) of the Alton PCD Design Guidelines, *Parking Regulations*, to allow for
 17 a reduction in the total number of required parking spaces by 44 spaces, for a total of
 18 1,679 parking spaces.
 - 19

20 **SECTION 4.** All conditions from the development orders related to this project remain
 21 in full force and effect.

22

23 **SECTION 5.** This approval is subject to the following conditions, which shall be the
 24 responsibility of and binding upon the Applicant, its successors, or assigns:

25

26 **PLANNING AND ZONING**

- 27
- 28 1. Prior to issuance of the first building permit for this project, the Applicant shall schedule
 29 a pre-permit meeting with the Planning and Zoning Department. (Planning and Zoning)
 - 30
 - 31 2. Prior to the issuance of the first land alteration permit for this project, the Applicant shall
 32 install a six- (6) foot-tall construction fence with privacy tarp around the project site.
 33 Final locations to be determined and modified by the Director of Planning and Zoning
 34 at the time of building permit submittal. The construction fence with privacy tarp
 35 location may be modified by the Director of Planning and Zoning during the construction
 36 of the project to provide necessary screening of construction activities from the public.
 37 (Planning and Zoning)
 - 38
 - 39 3. Prior to any land alteration, an environmental survey shall be submitted identifying all
 40 listed plant and animal species and a relocation plan. The environmental survey shall
 41 ensure compliance with the approved Preserve Area Management Plan (PAMP). The
 42 environmental survey shall be submitted for review and approved by staff. (Planning
 43 and Zoning)
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- 1 4. Prior to the issuance of the first vertical building permit, the Applicant shall comply with
2 City Code Section 78-261, Art in Public Places (AIPP) and submit construction cost
3 estimates to verify the one percent (1%) vertical construction cost for the required AIPP
4 fee. Art in Public Places is required if the vertical construction cost of all new
5 improvements on the project site is greater than One Million Dollars (\$1,000,000). The
6 Applicant shall provide art on site or make a payment in lieu thereof. (Planning and
7 Zoning)
8
- 9 5. Prior to the issuance of any land alteration, clearing, or building permit, the Applicant
10 shall provide, to the satisfaction of the City for review and approval and to be recorded
11 in the Public Records of Palm Beach County, (i) a perpetual public access easement
12 over the Primary Street and Premier Street, which is deemed satisfied by that certain
13 Public Access Easement dated March 4, 2015, and recorded on March 6, 2015, in ORB
14 27384, Pages 279 through 292, of the Public Records of Palm Beach County, Florida;
15 and (ii) a right for the public to access the area identified on the plans as the Central
16 Plaza under a Declaration of Easements, Covenants, and Restrictions; subject,
17 however, to any reasonable limitations, conditions, and restrictions imposed on such
18 access to the Central Plaza by the Applicant from time to time. Such provisions, as set
19 forth under a Declaration of Easements, Covenants, and Restrictions, shall be
20 approved by the City Attorney and said provisions shall not be modified without the
21 written consent of the City Attorney. (Planning and Zoning)
22
- 23 6. Notwithstanding any provision set forth in the Public Access Easement dated March 4,
24 2015, and recorded on March 6, 2015, in ORB 27384 Pages 279 through 292, of the
25 Public Records of Palm Beach County, Florida, the Public Access Easement shall not
26 be modified or terminated without the written consent of the City of Palm Beach
27 Gardens' City Manager and City Attorney. (Planning and Zoning)
28
- 29 7. Prior to the issuance of any land alteration, the Applicant shall submit the proposed
30 Property Owners Association Declarations for the Town Center site for review and
31 approval by the City Attorney prior to such documents being recorded in the Public
32 Records of Palm Beach County. (Planning and Zoning)
33
- 34 8. Prior to the issuance of any applicable Business Tax Receipt or building permit for
35 interior renovations of tenant spaces, the Applicant or its agent shall submit a tenant
36 breakdown by use of the gross square footage for approval by the Planning and Zoning
37 Department. (Planning and Zoning)
38
- 39 9. Outdoor display areas are permitted only as indicated on the Outdoor Display Sales
40 (ODS) plan and shall follow strict compliance with said plan. (Planning and Zoning)
41
- 42 10. Outdoor storage, display, and/or sales shall be prohibited in areas not approved for
43 such uses. All delivered materials/staging areas shall be cleared of all materials and
44 storage inside the building or garden center within two (2) hours of store closing or no
45 later than 11:00 p.m. (Planning and Zoning)
46
- 47 11. All sales activities and any outdoor storage shall adhere to the standards sets forth in
48 Section 78-147 of the City's Code. (Planning and Zoning)

- 1 12. All signage shall be consistent with Division 7 – Signs of the City’s Code, unless an
2 alternative Master Signage Program is approved by the City Council. (Planning and
3 Zoning)
- 4
5 13. No 24-hour fast food service or restaurant use is permitted. (Planning and Zoning)
- 6
7 14. All deliveries to the site shall be limited to the hours of 7:00 a.m. to 9:00 p.m. (Planning
8 and Zoning)
- 9
10 15. All deliveries shall be prohibited from stopping or standing within the project’s roadways
11 and shall use the designated loading areas within the project. (Planning and Zoning)
- 12
13 16. All on-site lighting shall be cast downward and shielded from adjacent properties.
14 (Planning and Zoning)
- 15
16 17. The Applicant shall provide an annual update from Palm Tran regarding the provision
17 of bus service to the site no later than December 31, or until buildout of this project, or
18 until bus service has been established to the site, whichever occurs first. (Planning and
19 Zoning)
- 20
21 18. All shopping carts shall be prohibited from accumulating in any parking lot and loading
22 area. All carts shall be removed from cart corrals in a timely manner and relocated to
23 designated storage areas. (Planning and Zoning).
- 24
25 19. Any vacant building pads shall be sodded with grass and irrigated within 30 days’ notice
26 from the Director of Planning and Zoning. (Planning and Zoning)
- 27
28 20. Two percent (2%) of the project’s required vehicle parking may be converted to parking
29 spaces for alternative modes of transportation. Alternate modes of transportation shall
30 include, but not be limited to, golf carts, electric vehicles, etc. (Planning and Zoning)
- 31
32 21. All dumpster and trash compactors shall be screened from view in accordance with
33 Section 78-378 of the City’s Code. (Planning and Zoning)
- 34
35 22. All new mechanical and ground-mounted equipment shall be screened from public view
36 in accordance with Section 78-195 of the City’s Code. (Planning and Zoning)
- 37
38 23. The Applicant shall coordinate and receive approval from the Director of Planning and
39 Zoning prior to the closing of any public sidewalk. (Planning and Zoning)
- 40
41 24. The total restaurant square footage, including outdoor seating, shall not exceed 25
42 percent of the commercial square footage within the project. (Planning and Zoning)
- 43
44 25. All outdoor seating shall be in compliance with Section 78-191 of the City’s Code.
45 (Planning and Zoning)
- 46
47 26. At no time shall staging of construction vehicles and/or service vehicles occur within a
48 public right-of-way. (Planning and Zoning)

- 1 27. Any proposed valet operation within the project shall be reviewed and approved by City
2 staff and include the consent of such operation of the Property Owners Association for
3 the Town Center. (Planning and Zoning)
4
- 5 28. The *Clusia Guttifera* landscaping depicted on Sheets LP-2, LP6, and LP-10 that provide
6 screening of the project's parking areas shall be maintained at a height of between six
7 (6) feet and eight (8) feet providing an opaque barrier. (Planning and Zoning)
8
- 9 29. Prior to the issuance of the vertical building permits for Buildings A or O-P1-P2-Q, the
10 rear landscape buffers, including the screen wall, identified on Sheets LP-10 and LP-
11 11 along the Primary Street shall be installed and completed. Prior to the issuance of
12 the vertical building permit for Building T, the eight- (8) foot-tall screen wall located
13 south and east of the building and the associated wall landscaping shall be installed.
14 The intent of this condition is to provide adequate time for the landscape buffer to
15 mature prior to the building becoming operational. (Planning and Zoning)
16
- 17 30. Prior to the issuance of the first Certificate of Occupancy for Buildings O-P1-P2-Q or R,
18 the central plaza, as depicted on the project plans, shall be completed. (Planning and
19 Zoning)
20
- 21 31. Prior to the issuance of the first Certificate of Occupancy for Buildings L or S, whichever
22 occurs first, the large trellis feature depicted on Sheet SP-5 shall be completed.
23 (Planning and Zoning)
24
- 25 32. Prior to the issuance of the first Certificate of Occupancy for any of the following
26 buildings: A, C, D, E, F, G, N, O-P-P-Q, all pedestrian streetscape amenities located
27 on the west side of the Premier Street shall be installed. Prior to the issuance of the
28 first Certificate of Occupancy for any of the following buildings: H, I, J, K, L, S, or T, all
29 pedestrian and streetscape amenities located on the east side of the Premier Street
30 shall be installed. Prior to the issuance of the first Certificate of Occupancy for any
31 building adjacent to the Premier Street, the Premier Street and all Premier Street
32 associated streetscape amenities shall be completed. These improvements shall
33 include, but not be limited to, benches, lighting, trellis, crosswalk, etc. The provision of
34 these streetscape amenities required by this condition may be modified by the Director
35 of Planning and Zoning during construction, as necessary. (Planning and Zoning)
36
- 37 33. Minor adjustments to building signage and landscaping may be approved by staff to
38 accommodate for tree growth and signage visibility conflicts. (Planning and Zoning)
39
- 40 34. Prior to the issuance of the first building permit, the Applicant shall submit a lighting and
41 amenity plan to staff for review and approval. The lighting and amenity plan shall
42 include, but not limited to, up-lighting, accent lighting, tree lighting, etc. The plan shall
43 also include time frames for installation and implementation and maintenance.
44 (Planning and Zoning)
45
46
47
48

FORESTRY

- 1
2
3 35. Prior to the issuance of the first Certificate of Occupancy for any building within this
4 project, the Donald Ross Road medians shall be landscaped in accordance with
5 Section 78-324 of the City's Code. (City Forester)
6

GEOGRAPHIC INFORMATION SYSTEMS (GIS)

- 7
8
9 36. Prior to the issuance of the first Certificate of Occupancy, digital files of the recorded
10 plat, if required, shall be submitted to the Planning and Zoning Department. (GIS
11 Manager)
12
13 37. Prior to the issuance of the first building permit for vertical construction, the Applicant
14 shall submit an addressing plan to the City for review and approval. (GIS Manager)
15
16 38. Prior to the issuance of the first building permit for vertical construction, the Applicant
17 shall submit a subdivision name to the City for review and approval. (GIS Manager)
18
19 39. Prior to the issuance of the Certificate of Occupancy for each building, the Applicant
20 shall prepare and submit an exhibit for approval that demonstrates building and tenant
21 suite addresses are consistent with Section 78-275 of the City's Code. (GIS Manager)
22
23 40. Prior to the issuance of the land alteration permit or first building permit for vertical
24 construction, the Applicant shall submit a street name plan for the project to the City's
25 Addressing Committee for review and approval. (GIS Manager)
26

ENGINEERING

- 27
28
29 41. Prior to the issuance of any land alteration, clearing, or building permit, the Applicant
30 shall submit for subdivision approval consistent with Section 78-592 of the City's Code.
31 The Applicant shall submit to the City for review and approval all proposed and required
32 easements and any easement modifications as part of said subdivision approval.
33 (Engineering)
34
35 42. The Applicant shall install the future traffic signal at the Donald Ross Road and Florida
36 Atlantic University (FAU) and project intersection in accordance with Condition of
37 Approval 30.b of Resolution 44, 2013, or as otherwise permitted and approved by Palm
38 Beach County. (Engineering)
39
40 43. Prior to the issuance of the first Certificate of Occupancy, the traffic signal required
41 pursuant to Condition of Approval 30.b of Resolution 44, 2013 shall be installed and
42 operational. (Engineering)
43
44 44. Prior to the issuance of the first Certificate of Occupancy or Certificate of Completion,
45 whichever occurs first, for the project, the Applicant shall construct the following
46 improvements:
47
48

- 1 a. An eastbound right-turn lane on Donald Ross Road and the project's western
2 driveway.
3
- 4 b. The northbound Alton Road outside through lane shall be striped as a right-turn
5 lane, consistent with the striping north of this driveway, at the intersection with the
6 Primary Street. (Engineering)
7
- 8 45. Prior to the issuance of the clearing permit, infrastructure permit, or the building permit
9 for the vertical construction, whichever occurs first, the Applicant shall provide itemized
10 cost estimates and surety for the project (public or private), in accordance with LDR
11 Sections 78-309 and 78-461. The itemized cost estimates shall include all public
12 elements for the on-site and off-site infrastructure, landscaping, and irrigation-related
13 improvements for the project. The cost estimates shall be dated, signed and sealed by
14 a professional engineer and landscape architect registered in the State of Florida.
15 Surety will be based on 110% of the total combined City-approved cost estimates and
16 shall be posted with the City. (Engineering)
17
- 18 46. Prior to the issuance of the infrastructure permit, the Applicant shall receive a Technical
19 Compliance Approval (TCA) letter for the subdivision for this project, if required, from
20 the Planning and Zoning Department in accordance with the City's LDRs.
21 (Engineering)
22
- 23 47. Prior to the issuance of a land clearing, alteration, infrastructure permit, or building
24 permit, the Applicant shall submit a construction development and phasing and
25 construction safety plan for the City to review. At a minimum, the plan should provide
26 a preliminary schedule of construction for specific buildings, common areas, and
27 thoroughfares, identification of construction limits during individual phases of
28 construction, the construction of parking areas to support completed development, and
29 other infrastructure improvements necessary to serve the development for review and
30 approval by staff. The construction phasing and safety plan shall include all necessary
31 construction zone signage and fencing, as required by the Engineering Department,
32 and will need to be monitored throughout the construction duration and modified as
33 necessary to allow safe and effective pedestrian and vehicular movement throughout
34 the project. The plan shall be updated, as necessary, at the request of the City
35 Engineer and/or the Director of Planning and Zoning. (Planning and Zoning,
36 Engineering, Police)
37
- 38 48. Prior to the issuance of the infrastructure permit, the Applicant shall submit to the City
39 a site lighting permit application along with a signed and sealed Photometric plan.
40 (Engineering)
41
- 42 49. Prior to the issuance of the infrastructure permit, the required ADA elements for the
43 building entrance, pedestrian access areas, and ramps shall be shown and detailed on
44 the plans for review by the City. (Engineering)
45
46
47
48

- 1 50. Prior to the commencement of construction, the Applicant shall schedule a pre-
2 construction meeting with City staff. Inspections related to the infrastructure permit will
3 not be performed until the pre-construction meeting has occurred. In addition, failure
4 to comply with this condition could result in a Stop-Work Order of all work/construction
5 activity for the subject development site. (Engineering)
6
- 7 51. The following items are required to be ongoing throughout the project:
8
- 9 a. The construction, operation, and/or maintenance of any elements of the subject
10 project shall not have any negative impacts on the existing drainage of surrounding
11 areas. If at any time during the project development it is determined by the City that
12 any of the surrounding areas are experiencing negative drainage impacts caused
13 by the project, it shall be the Applicant's responsibility to resolve said impacts in a
14 period of time and a manner acceptable to the City prior to additional construction
15 activities. The City may cease issuing building permits and/or Certificates of
16 Occupancy until all drainage concerns are resolved.
17
 - 18 b. Prior to the issuance of the infrastructure permit, if applicable, the Applicant shall
19 provide the City Engineer with copies of all permits, permit applications, and
20 Requests for Additional Information to and from regulatory agencies regarding
21 issues on all permit applications, certifications, and approvals including South
22 Florida Water Management District, Northern Palm Beach County Improvement
23 District, Seacoast Utility Authority, Palm Beach County, Palm Beach County Health
24 Department, Florida Department of Transportation, etc.
25
 - 26 c. The Applicant shall comply with all Federal EPA and State of Florida Department of
27 Environmental Protection NPDES requirements, including, but not limited to,
28 preparation of a storm water pollution prevention plan and identification of
29 appropriate Best Management Practices, as generally accepted by the
30 Environmental Protection Agency (EPA) and/or local regulatory agencies, for
31 construction activities, implementation of the approved plans, inspection, and
32 maintenance of controls during construction, including a Notice of Intent prior to the
33 issuance of the infrastructure permit and Notice of Termination prior to the issuance
34 of the Certificate of Completion for the infrastructure permit. (Engineering)
35
- 36 52. Prior to the issuance of the Certificate of Completion for the infrastructure permit, the
37 Applicant shall provide electronic certified civil design as-built drawings both in PDF
38 and AutoCAD formats. (Engineering)
39
- 40 53. Prior to the issuance of the Certificate of Completion for the infrastructure permit, the
41 Applicant shall provide copies of the required test results as provided for on the plans
42 and specifications and in accordance with the FDOT for the City's review.
43 (Engineering)
44
- 45 54. Prior to the issuance of the first Certificate of Occupancy and/or Certificate of
46 Completion for the new building, the Applicant shall submit all required recorded
47 easements and easement modifications to the City. (Engineering)
48

- 1 55. All pavement marking and striping, excluding parking stall striping, shall be installed
 2 with thermoplastic materials. Paver bricks of appropriate color shall be used on paver
 3 brick areas in lieu of paint or thermoplastic material for conformance with Section 78-
 4 344 of the City's LDRs. (Engineering)
 5
- 6 56. The locations for any proposed ATM and the photometrics for the ATMs must be
 7 submitted prior the issuance of the infrastructure permit and must meet City Code 78-
 8 182. (Engineering)
 9

10 **SECTION 6.** This petition is approved subject to strict compliance with the Exhibits
 11 listed below, which are attached hereto and made a part hereof as Exhibit "A":
 12

- 13 1. Site Plan, Sheets 1 through 5, prepared by *Urban Design Kilday Studios*, dated
 14 September 21, 2016.
 15
- 16 2. Landscape Plans, Sheets LP-C and LP-1 through LP-15, prepared by *Urban Design*
 17 *Kilday Studios*, dated September 6, 2016.
 18
- 19 3. Building T Outdoor Display Plan, Sheet ODS, prepared by *CPH*, dated July 18, 2016.
 20
- 21 4. Alton Town Center Concept Plaza Layout Plan, Sheet C-1, prepared by *Krent Wieland*
 22 *Design, Inc.*, dated July 15, 2016.
 23
- 24 5. Building A/B/C, Floor Plan, Roof Plan, and Elevations (black and white and color),
 25 Sheets Z1.0 through Z1.2, prepared by *Glidden Spina and Partners*, dated July 20,
 26 2016.
 27
- 28 6. Building D, Floor Plan, Roof Plan, and Elevations (black and white and color), Sheets
 29 Z2.0 through Z2.1, prepared by *Glidden Spina and Partners*, dated September 6, 2016.
 30
- 31 7. Building E, Floor Plan, Roof Plan, and Elevations (black and white and color), Sheets
 32 Z3.0 through Z3.1, prepared by *Glidden Spina and Partners*, dated September 6, 2016.
 33
- 34 8. Building F, Floor Plan, Roof Plan, and Elevations (black and white and color), Sheets
 35 Z4.0 through Z4.1, prepared by *Glidden Spina and Partners*, dated September 6, 2016.
 36
- 37 9. Building G, Floor Plan, Roof Plan, and Elevations (black and white and color), Sheets
 38 Z5.0 through Z5.1, prepared by *Glidden Spina and Partners*, dated September 6, 2016.
 39
- 40 10. Building H, Floor Plan, Roof Plan, and Elevations (black and white and color), Sheets
 41 Z6.0 through Z6.1, prepared by *Glidden Spina and Partners*, dated September 6, 2016.
 42
- 43 11. Building I, Floor Plan, Roof Plan, and Elevations (black and white and color), Sheets
 44 Z7.0 through Z7.1, prepared by *Glidden Spina and Partners*, dated September 6, 2016.
 45
- 46 12. Building J, Floor Plan, Roof Plan, and Elevations (black and white and color), Sheets
 47 Z8.0 through Z8.1, prepared by *Glidden Spina and Partners*, dated September 6, 2016.
 48

- 1 13. Building K, Floor Plan, Roof Plan, and Elevations (black and white and color), Sheets
 2 Z9.0 through Z9.1, prepared by *Glidden Spina and Partners*, dated July 20, 2016.
 3
- 4 14. Building L-M, Floor Plan, Roof Plan, and Elevations (black and white and color), Sheets
 5 Z11.0 through Z11.1, prepared by *Glidden Spina and Partners*, dated July 20, 2016.
 6
- 7 15. Building N, Floor Plan, Roof Plan, and Elevations (black and white and color), Sheets
 8 Z12.0 through Z12.1, prepared by *Glidden Spina and Partners*, dated September 6,
 9 2016.
- 10 16. Building O/P/Q, Floor Plan, Roof Plan, and Elevations (black and white and color),
 11 Sheets Z13.0 through Z13.2, prepared by *Glidden Spina and Partners*, dated
 12 September 6, 2016.
 13
- 14 17. Building R, Floor Plan, Roof Plan, and Elevations (black and white and color), Sheets
 15 Z14.0 through Z14.1, prepared by *Glidden Spina and Partners*, dated July 20, 2016.
 16
- 17 18. Building S, Floor Plan, Roof Plan, and Elevations (black and white and color), Sheets
 18 Z15.0 through Z15.2, prepared by *Glidden Spina and Partners*, dated July 20, 2016.
 19
- 20 19. Building T – Lowes, Floor Plan and Elevations (black and white and color), Sheets A1
 21 and A2.1, prepared by *CPH*, dated July 20, 2016.
 22
- 23 20. Trellis Plans and Elevations (black and white and color), Sheets Z16.0 through Z16.1,
 24 prepared by *Glidden Spina and Partners*, dated July 20, 2016.
 25
- 26 21. Small Trellis Elevations, Sheet Z17.0, prepared by *Glidden Spina and Partners*, dated
 27 July 20, 2016.
 28
- 29 22. Alton Town Center Bollard Detail, Sheet B1, prepared by *Urban Design Kilday Studios*,
 30 dated September 16, 2016.
 31
- 32 23. Alton Town Center Traffic Impact Statement, prepared by *Kimley-Horn and Associates*,
 33 *Inc.*, dated September 15, 2016.
 34
- 35 24. Alton Town Center Traffic Approval Letter, prepared by *Pinder Troutman Consulting*,
 36 *Inc.*, dated July 27, 2016.
 37

38 **SECTION 7.** All representations made by the Applicant or the Applicant's agent at any
 39 public hearing regarding this application are specifically incorporated herein, and this approval
 40 is granted subject to same.
 41

42 **SECTION 8.** This Resolution shall become effective immediately upon adoption.
 43
 44
 45
 46
 47
 48

PASSED AND ADOPTED this _____ day of _____, 2016.

CITY OF PALM BEACH GARDENS, FLORIDA

BY: _____
Marcie Tinsley, Mayor

ATTEST:

BY: _____
Patricia Snider, CMC, City Clerk

APPROVED AS TO FORM AND
LEGAL SUFFICIENCY

BY: _____
R. Max Lohman, City Attorney

VOTE:

AYE NAY ABSENT

MAYOR TINSLEY	_____	_____	_____
VICE MAYOR JABLIN	_____	_____	_____
COUNCILMEMBER PREMUIROSO	_____	_____	_____
COUNCILMEMBER MARINO	_____	_____	_____
COUNCILMEMBER WOODS	_____	_____	_____



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EXHIBIT "A"



August 5, 2015
Revised February 15, 2016
Revised April 14, 2016
Revised June 22, 2016
Revised July 7, 2016
Revised July 20, 2016
Revised September 15, 2016

Mr. William Bouwman and
Mr. Andrew Brock
NADG/Brock [Alton PBG], LLP
400 Clematis Street, Suite 201
West Palm Beach, Florida 33401

RE: *Alton Town Center*
Traffic Impact Statement
Palm Beach Gardens, Florida
KHA #144981000

Dear Mr. Bouwman and Mr. Brock:

It is proposed to develop the site on the south side of Donald Ross Road, just west of Central Boulevard, in the City of Palm Beach Gardens, Florida. The location of the site is illustrated in *Figure 1*. The parcel control number (PCN) for the site is 52-42-41-26-00-100-3003. The site is a part of the Briger East DRI.

The existing site is currently vacant. It is proposed to develop 346,403 square feet of retail uses, including general retail, home improvement superstore, fast-food restaurant with drive-through, drive-in bank and gas station with convenience store and car wash. An additional 13,800 square feet of outdoor seating area is anticipated. Although the physical location of this seating area is not identified on the site plan, the trips associated with this seating area have been included in this analysis. This analysis has been prepared to demonstrate the proposed uses in addition to up to 13,800 square feet of future outdoor seating area are within the traffic impacts anticipated within the Briger East DRI. A buildout year of 2019 is proposed.

CONVERSION ANALYSIS

The existing Parcel C has an allocation of 450,000 square feet of retail use. A trip conversion analysis was therefore prepared to compare the proposed development plan to the allowable allocation of trips. The trip conversion matrix and methodology outlined in the DRI was utilized for purposes of converting the 450,000 square foot retail allocation to the specific mix of uses proposed on this site plan. *Table 1* includes a summary of the conversion. Conversion rates are included in the matrix for conversions from the retail use to the fast-food with drive-through use and the drive-in

bank use. Conversion rates for conversion from retail use to gas station with convenience store and car wash, and the home improvement store, are not included in the matrix. Therefore, the methodology noted in the matrix for conversion to alternate uses was applied. As noted in the matrix:

ITE PM Peak Hour Rate is the Average Two-Way PM Peak Hour Rate multiplied by the outbound split percentage.

The PM peak hour rates for gas station with convenience store and car wash as well as the home improvement superstore were based on the rates reported in the *ITE Trip Generation Manual, 9th Edition*. Fueling positions were utilized as the independent variable for the gas station and convenience store. The convenience store was also included as retail use, providing a conservative analysis. To convert from the retail use to the gas station use and the home improvement superstore use, the rate described above is then divided by the approved retail use rate reported in the matrix. As shown in *Table 1*, the proposed conversion of non-general-retail uses results in a reduction of 201,848 square feet of general retail use. The proposed plan includes 235,361 square feet of retail use inclusive of the additional 13,800 square feet of future outdoor seating area; therefore, the existing allocation of 450,000 square feet of retail use on this parcel can be converted to the proposed uses.

CUMULATIVE TRIP ANALYSIS

The daily and peak hour trip generation potential for the proposed development plan was calculated based on trip generation rates published as part of the Briger East DRI as available, or the ITE rates for uses not included in the DRI. Rates reported in the *ITE Trip Generation Manual, 9th Edition* were utilized for the proposed fast-food with drive-through, gas station with convenience store and car wash, and drive-in bank uses. Furthermore, pass-by reductions were applied to the rates to determine net trips. It should be noted that internalization was not included in the calculation; therefore, this analysis is conservative.

Per the conditions of approval for the DRI, the cumulative trips from all previously-approved site plans within the DRI must be included in this analysis. Sites within the DRI has been approved for 217 single-family homes, 143 multifamily units, 353 apartments and 224,066 SF of office use. As indicated in *Table 2*, the cumulative development (proposed and approved) is expected to generate 960 net AM peak-hour trips and 1,361 net PM peak hour trips. Section 4.3 of the City of Palm Beach Gardens Resolution 80-09 limits Phase 1 development to 1,369 cumulative net AM peak hour trips and 2,174 cumulative net PM peak hour trips. Therefore, the proposed development falls below the trip threshold for Phase 1. Therefore, no further analysis is required.

Section 3.30.b of Resolution 44-13 of the plat note states:

When a vehicular connection is made to Donald Ross Road at Florida Atlantic University (FAU), then no building permits for development within Parcel C, the Town Center District, that generates more than 400 net external AM peak-hour trips or 650 net external PM peak hour trips, whichever occurs first, shall be issued until a surety bond has been posted and the contracts have been let to remove

the median restriction on Donald Ross Road and install the traffic signal at Donald Ross Road and FAU.

Because the proposed development will generate more than 400 net external AM peak-hour trips and more than 650 net external PM peak-hour trips, a surety bond is required for the signal at this time.

TRAFFIC ASSIGNMENT

The AM and PM peak hour trips associated with the project were assigned to the adjacent roadway links according to the approved DRI distribution. *Figure 2* illustrates the project traffic assignment.

SITE CIRCULATION AND TURN LANE REQUIREMENTS

Access to the site is proposed two right-in/right-out driveways on Donald Ross Road, one right-in/right-out driveway on Alton Drive, one full-access driveway on Alton Drive, and one full-access driveway on Donald Ross Road.

The project driveway volumes were compared against the Palm Beach County thresholds to determine the turn lane requirements of the site's driveways. The Palm Beach County Land Development Standards Manual identifies its threshold for providing a right-turn lane as 75 or more right turns during peak hour conditions on roadways with an Average Daily Traffic (ADT) volumes of 10,000 vehicles or more and its threshold for providing a left turn lane as 30 or more left turns during peak hour conditions.

Using these criteria, the left-turn volume is greater than 30 vehicles per hour at the southernmost full-access drive along Alton Drive and at the full median opening on Donald Ross Road. Left turn lanes are shown at these locations on the attached site plan. The Right turn volume is greater than 75 peak hour vehicles at the full median opening on Donald Ross Road and the two driveways on Alton Road. The right-turn lane on Donald Ross Road is shown on the attached site plan. Due to the lower traffic volumes projected for Alton Drive, the more urban characteristic of the roadway, and that considering that the roadway is under the jurisdiction of the City of Palm Beach Gardens, the County's thresholds have not been applied to this City roadway and right-turn lanes are not proposed for the driveways on Alton Road. It should be noted that the driveway volume calculations are based on gross project traffic volumes and do not include internal capture reduction; therefore the driveway volumes are conservative.

CONCLUSION

The foregoing analysis demonstrates that the proposed modification to the development is within the approved trip thresholds for the approved Briger DRI. Therefore, no additional analysis is required.

Should you have any questions regarding this analysis please contact me at (561) 840-0874 or adam.kerr@kimley-horn.com.

Sincerely,

A handwritten signature in blue ink, appearing to read 'AK', with a long horizontal flourish extending to the right.

Adam B. Kerr, P.E.
Transportation Engineer

Florida Registration
Number 64773
Certificate of Authorization
Number 696

Attachments



DONALD ROSS ROAD

CENTRAL BOULEVARD



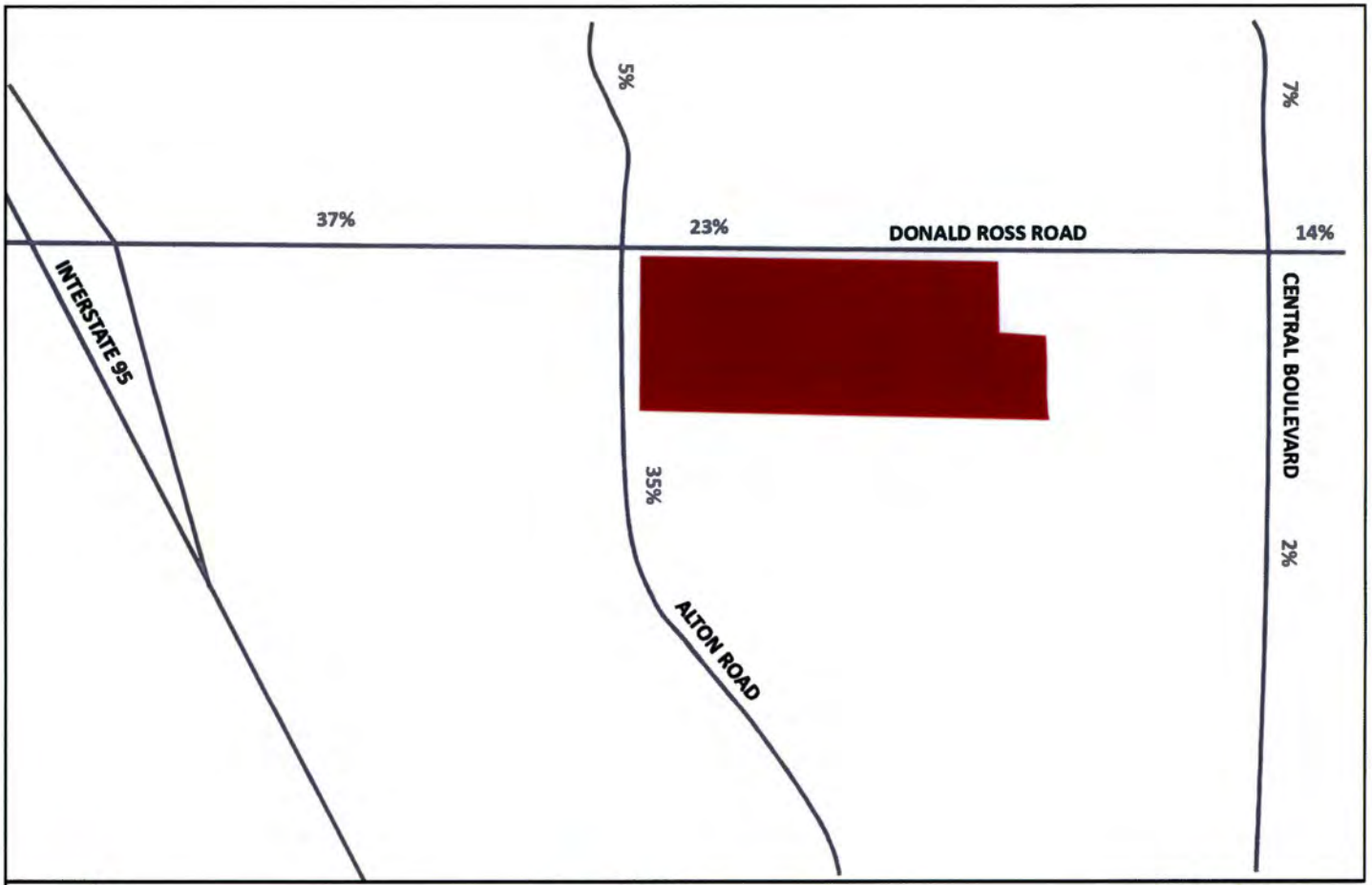
LEGEND



SITE LOCATION

FIGURE 1
SITE LOCATION
ALTON TOWN CENTER

Kimley»Horn




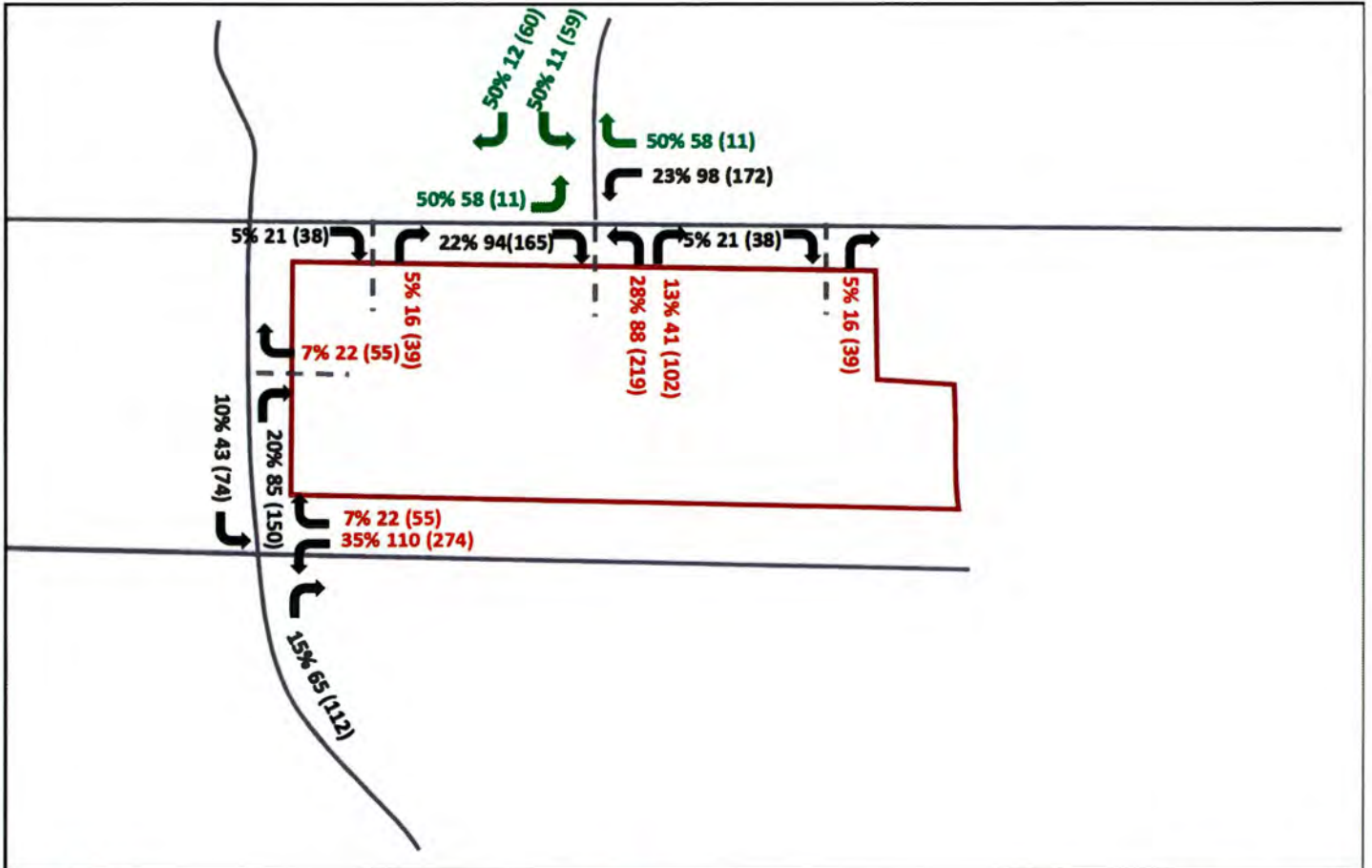
LEGEND
 SITE LOCATION
 XX% PERCENT ASSIGNMENT

FIGURE 2
 TRIP ASSIGNMENT
 ALTON TOWN CENTER
Kimley»Horn



LEGEND

XX AM INBOUND XX AM OUTBOUND
 (XX) PM INBOUND (XX) PM OUTBOUND
 (XX) MAX PLANCK TRAFFIC

FIGURE 3
 DRIVEWAY VOLUMES
 ALTON TOWN CENTER
Kimley»Horn

**TABLE 1
CONVERSION MATRIX
ALTON TOWN CENTER**

LAND USE	INTENSITY	CONVERSION RATE	AMOUNT TO REDUCE
Approved Use			
Town Center (Retail)	450,000 s.f.	--	--
Proposed Development			
Fast Food Restaurant + DT	2,006 s.f.	9.2373	18,530
Drive-in Bank	3,475 s.f.	12.7056	44,152
Home Improvement Superstore *	119,361 s.f.	0.6602	78,798
Gas Station with Convenience Store & Car Wash **	16 s.f.	3.7730	60,368
Total Retail Reduction			201,848
Total Proposed Retail***			235,361

* PM Peak Hour Two-Way rate of 2.33 trips/ksf multiplied by 51% outbound split and divided by retail rate of 1.8

** PM Peak Hour Two-Way rate of 13.86 trips/fp multiplied by 49% outbound split and divided by retail rate of 1.8

*** Includes 13,800 SF of outdoor seating area

**TABLE 2
TRIP GENERATION COMPARISON
ALTON TOWN CENTER**

LAND USE	INTENSITY	AM PEAK HOUR			PM PEAK HOUR		
		TOTAL	IN	OUT	TOTAL	IN	OUT
Proposed Development (Net New Trips)							
Town Center (Retail)	235,361 s.f.	150	92	58	504	242	262
Fast Food Restaurant + DT	2,006 s.f.	46	23	23	33	17	16
Drive-in Bank	3,475 s.f.	22	13	9	45	23	22
Gas Station with Convenience Market + Car Wash	16 fp	72	37	35	98	50	48
Home Improvement Superstore	119,361 s.f.	103	53	50	161	79	82
Gross Trips (Proposed Development)		393	218	175	841	411	430
Approved Development (per DRI Rates)							
Single Family (East)	217 units	132	33	99	136	86	50
Multi Family	143 units	41	7	34	39	26	13
Apartments	353 units	146	29	117	145	94	51
Office	224,066 SF	248	206	42	200	34	166
Net New External Trips (Approved Development)		567	275	292	520	240	280
Total Gross Trips (Proposed + Approved)		960	493	467	1,361	651	710

Trip Generation calculated using the following equations:

Net New AM Trips

Town Center (Retail)	[DRI]	=	0.638 trips/1,000 square feet; (61% in, 39% out)
Fast Food Restaurant + DT	[ITE 934]	=	45.42 trips / 1,000 SF (51% in, 49% out) + 49% pass-by
Drive-in Bank	[ITE 912]	=	12.08 trips / 1,000 SF (57% in, 43% out) + 47% pass-by
Gas Station with Convenience Market + Car Wash	[ITE 946]	=	11.84 trips / FP (51% in, 49% out) + 62% pass-by
Home Improvement Superstore	[ITE 862]	=	1.49 trips / 1,000 SF (57% in, 43% out) + 42% pass-by
Single Family (East)	[DRI]	=	0.606 trips/unit; (25% in, 75% out)
Multi Family	[DRI]	=	0.284 trips/unit; (17% in, 83% out)
Apartments	[DRI]	=	0.415 trips/unit; (20% in, 80% out)
Office	[DRI]	=	1.106 trips/1,000 square feet; (88% in, 12% out)

Net New PM Trips

Town Center (Retail)	[DRI]	=	2.14 trips/1,000 square feet; (48% in, 52% out)
Fast Food Restaurant + DT	[ITE 934]	=	32.65 trips / 1,000 SF (52% in, 48% out) + 50% pass-by
Drive-in Bank	[ITE 912]	=	24.30 trips / 1,000 SF (50% in, 50% out) + 47% pass-by
Gas Station With Convenience Market + Car Wash	[ITE 946]	=	13.86 trips / FP (51% in, 49% out) + 56% pass-by
Home Improvement Superstore	[ITE 862]	=	2.33 trips / 1,000 SF (49% in, 51% out) + 42% pass-by
Single Family (East)	[DRI]	=	0.629 trips/unit; (63% in, 37% out)
Multi Family	[DRI]	=	0.275 trips/unit; (67% in, 33% out)
Apartments	[DRI]	=	0.410 trips/unit; (65% in, 35% out)
Office	[DRI]	=	0.893 trips/1,000 square feet; (17% in, 83% out)

**TABLE 3
TRIP GENERATION COMPARISON FOR DRIVEWAY VOLUMES
ALTON TOWN CENTER**

LAND USE	INTENSITY	AM PEAK HOUR			PM PEAK HOUR		
		TOTAL	IN	OUT	TOTAL	IN	OUT
Proposed Development (Gross Trips)							
Town Center (Retail)	235,361 s.f.	242	148	94	883	424	459
Fast Food Restaurant + DT	2,006 s.f.	91	46	45	65	34	31
Drive-in Bank	3,475 s.f.	42	24	18	84	42	42
Gas Station with Convenience Market and Car Wash	16 fp	189	108	81	222	113	109
Home Improvement Superstore	119,361 s.f.	178	101	77	278	136	142
Net New Gross Trips (Proposed Development)		742	427	315	1,532	749	783

Trip Generation calculated using the following equations:

Net New AM Trips

Town Center (Retail)	[DRI]	=	1.03 trips/1,000 square feet; (61% in, 39% out)
Fast Food Restaurant + DT	[ITE 934]	=	45.42 trips / 1,000 SF (51% in, 49% out)
Drive-in Bank	[ITE 912]	=	12.08 trips / 1,000 SF (57% in, 43% out)
Gas Station with Convenience Market and Car Wash	[ITE 946]	=	11.84 trips / 1,000 SF (51% in, 49% out)
Home Improvement Superstore	[ITE 862]	=	1.49 trips / 1,000 SF (57% in, 43% out)

Net New PM Trips

Town Center (Retail)	[DRI]	=	3.753 trips/1,000 square feet; (48% in, 52% out)
Fast Food Restaurant + DT	[ITE 934]	=	32.65 trips / 1,000 SF (52% in, 48% out)
Drive-in Bank	[ITE 912]	=	24.30 trips / 1,000 SF (50% in, 50% out)
Gas Station with Convenience Market and Car Wash	[ITE 946]	=	13.86 trips / FP (51% in, 50% out)
Home Improvement Superstore	[ITE 862]	=	2.33 trips / 1,000 SF (49% in, 51% out)

SHORT REPORT												
General Information						Site Information						
Analyst Agency or Co. <i>KHA</i> Date Performed <i>07/20/2016</i> Time Period <i>AM Peak</i>						Intersection <i>Donald Ross Rd & Driveway</i> Area Type <i>All other areas</i> Jurisdiction Analysis Year <i>2019</i>						
Volume and Timing Input												
	EB			WB			NB			SB		
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT
Number of Lanes	1	3	1	1	4	0	1	1	0	1	1	0
Lane Group	L	T	R	L	TR		L	TR		L	TR	
Volume (vph)	58	1733	94	98	929	58	88	0	41	11	0	12
% Heavy Vehicles	2	2	2	2	2	2	2	2	2	2	2	2
PHF	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.92	0.95	0.92	0.92	0.95
Pretimed/Actuated (P/A)	A	A	A	A	A	A	A	A	A	A	A	A
Startup Lost Time	2.0	2.0	2.0	2.0	2.0		2.0	2.0		2.0	2.0	
Extension of Effective Green	2.0	2.0	2.0	2.0	2.0		2.0	2.0		2.0	2.0	
Arrival Type	3	3	3	3	3		3	3		3	3	
Unit Extension	3.0	3.0	3.0	3.0	3.0		3.0	3.0		3.0	3.0	
Ped/Bike/RTOR Volume	0	0	0	0	0	58	0	0	10	0	0	10
Lane Width	12.0	12.0	12.0	12.0	12.0		12.0	12.0		12.0	12.0	
Parking/Grade/Parking	N	0	N	N	0	N	N	0	N	N	0	N
Parking/Hour												
Bus Stops/Hour	0	0	0	0	0		0	0		0	0	
Minimum Pedestrian Time		3.2			3.2			3.2			3.2	
Phasing	Excl. Left	Thru & RT	03	04	Excl. Left	NS Perm	07	08				
Timing	G = 14.0	G = 69.5	G =	G =	G = 15.0	G = 20.0	G =	G =				
	Y = 5	Y = 6.5	Y =	Y =	Y = 5	Y = 5	Y =	Y =				
Duration of Analysis (hrs) = 0.25						Cycle Length C = 140.0						
Lane Group Capacity, Control Delay, and LOS Determination												
	EB			WB			NB			SB		
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT
Adjusted Flow Rate	61	1824	99	103	978		93	33		12	2	
Lane Group Capacity	177	2519	786	177	3358		440	226		413	226	
v/c Ratio	0.34	0.72	0.13	0.58	0.29		0.21	0.15		0.03	0.01	
Green Ratio	0.10	0.50	0.50	0.10	0.50		0.29	0.14		0.29	0.14	
Uniform Delay d ₁	58.7	27.7	18.9	60.2	20.8		37.7	52.5		36.0	51.5	
Delay Factor k	0.11	0.28	0.11	0.17	0.11		0.11	0.11		0.11	0.11	
Incremental Delay d ₂	1.2	1.1	0.1	4.8	0.0		0.2	0.3		0.0	0.0	
PF Factor	1.000	1.000	1.000	1.000	1.000		1.000	1.000		1.000	1.000	
Control Delay	59.9	28.8	19.0	65.0	20.8		37.9	52.8		36.0	51.5	
Lane Group LOS	E	C	B	E	C		D	D		D	D	
Approach Delay	29.2			25.0			41.8			38.2		
Approach LOS	C			C			D			D		
Intersection Delay	28.3			Intersection LOS						C		

BACK-OF-QUEUE WORKSHEET

General Information

Project Description *Donald Ross Rd & Driveway*

Average Back of Queue

	EB			WB			NB			SB		
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT
Lane Group	<i>L</i>	<i>T</i>	<i>R</i>	<i>L</i>	<i>TR</i>		<i>L</i>	<i>TR</i>		<i>L</i>	<i>TR</i>	
Initial Queue/Lane	0.0	0.0	0.0	0.0	0.0		0.0	0.0		0.0	0.0	
Flow Rate/Lane Group	61	1824	99	103	978		93	33		12	2	
Satflow/Lane	1770	1862	1583	1770	1862		1540	1583		1443	1583	
Capacity/Lane Group	177	2519	786	177	3358		440	226		413	226	
Flow Ratio	0.0	0.4	0.1	0.1	0.1		0.1	0.0		0.0	0.0	
v/c Ratio	0.34	0.72	0.13	0.58	0.29		0.21	0.15		0.03	0.01	
I Factor	1.000	1.000	1.000	1.000	1.000		1.000	1.000		1.000	1.000	
Arrival Type	3	3	3	3	3		3	3		3	3	
Platoon Ratio	1.00	1.00	1.00	1.00	1.00		1.00	1.00		1.00	1.00	
PF Factor	1.00	1.00	1.00	1.00	1.00		1.00	1.00		1.00	1.00	
Q1	2.2	20.5	2.1	3.8	6.2		2.6	1.1		0.3	0.1	
kB	0.3	0.9	0.8	0.3	0.9		0.5	0.4		0.5	0.4	
Q2	0.2	2.1	0.1	0.4	0.4		0.1	0.1		0.0	0.0	
Q Average	2.4	22.6	2.2	4.3	6.5		2.8	1.2		0.4	0.1	

Percentile Back of Queue (95th percentile)

fb%	2.0	1.7	2.0	2.0	1.9		2.0	2.1		2.1	2.1	
Back of Queue	4.8	37.7	4.4	8.4	12.5		5.6	2.4		0.7	0.1	

Queue Storage Ratio

Queue Spacing	25.0	25.0	25.0	25.0	25.0		25.0	25.0		25.0	25.0	
Queue Storage	0	0	0	0	0		0	0		0	0	
Average Queue Storage Ratio												
95% Queue Storage Ratio												

SHORT REPORT												
General Information						Site Information						
Analyst Agency or Co. <i>KHA</i> Date Performed <i>07/20/2016</i> Time Period <i>PM Peak</i>						Intersection <i>Donald Ross Rd & Driveway</i> Area Type <i>All other areas</i> Jurisdiction Analysis Year <i>2019</i>						
Volume and Timing Input												
	EB			WB			NB			SB		
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT
Number of Lanes	1	3	1	1	4	0	1	1	0	1	1	0
Lane Group	L	T	R	L	TR		L	TR		L	TR	
Volume (vph)	11	1355	165	174	1773	11	219	0	102	60	0	59
% Heavy Vehicles	2	2	2	2	2	2	2	2	2	2	2	2
PHF	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95
Pretimed/Actuated (P/A)	A	A	A	A	A	A	A	A	A	A	A	A
Startup Lost Time	2.0	2.0	2.0	2.0	2.0		2.0	2.0		2.0	2.0	
Extension of Effective Green	2.0	2.0	2.0	2.0	2.0		2.0	2.0		2.0	2.0	
Arrival Type	3	3	3	3	3		3	3		3	3	
Unit Extension	3.0	3.0	3.0	3.0	3.0		3.0	3.0		3.0	3.0	
Ped/Bike/RTOR Volume	0	0	60	0	0	11	0	0	10	0	0	10
Lane Width	12.0	12.0	12.0	12.0	12.0		12.0	12.0		12.0	12.0	
Parking/Grade/Parking	N	0	N	N	0	N	N	0	N	N	0	N
Parking/Hour												
Bus Stops/Hour	0	0	0	0	0		0	0		0	0	
Minimum Pedestrian Time		3.2			3.2			3.2			3.2	
Phasing	Excl. Left	Thru & RT	03	04	Excl. Left	NS Perm	07	08				
Timing	G = 25.0	G = 58.5	G =	G =	G = 15.0	G = 20.0	G =	G =				
	Y = 5	Y = 6.5	Y =	Y =	Y = 5	Y = 5	Y =	Y =				
Duration of Analysis (hrs) = 0.25						Cycle Length C = 140.0						
Lane Group Capacity, Control Delay, and LOS Determination												
	EB			WB			NB			SB		
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT
Adjusted Flow Rate	12	1426	111	183	1866		231	97		63	52	
Lane Group Capacity	316	2120	661	316	2827		396	226		358	226	
v/c Ratio	0.04	0.67	0.17	0.58	0.66		0.58	0.43		0.18	0.23	
Green Ratio	0.18	0.42	0.42	0.18	0.42		0.29	0.14		0.29	0.14	
Uniform Delay d ₁	47.6	33.0	25.5	52.7	32.8		42.2	54.8		37.2	53.2	
Delay Factor k	0.11	0.24	0.11	0.17	0.23		0.17	0.11		0.11	0.11	
Incremental Delay d ₂	0.0	0.8	0.1	2.7	0.6		2.2	1.3		0.2	0.5	
PF Factor	1.000	1.000	1.000	1.000	1.000		1.000	1.000		1.000	1.000	
Control Delay	47.6	33.8	25.6	55.3	33.3		44.4	56.1		37.4	53.7	
Lane Group LOS	D	C	C	E	C		D	E		D	D	
Approach Delay	33.4			35.3			47.9			44.8		
Approach LOS	C			D			D			D		
Intersection Delay	35.8			Intersection LOS						D		

BACK-OF-QUEUE WORKSHEET												
General Information												
Project Description <i>Donald Ross Rd & Driveway</i>												
Average Back of Queue												
	EB			WB			NB			SB		
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT
Lane Group	<i>L</i>	<i>T</i>	<i>R</i>	<i>L</i>	<i>TR</i>		<i>L</i>	<i>TR</i>		<i>L</i>	<i>TR</i>	
Initial Queue/Lane	0.0	0.0	0.0	0.0	0.0		0.0	0.0		0.0	0.0	
Flow Rate/Lane Group	12	1426	111	183	1866		231	97		63	52	
Satflow/Lane	1770	1862	1583	1770	1862		1386	1583		1251	1583	
Capacity/Lane Group	316	2120	661	316	2827		396	226		358	226	
Flow Ratio	0.0	0.3	0.1	0.1	0.3		0.2	0.1		0.1	0.0	
v/c Ratio	0.04	0.67	0.17	0.58	0.66		0.58	0.43		0.18	0.23	
I Factor	1.000	1.000	1.000	1.000	1.000		1.000	1.000		1.000	1.000	
Arrival Type	3	3	3	3	3		3	3		3	3	
Platoon Ratio	1.00	1.00	1.00	1.00	1.00		1.00	1.00		1.00	1.00	
PF Factor	1.00	1.00	1.00	1.00	1.00		1.00	1.00		1.00	1.00	
Q1	0.4	16.5	2.7	6.5	16.0		6.8	3.4		1.8	1.8	
kB	0.5	0.8	0.7	0.5	0.8		0.5	0.4		0.5	0.4	
Q2	0.0	1.5	0.1	0.6	1.4		0.7	0.3		0.1	0.1	
Q Average	0.4	18.0	2.8	7.1	17.5		7.5	3.7		1.9	1.9	
Percentile Back of Queue (95th percentile)												
fb%	2.1	1.7	2.0	1.9	1.7		1.9	2.0		2.0	2.0	
Back of Queue	0.8	30.9	5.7	13.6	30.2		14.3	7.4		3.8	3.9	
Queue Storage Ratio												
Queue Spacing	25.0	25.0	25.0	25.0	25.0		25.0	25.0		25.0	25.0	
Queue Storage	0	0	0	0	0		0	0		0	0	
Average Queue Storage Ratio												
95% Queue Storage Ratio												

1 NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY
2 OF PALM BEACH GARDENS, FLORIDA that:

3
4 **SECTION 1.** The foregoing recitals are hereby affirmed and ratified.

5
6 **SECTION 2.** The application is hereby APPROVED for an amendment to
7 Conditions #30, #31, and #32 of Resolution 80, 2009 related to certain intersection
8 improvements for the real property described as follows:

9
10 (See Exhibit "A" for Legal Description)

11
12 **SECTION 3.** Condition #30 shall be modified to reflect the following changes
13 illustrated in ~~strike~~ underline format:

14
15 30. Scripps Florida – Phase II/Briger Tract Development of Regional Impact
16 shall have the following connections to the external roadway network consistent with
17 Map H, Master Development Plan:

- 18
19 • Four connections to Donald Ross Road, as listed in Conditions 31 a.-d.;
20 • Three connections to Hood Road, as listed in Condition 31.f and
21 Conditions 33.a. and b.; and
22 • One connection to Central Boulevard via Grandiflora Road.

23
24 a) For the intersections listed in Conditions ~~31.e., 31.f., 33.a., and 33.b.,~~
25 which are not currently signalized, signalization shall be provided, if warranted,
26 through completion of the DRI. A signal warrant study for each of these
27 intersections shall be submitted with the biennial report according to the following
28 schedule until signalization is warranted. ~~For the intersection listed in Condition~~
29 ~~31.e, the first warrant study shall be included in the next biennial report after~~
30 ~~construction of the required improvements at that intersection. For the~~
31 ~~intersections listed in Conditions 31.f., 33.a., and 33.b., the first signal warrant~~
32 ~~study count shall be included in the next biennial report after the first building~~
33 ~~permit for vertical construction, west of I-95, is issued for development west of I-~~
34 ~~95.~~

35
36 b) When a vehicular connection is made to Donald Ross Road at Florida
37 Atlantic University (FAU), then no building permits for development within Parcel
38 C, the Town Center District, that generates more than 400 net external AM peak-
39 hour trips or 650 net external PM peak-hour trips, whichever occurs first, shall be
40 issued until a surety bond has been posted and the contracts have been let to
41 remove the median restriction on Donald Ross Road and install the traffic signal
42 at Donald Ross Road and FAU.

1 slabs or footings or any work beyond the stage of excavation or land clearing, such as
 2 the construction of roadways or other utility infrastructure.

3
 4 **Phasing**

5
 6 3. The following phasing table for the Scripps Florida - Phase II/Briger Tract
 7 Development of Regional Impact is based on information provided in Table 10-A,
 8 included in the answer to Question 10 – General Project Description, in the Application
 9 for Development Approval.

10

Phase	Years	Industrial/ R&D/ Biotech (SF)	Office (SF)	Retail (SF)	Residential (DU)	Hotel (rooms)
1	2009- 2013	300,000	100,000	500,000	800	300
2	2014- 2018	400,000	200,000	0	850	0
3	2019- 2023	400,000	200,000	0	500	0
4	2024- 2028	1,500,000	700,000	0	550	0
Total	2009- 2028	2,600,000	1,200,000	500,000	2,700	300

11
 12 This table is not intended to restrict the amount or type of development by phase,
 13 provided the Development Order in its entirety is followed. Rather, the amount and type
 14 of development within each phase is only limited by the following maximum number of
 15 trips for each phase. These trip amounts are cumulative (include trips from previous
 16 phase), and were derived from the trips generated by the development program for each
 17 phase listed above. These trip totals were used to calculate the timing of proportionate
 18 share payments and the timing of other required traffic improvements. The maximum
 19 number of trips for each phase is as follows:

20

<u>Phase</u>	<u>AM Peak-Hour Trips¹</u>	<u>PM Peak-Hour Trips¹</u>
21 1	22 1,369	23 2,174
24 2	25 2,397	26 3,089
27 3	28 3,176	29 3,778
30 4	31 5,361	32 5,528

33 ¹ Cumulative net external trips

A phase is considered complete when either the AM or PM Net External Peak-Hour trip number for that phase is met.

**TABLE 2
TRIP GENERATION COMPARISON
MAX PLANCK WAY**

LAND USE	INTENSITY	DAILY TRIPS	AM PEAK HOUR			PM PEAK HOUR		
			TOTAL	IN	OUT	TOTAL	IN	OUT
Existing Development								
Research and Development Center	107,366 s.f.	1,066	138	115	23	140	21	119
Net New External Trips (Existing Development)		1066	138	115	23	140	21	119

Trip Generation calculated using the following equations:

Net New AM Trips

Research and Development Center [ITE 760] = $LN(T) = 0.87 * LN(X/1000 SF) + 0.86$; (83% in, 17% out)

Net New PM Trips

Research and Development Center [ITE 760] = $LN(T) = 0.83 * LN(X/1000 SF) + 1.06$; (15% in, 85% out)



July 27, 2016

Mr. Peter Hofheinz
City of Palm Beach Gardens, Planning & Zoning
10500 North Military Trail
Palm Beach Gardens, Florida 33410

**Re: Alton Parcel C, Town Center - #PTC15-002K
SPLN-15-07-000020**

Dear Mr. Hofheinz:

Pinder Troutman Consulting, Inc. (PTC) has completed our review of the referenced project. Specifically, we have reviewed the revised Traffic Impact Statement dated July 20, 2016 prepared by Kimley Horn. The site is within the Alton DRI and is summarized below:

Proposed Uses:	346,403 SF Enclosed Commercial, consisting of: 2,006 SF Fast Food Restaurant/Drive Thru 3,475 SF Drive-In Bank 119,361 SF Home Improvement Superstore 16 F.P. Gas Station with Carwash 221,561 SF Retail And 13,800 SF Outdoor Seating (Calculated as Retail)
Site Peak Hour Trips:	393 AM 841 PM

Based on our review, we have determined that the proposed project is consistent with the Briger DRI and is in compliance with Conditions 34 and 35 of the Development Order. The following Conditions of Approval are recommended:

1. Condition 30.b of Resolution 44, 2013 will be triggered with this Site Plan. Therefore, a surety bond for the traffic signal shall be posted.
2. The Site is limited to 81,756 SF of Restaurant, including Outdoor Seating.
3. An eastbound right turn lane shall be constructed on Donald Ross Road at the Site's eastern driveway.
4. An eastbound right turn lane and a westbound left turn lane shall be constructed on Donald Ross Road at the Site's central driveway (Premier Street.)
5. The northbound exit at the Site's central driveway (Premier Street) to Donald Ross Road shall consist of two continuous lanes (one left turn lane and one thru/right turn lane) all the way from Donald Ross Road to Secondary Street.

*Mr. Peter Hofheinz
July 27, 2016
Page 2 of 2*

6. An eastbound right turn lane shall be constructed on Donald Ross Road at the Site's western driveway.
7. A northbound right turn lane and a southbound left turn lane shall be constructed on Alton Road at the Site's southern driveway (Primary Street.)
8. A northbound right turn lane shall be constructed on Alton Road at the Site's northern driveway (Secondary Street.) As an alternative, the outside thru lane can be striped as a right turn lane, consistent with the striping north of this driveway.

If you have any questions or comments, please do not hesitate to contact this office.

Sincerely,



Rebecca J. Mulcahy, P.E.
Vice President













SITE DATA:

PETITION NO:	SPLN-15-07-00020
PROJECT NAME:	ALTON TOWN CENTER
EXISTING/PROPOSED ZONING DISTRICT:	MXD/DRI
EXISTING/PROPOSED ZONING DISTRICT:	PCD/MXD
SECTION/TOWNSHIP/RANGE:	28/41/42
PCN (R):	52-42-41-28-00-106-3003
GROSS SITE AREA:	40.80 AC.
PHASE 1:	28.23 AC.
PHASE 2:	12.57 AC.
PROPOSED USE:	TOWN CENTER
TOTAL BUILDING SQ.FT.:	380,203 SF.
MAXIMUM RESTAURANT USES:	25% (based on 327,024 SF of commercial retail)
TOTAL FAR:	6.19
BUILDING HEIGHT:	MAX. 50'
PROPOSED:	37'
LOT COVERAGE ALLOWED (MAX 35%):	14.28 AC. (522,036.8 SF.)
LOT COVERAGE PROVIDED:	7.85 AC. 19.4%
IMPERVIOUS AREA:	83.0% - 33.86 AC.
PERVIOUS AREA:	17.0% - 6.94 AC.
TRAFFIC ANALYSIS ZONE (TAZ):	28
TRAFFIC EQUIVALENCY	INTENSITY
APPROVED USE (RESOLUTION 1, 2010)	
-TOWN CENTER (RETAIL)	450,000 SF
PROPOSED DEVELOPMENT	
-GENERAL RETAIL	221,561 SF
-FAST FOOD RESTAURANT + DT	2,008 SF
-DRIVE-IN BANK	3,475 SF
-HOME IMPROVEMENT SUPERSTORE	119,361 SF
-GAS STATION WITH CONVENIENCE STORE & CAR WASH	16 PP
SUBTOTAL:	348,403 SF
-OUTDOOR SEATING AREA	13,800 SF
-TOTAL	380,203 SF

PARKING DATA

SPACES REQUIRED 1,722 SPACES

327,024 SF - 1 SPACE PER 200 SF = 1,635 SP. (GENERAL RETAIL)
 13,800 SF - 1 SPACE PER 200 SF = 69 SP. (PROPOSED OUTDOOR SEATING)
 19,379 SF - GARDEN CENTER - 1 SPACE PER 1,000 SF = 19 SP.

*WAVYER R4

SPACES PROPOSED 1,679 SPACES

ACCESSIBLE PARKING REQUIRED = 27 SP.
 PROVIDED = 57 SP.

BICYCLE PARKING REQUIRED = 83 BIKE SP.
 8% OF OFF-STREET VEHICULAR SPACES REQUIRED @ 1,864 SP (PER PCD DESIGN GUIDELINES)

BICYCLE PARKING PROVIDED = 84 SPACES (20 BIKE RACKS)

LOADING SPACES REQUIRED = 6 SPACES (12' X 35')
 LOADING SPACES PROVIDED = 17 SPACES (12' X 35')

OUTDOOR PATIO AREA = 13,800 SF

PROPERTY DEVELOPMENT REGULATIONS:

MXD DISTRICT	REQUIRED	PROPOSED
LOT COVERAGE	MAX. 35%	19% (7.96 AC. - INCLUDES BLDGS & CANOPIES)
BUILDING HEIGHT	MAX. 50' / 4-STORY	37'
SETBACKS	REQUIRED	PROPOSED STANDARD
ALTON ROAD	30'	40'
DONALD ROSS ROAD	50'	50'
ADJACENT TO F.P.L. SITE	10'	11'
ADJACENT TO ATLANTIC	30'	125.6'
OPEN SPACE REQUIRED:	ACREAGE	%
	6.12 AC.	15%
OPEN SPACE PROPOSED:	ACREAGE	%
Landscape / Sod areas	5.91 AC. / 257,518 SF	
Min. 6' wide Pedestrian Path and Plaza Areas	2.70 AC. / 117,612 SF	
Total:	8.61 AC. / 375,130 SF	21.1%

NOTES:

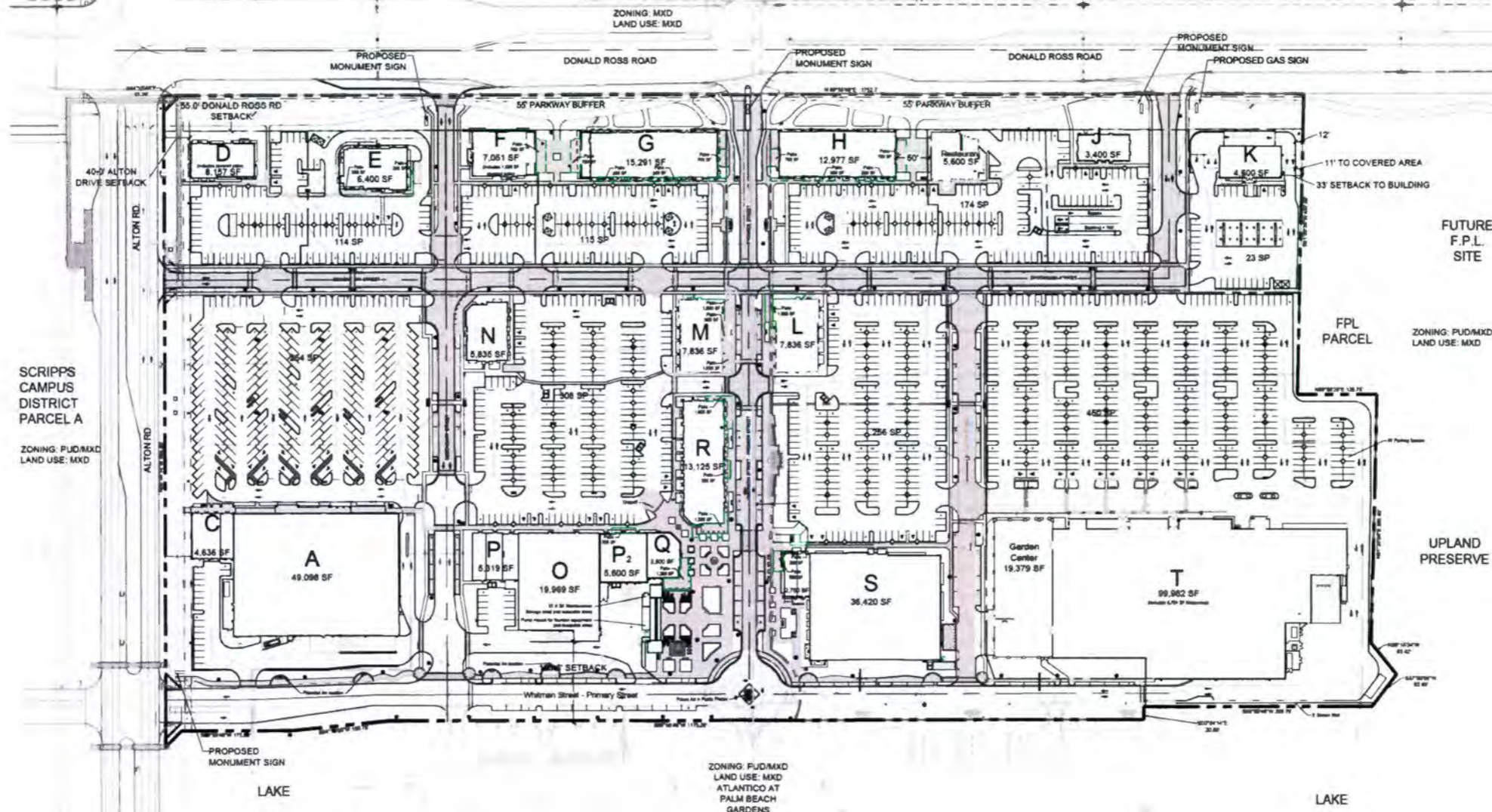
1. BASE INFORMATION BASED ON SURVEY PREPARED BY MICHAEL B SCHORAH & ASSOCIATES, INC. DATED NOVEMBER 2014.
2. * BUILD TO LINES MAY BE EXPANDED BY 10% TO ACCOMMODATE INFRASTRUCTURE NEEDS AND DESIGN CONSIDERATIONS.
3. LANDSCAPING SHALL BE FIELD ADJUSTED TO AVOID CONFLICTS WITH UTILITIES.
4. A MINIMUM 15' BUILDING SETBACK WILL BE MAINTAINED FROM SEACOAST LINES.
5. ALL STOP BARS SHALL BE SETBACK 4' IN ADVANCE OF PEDESTRIAN CROSSWALKS.
6. ALL ACCESSIBLE PAVED ROUTES SHALL NOT EXCEED A 20:1 SLOPE.
7. FINAL LOCATIONS OF ALL PROPOSED TRAFFIC SIGNAGE SHALL BE ESTABLISHED BY THE ENGINEER OF RECORD.
8. ALL PAYMENT MARKING AND STRIPING EXCLUDING PARKING STALL STRIPING SHALL BE INSTALLED WITH THERMOPLASTIC MATERIALS. PAVER BRICKS OF APPROPRIATE COLOR SHALL BE USED ON PAVER BRICK AREA.
9. CURBING DETAILS TO BE SHOWN ON ENGINEERING CONSTRUCTION PLANS.
10. SEE ENGINEERING PLANS FOR ROADWAY CROSS SECTIONS.
11. SURROUNDING INFORMATION AND PLANS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY.
12. HANDCAP PARKING SIGNS SHALL BE PLACED BEHIND THE SIDEWALK IN AREAS WHERE SIDEWALK ABUTS THE STALL AND OUTSIDE THE TWO AND A HALF (2 1/2') FOOT OVERHANG AREA WHERE WHEEL STOPS ARE NOT PROVIDED.



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TOWN CENTER USES

BUILDING A	49,098 SF	COMMERCIAL, GROCERY & RESTAURANT
BUILDING C	4,636 SF	COMMERCIAL & RESTAURANT
BUILDING D	6,137 SF	COMMERCIAL & RESTAURANT - INCLUDES 1,000 SF OF COVERED PATIO SEATING
BUILDING E	4,480 SF	COMMERCIAL & RESTAURANT
BUILDING F	7,051 SF	COMMERCIAL & RESTAURANT - INCLUDES 1,000 SF OF COVERED PATIO SEATING
BUILDING G	13,291 SF	COMMERCIAL & RESTAURANT
BUILDING H	12,977 SF	COMMERCIAL & RESTAURANT
BUILDING I	5,800 SF	BANK, COMMERCIAL & RESTAURANT
BUILDING J	3,400 SF	BANK, COMMERCIAL & RESTAURANT
BUILDING K	4,800 SF	GAS SALES, COMMERCIAL & RESTAURANT
BUILDING L	7,836 SF	COMMERCIAL & RESTAURANT
BUILDING M	7,836 SF	COMMERCIAL & RESTAURANT
BUILDING N	5,835 SF	COMMERCIAL & RESTAURANT
BUILDING O	19,999 SF	COMMERCIAL & RESTAURANT
BUILDING P1	5,319 SF	COMMERCIAL & RESTAURANT
BUILDING P2	5,800 SF	COMMERCIAL & RESTAURANT
BUILDING Q	3,500 SF	COMMERCIAL & RESTAURANT
BUILDING R	13,125 SF	COMMERCIAL & RESTAURANT
BUILDING S	36,420 SF	FITNESS CENTER, COMMERCIAL & RESTAURANT
BUILDING T	99,062 SF	HOME IMPROVEMENT GARDEN CENTER

UNCOVERED PATIO SEATING (13,800 SF)

Conceptual Distribution

BUILDING A	0 SF
BUILDING C	0 SF
BUILDING D	0 SF
BUILDING E	600 SF
BUILDING F	750 SF
BUILDING G	2,300 SF
BUILDING H	2,300 SF
BUILDING I	0 SF
BUILDING J	0 SF
BUILDING K	0 SF
BUILDING L	1,000 SF
BUILDING M	2,300 SF
BUILDING N	0 SF
BUILDING O	0 SF
BUILDING P1	0 SF
BUILDING P2	800 SF
BUILDING Q	1,300 SF
BUILDING R	2,300 SF
BUILDING S	750 SF
BUILDING T	0 SF

*NOT INCLUDED IN GSF

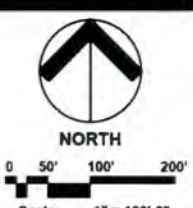
WAIVER SUMMARY TABLE

Design Section	Requirement	Proposed	Waiver
1. Primary Street - No of Buildings at Build-out Line (Page 56)	80 feet - up to 84 feet with 100% permeable vegetation	150 feet	44 feet
2. Primary Street - No of Buildings at Build-out Line (Page 56)	50%	70%	50%
3. Secondary Street - No of Buildings at Build-out Line (Page 56)	50%	70%	50%
4. On-Street Parking	On-street parking provided on North South streets. Not required with additional spaces on East-West street	Not provided	Bicycle lanes
5. Parking (Pages 26 and 27)	Parking required for outdoor dining area	Parking provided within outdoor dining area	Waiver of all setbacks

DEVELOPMENT TEAM:

OWNER:	BROCK DEVELOPMENT GROUP 4650 DONALD ROSS RD STE 200 PALM BEACH GARDENS, FL 33418	PLANNER/ LANDSCAPE ARCHITECT	URBAN DESIGN KILDAY STUDIOS 810 CLEMATIS STREET, CU02 WEST PALM BEACH, FLORIDA 33401 (561) 386-1100	ARCHITECT	GLIDDEN SPINA & PARTNERS 207 8TH STREET WEST PALM BEACH, FLORIDA 33401 (561) 584-8844	SURVEYOR:	SCHORAH & ASSOCIATES 1850 FOREST HILL BLVD, SUITE 205 WEST PALM BEACH, FLORIDA 33406 (561) 988-0080	CIVIL/TRAFFIC ENGINEER	KIMLEY-HORN AND ASSOC. 1820 WEKIVA WAY, STE 200 WEST PALM BEACH, FLORIDA 33411 (561) 840-0825
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Alton Town Center
 Prepared for NADG & Brock Development Group
 Palm Beach Gardens, Florida
 Phase 1 Site Plan



Date: 03-20-2014
 Project No.: 86-038.020
 Designed By: SCM
 Drawn By: SCMLMB/KWK
 Checked By: KT

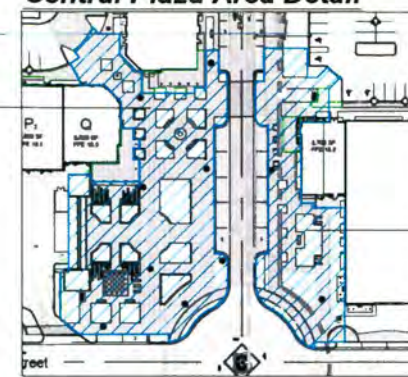
Revision Dates:

07.17.2016	LMB	CITY SUBMITTAL
08.09.2016	SCM	RESUBMIT
04.19.2016	SCM	RESUBMIT
08.20.2016	SCM	RESUBMIT
07.20.2016	SCM	RESUBMIT
09.06.2016	SCM	RESUBMIT
08.21.2016	KWK	RESUBMIT

KEY MAP



Central Plaza Area Detail



PAVER LEGEND

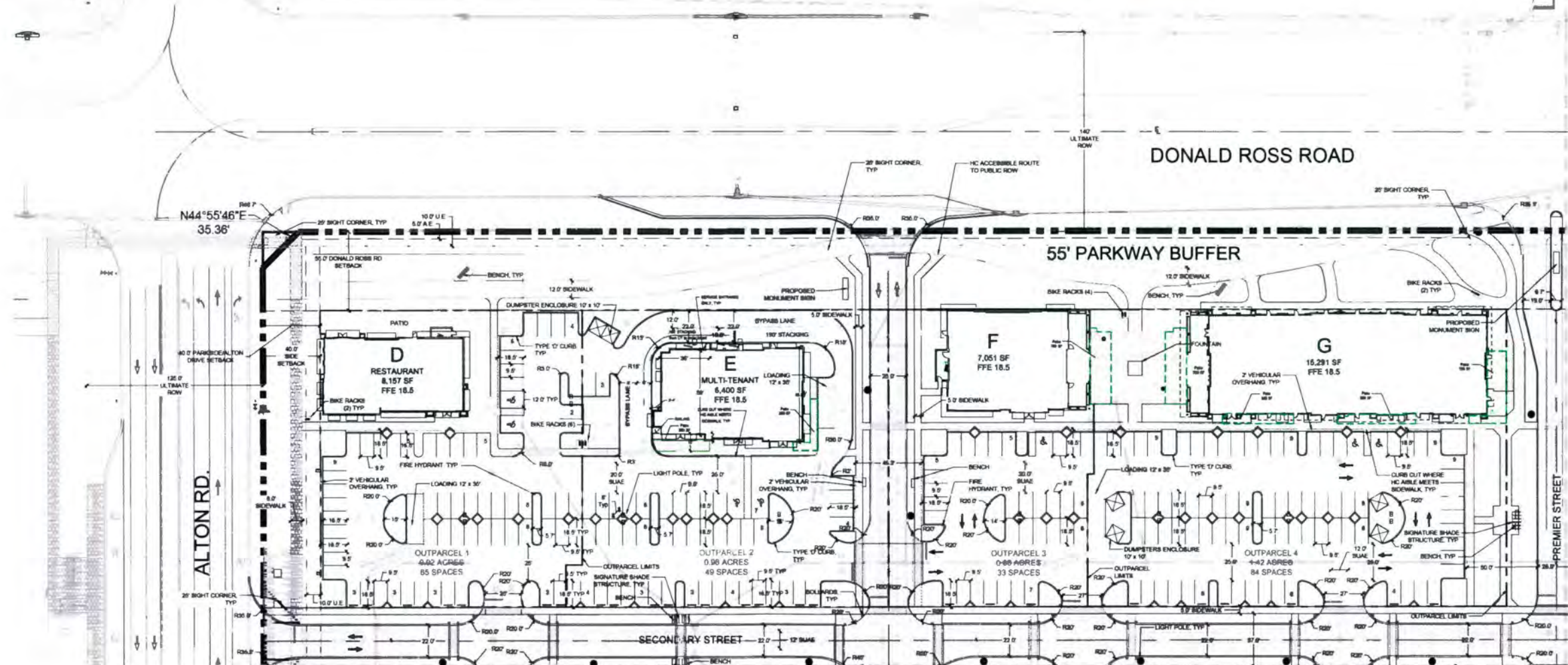
	PEDESTRIAN WALKS INTERSTICLE - PLANK COMBINATION 2" x 18" & 2" x 12" COLOR - REDDISH BROWN
	PEDESTRIAN SIDEWALKS INTERSTICLE - PLANK RUNNING BOND 2" x 18" COLOR - LIGHT GRAY BROWN
	INTERSECTIONS INTERSTICLE - PLANK PERPENDICULAR 2" x 18" COLOR - MEDIUM BROWN BROWN
	ROADWAYS INTERSTICLE - PLANK RUNNING BOND 2" x 12" COLOR - MEDIUM GRAY BROWN
	PEDESTRIAN CROSS WALKS INTERSTICLE - PLANK PERPENDICULAR 2" x 12" COLOR - LIGHT BROWN BROWN
	DRIVEWAYS INTERSTICLE - COMBINATION 2" x 12" COLOR - DARK GRAY BROWN

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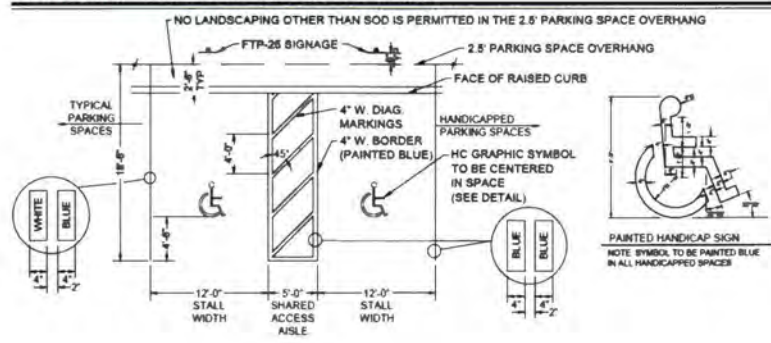


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Palm Beach Gardens, Florida
Phase 1 Site Plan

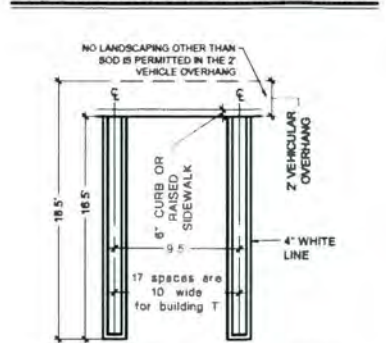


NORTH
0 20' 40' 80'
Scale: 1" = 40'-0"

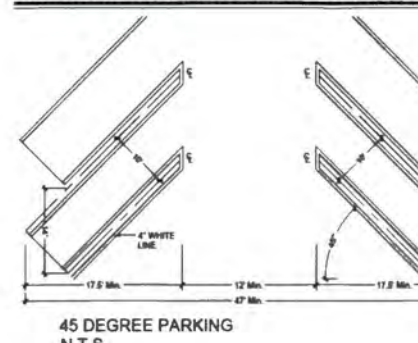
HANDICAP PARKING SPACE DETAIL:



TYPICAL PARKING SPACE DETAIL:



45 DEGREE PARKING SPACE DETAIL:



TYPICAL BENCH DETAIL:



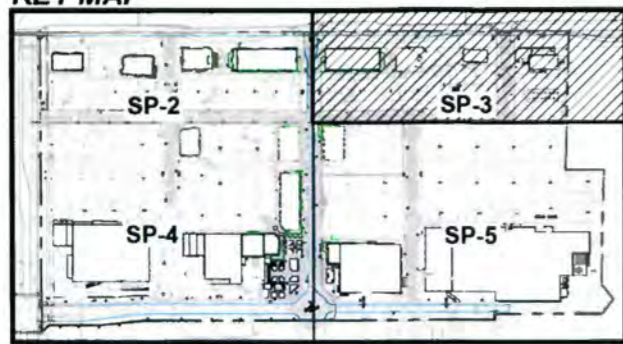
TYPICAL BIKE RACK DETAIL:



Revision Dates:

07.17.2015	LMB	CITY SUBMITTAL
02.09.2016	SCM	RESUBMIT
04.19.2016	SCM	RESUBMIT
06.28.2016	SCM	RESUBMIT
07.20.2016	SCM	RESUBMIT
08.09.2016	SCM	RESUBMIT
08.21.2016	KWK	RESUBMIT

KEY MAP



PAVER LEGEND

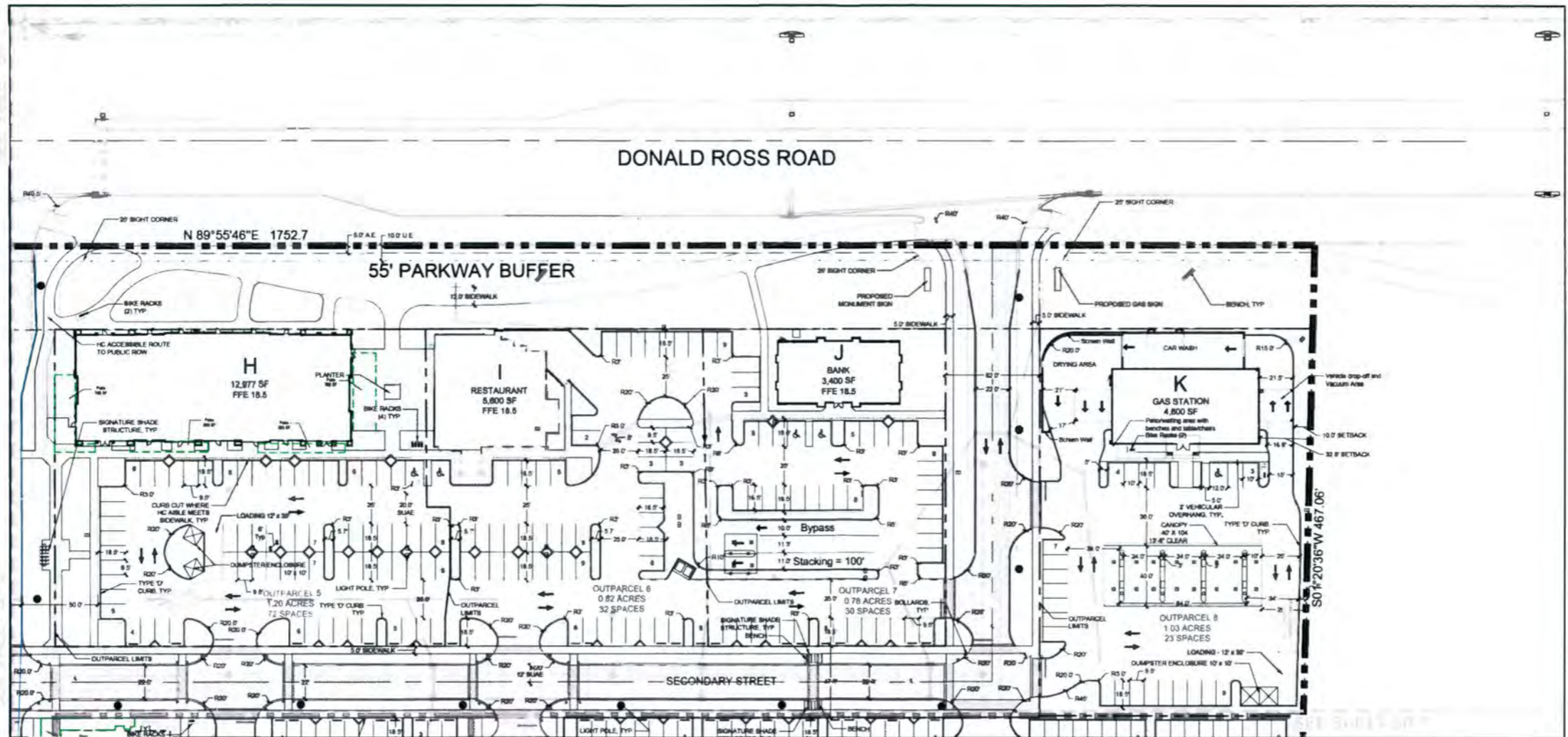
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	PEDESTRIAN SIDEWALKS PAVERSTYLE - PLANK RUNNING BOND 4" X 16" COLOR - LIGHT GRAY MIX
	INTERSECTIONS PAVERSTYLE - PLANK HERRINGBONE 4" X 16" COLOR - MEDIUM BEIGE MIX
	ROADWAYS PAVERSTYLE - PLANK RUNNING BOND 4" X 12" COLOR - MEDIUM GRAY MIX
	PEDESTRIAN CROSS WALKS PAVERSTYLE - PLANK HERRINGBONE 4" X 12" COLOR - LIGHT BEIGE MIX
	PARALLEL PARKING PAVERSTYLE - CORBELSTONE 4" X 12" COLOR - DARK GRAY MIX

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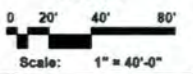
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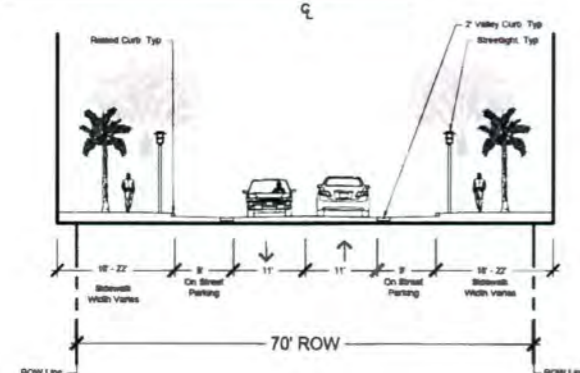
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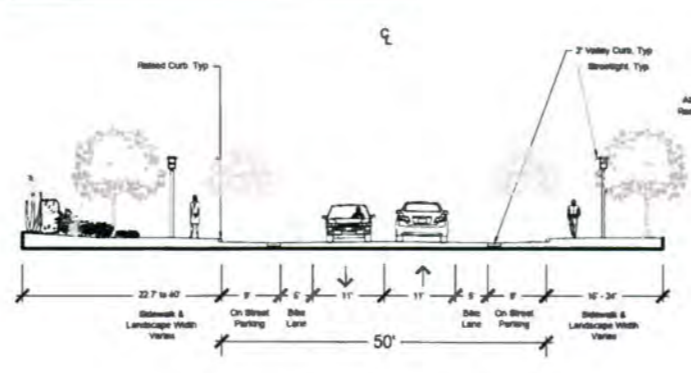
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Prepared for NADG & Brock Development Group
Palm Beach Gardens, Florida
Phase 1 Site Plan



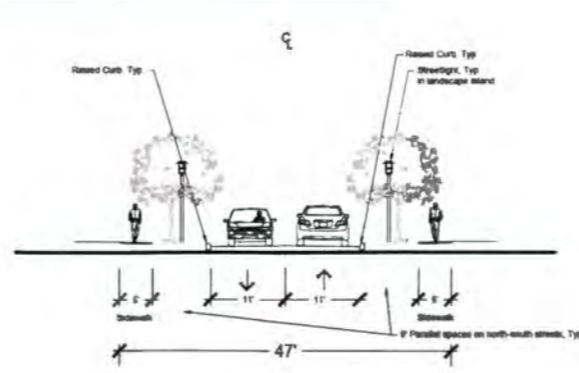
PREMIER STREET CROSS SECTION



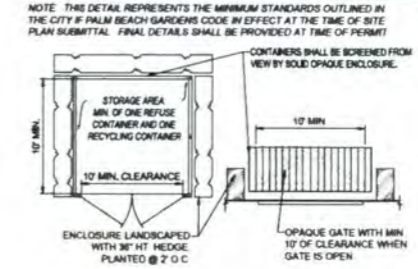
PRIMARY STREET CROSS SECTION



SECONDARY STREET CROSS SECTION



TYPICAL DUMPSTER DETAIL:



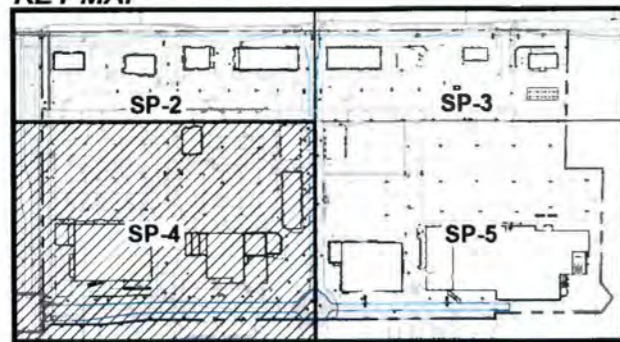
DUMPSTER ENCLOSURE SHALL BE CONSTRUCTED IN THE SAME ARCHITECTURAL STYLE, COLOR AND MATERIAL AS THE PRINCIPLE STRUCTURES.

Date: 03-20-2014
Project No.: 98-039-020
Designed By: SCM
Drawn By: SCMLMB/KWK
Checked By: KT

Revision Dates:

07-17-2015	LMB	CITY SUBMITTAL
02-08-2018	SCM	RE-SUBMIT
04-19-2018	SCM	RE-SUBMIT
08-29-2018	SCM	RE-SUBMIT
07-20-2018	SCM	RE-SUBMIT
09-09-2018	SCM	RE-SUBMIT
09-21-2018	KWK	RE-SUBMIT

KEY MAP



PAVER LEGEND

	FEDERATION HOODS PAVEMENT - PLANK COMBINATION 4" X 8" & 4" X 12" COLOR - BEIGE MIX
	FEDERATION SIDEWALKS PAVEMENT - PLANK RUNNING BOND 4" X 8" COLOR - LIGHT GRAY MIX
	INTERSECTIONS PAVEMENT - PLANK HERRINGBONE 4" X 8" COLOR - MEDIUM BEIGE MIX
	ROADWAYS PAVEMENT - PLANK RUNNING BOND 4" X 12" COLOR - MEDIUM GRAY MIX
	FEDERATION CROSS WALKS PAVEMENT - PLANK HERRINGBONE 4" X 12" COLOR - LIGHT BEIGE MIX
	PARALLEL PARKING PAVEMENT - COBBLESTONE 4" X 8" COLOR - DARK GRAY MIX



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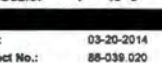
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Palm Beach Gardens, Florida
Phase 1 Site Plan



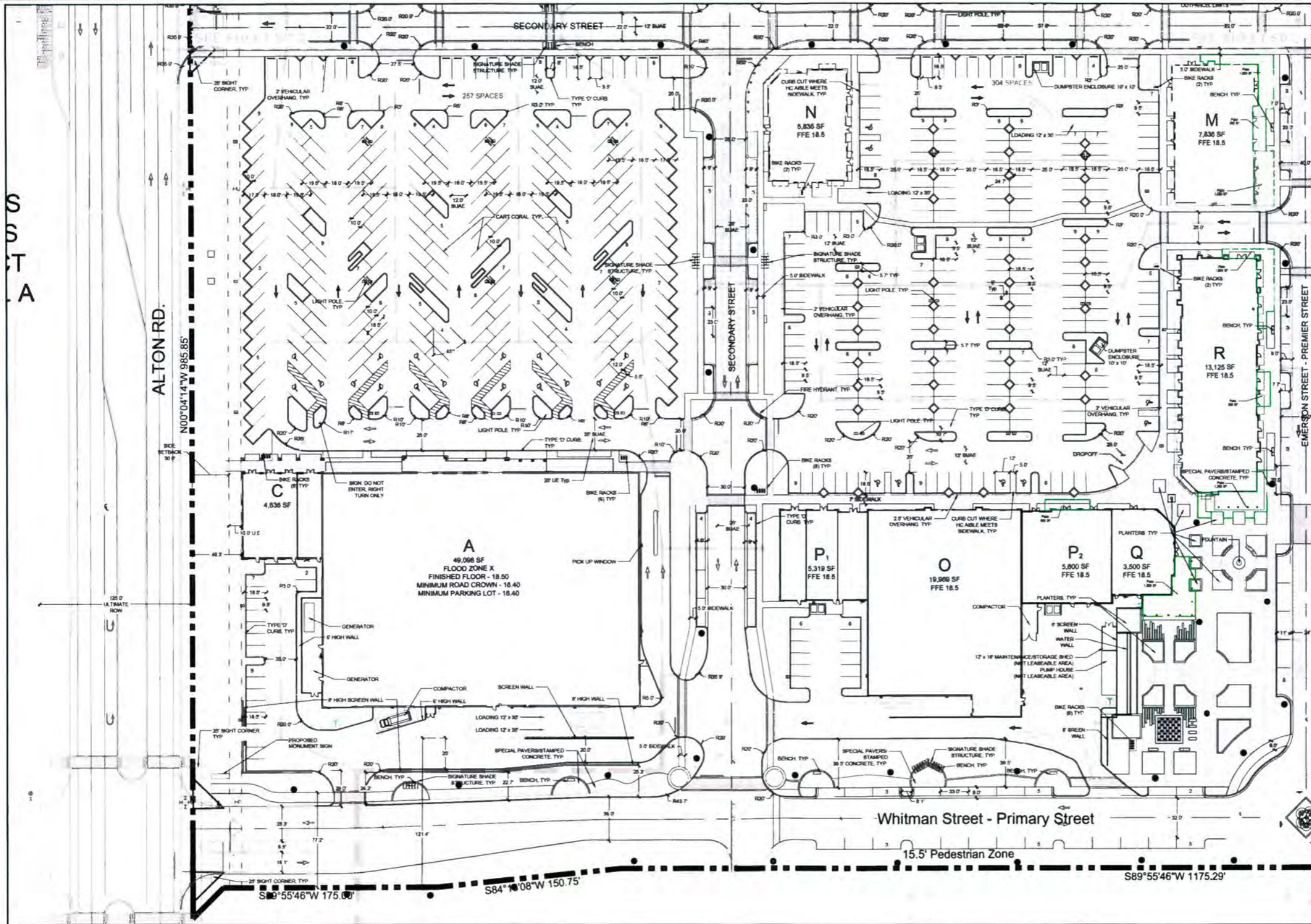
NORTH



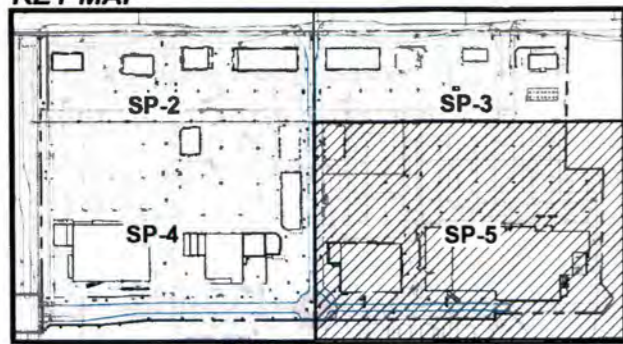
Date: 03-20-2014
Project No.: 88-038 020
Designed By: SCM
Drawn By: SCMLMB/KWK
Checked By: KT

Revision Dates:

07.17.2015	LMB CITY SUBMITTAL
02.09.2016	SCM RESUBMIT
04.19.2016	SCM RESUBMIT
06.20.2016	SCM RESUBMIT
07.20.2016	SCM RESUBMIT
08.08.2016	SCM RESUBMIT
08.21.2016	KWK RESUBMIT



KEY MAP

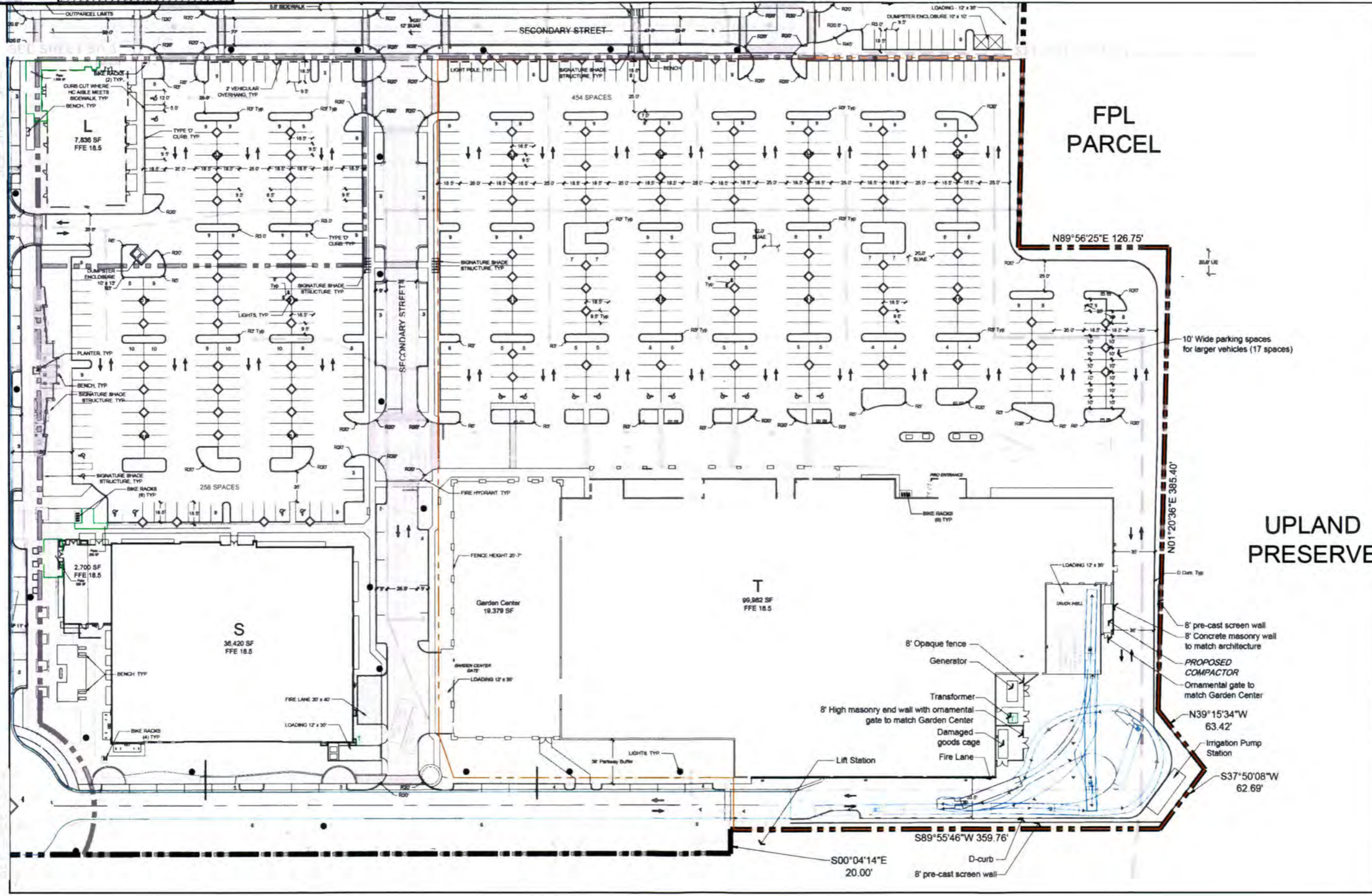


PAVER LEGEND

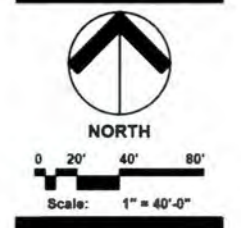
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[Symbol]	PERFORATED PAVING PERFORATED PLANK CONSTRUCTION # 1/2" x 2" x 1/2" SLOPE: MEDIUM GRAY SW
[Symbol]	PERFORATED PAVING PERFORATED PLANK CONSTRUCTION # 1/2" x 2" x 1/2" SLOPE: DARK GRAY SW
[Symbol]	PERFORATED PAVING PERFORATED PLANK CONSTRUCTION # 1/2" x 2" x 1/2" SLOPE: LIGHT GRAY SW
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[Symbol]	PERFORATED PAVING PERFORATED PLANK CONSTRUCTION # 1/2" x 2" x 1/2" SLOPE: DARK GRAY SW

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 Prepared for NADG & Brock Development Group
 Palm Beach Gardens, Florida
 Phase 1 Site Plan



Date: 03-20-2014
 Project No.: 86-039 020
 Designed By: SCM
 Drawn By: SCM/LMB/KWK
 Checked By: KT

Revision Dates:

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04.19.2016	SCM	RESUBMIT
08.29.2016	SCM	RESUBMIT
07.20.2016	SCM	RESUBMIT
08.05.2016	SCM	RESUBMIT
08.21.2016	KWK	RESUBMIT

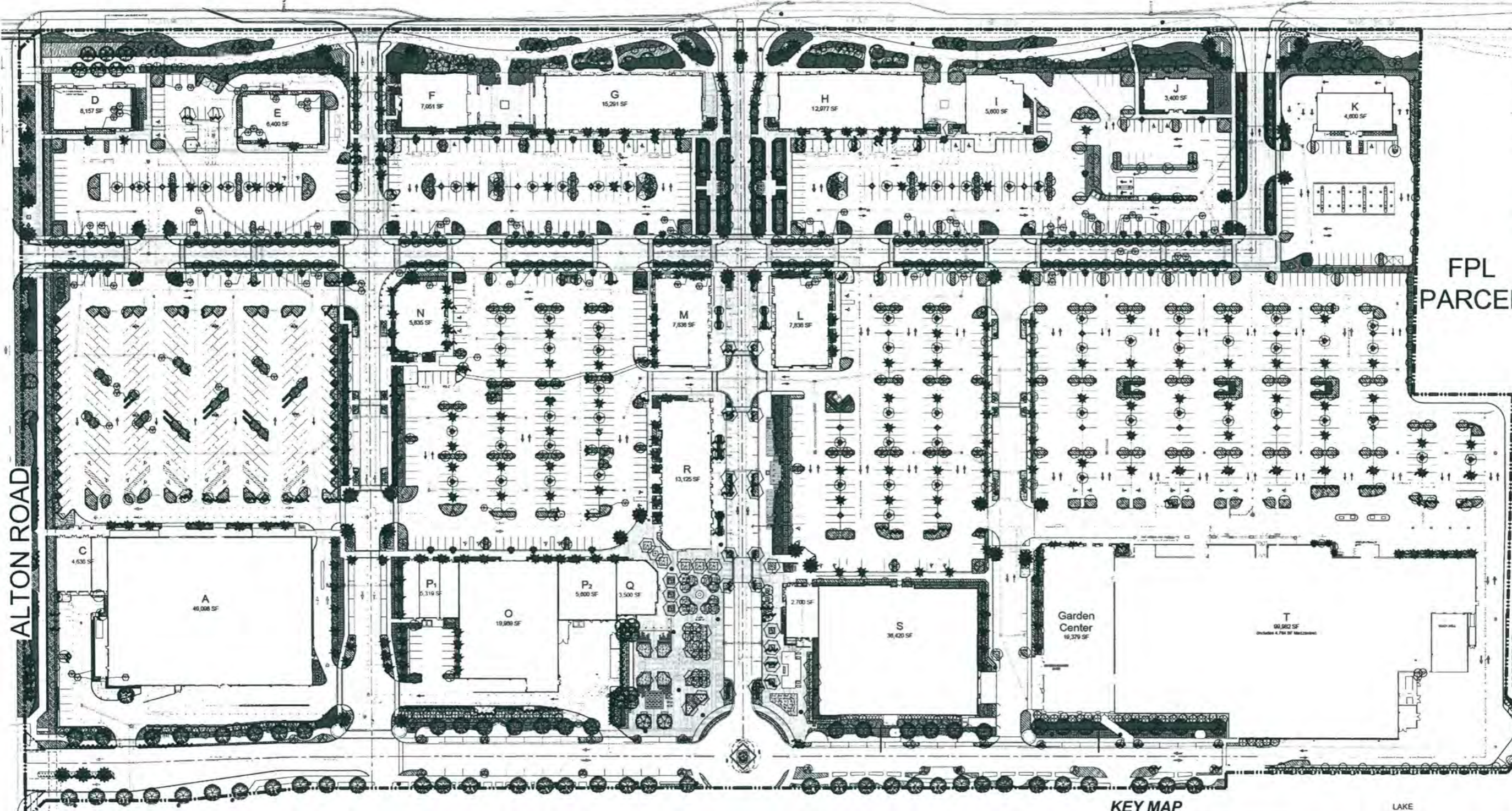
DONALD ROSS ROAD

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FPL
PARCEL

ALTON ROAD

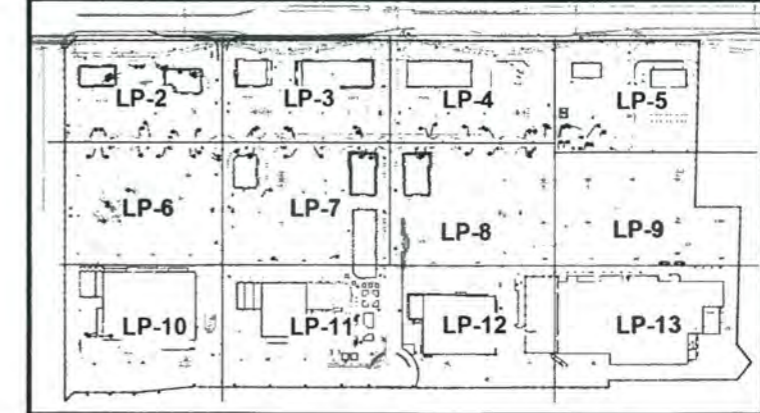
Alton Town Center
Prepared for NADG & Brock Development Group
Palm Beach Gardens, Florida
Landscape Plan



0 30' 60' 120'
Scale: 1" = 60'-0"

ATLANTICO MULTI-FAMILY RESIDENTIAL

KEY MAP

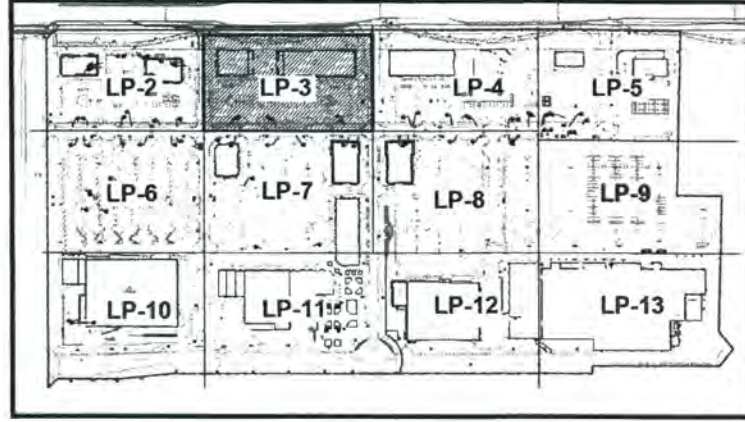


Date: 07-10-2015
Project No.: 85-039.020
Designed By: NM
Drawn By: LMB/KWK
Checked By: NM

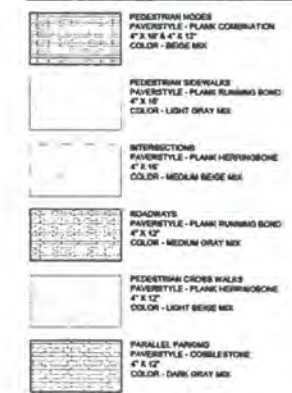
Revision Dates:
07.17.2015 LMB CITY SUBMITTAL
02.09.2016 KWK CITY RE-SUBMITTAL
04.20.2016 KWK CITY RE-SUBMITTAL
06.29.2016 KWK CITY RE-SUBMITTAL
07.20.2016 KWK CITY RE-SUBMITTAL
09.09.2016 KWK CITY RE-SUBMITTAL

LP-1
of 15

KEY MAP



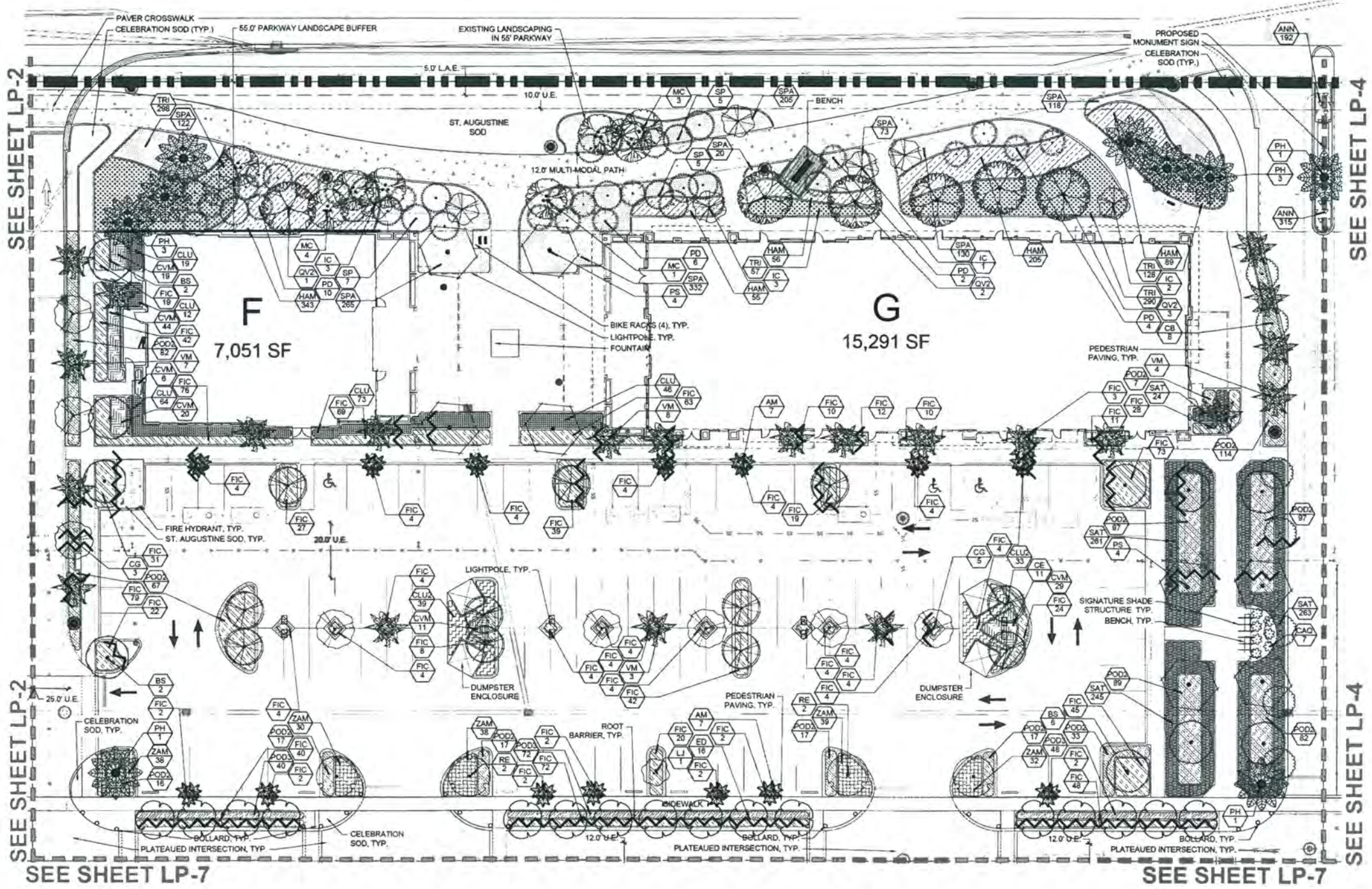
PAVER LEGEND



PLANT LIST

TRUSS	CODE	QTY	BOTANICAL NAME / COMMON NAME
BS	01		Bursera simaruba / Gumbo Limbo
BS	02		Min. 12' H. x 1.5" Sp. 2.5" Cal. Single Straight Trunk, Full Canopy
CB	01		Cordia alliodora / Sycamore Beachwood
CB	02		Min. 12' H. x 1.5" Sp. 2.5" Cal. Single Straight Trunk, Full Canopy
CO	01		Cordia alliodora / Green Bulbwood
CO	02		Min. 12' H. x 1.5" Sp. 2.5" Cal. Single Straight Trunk, Full Canopy
CE	01		Conocarpus strictus / Silver Bulbwood
CE	02		Min. 12' H. x 1.5" Sp. 2.5" Cal. Single Straight Trunk, Full Canopy
ES	01		Eucalyptus ficoides / Japanese Starburst Tree
ES	02		Min. 12' H. x 1.5" Sp. 2.5" Cal. Single Straight Trunk, Florida Fancy, Straight Trunk, Full Canopy
C	01		Canavalia / Dragon Hole
C	02		Min. 12' H. x 1.5" Sp. 2.5" Cal. Florida #1, Straight Trunk, Full Canopy
T	01		Tournefortia / Tanager / Tanager Grape Maple
T	02		Min. 12' H. x 1.5" Sp. 2.5" Cal. Single Straight Trunk, Full Canopy
L	01		Ligustrum japonicum / Japanese Privet Tree
L	02		Min. 6' H. x 1.5" Sp. 2.5" Cal. Triple Multi Trunk, Full Canopy
MC	01		Melicope verticillata / Wax Wattle
MC	02		Min. 10' H. x 1.5" Sp. 2.5" Cal. Florida #1, Full to base, Multi-trunk
PD	01		Persea edulis / Dwarf / South Florida Sweet Pine
PD	02		Min. 14' H. x 1.5" Sp. 2.5" Cal. 3" Wire Branch, Florida #1, Full canopy, 1/2" quantities at 14' H. & 18' H. Vary heights in quantity
QV	01		Quercus agrifolia / Live Oak
QV	02		Min. 18' H. x 2" Sp. 4" Cal. Single Straight Trunk, Full and Even Canopy, No Live Growth
QV	03		Quercus agrifolia / Live Oak
QV	04		Min. 27' H. x 14" Sp. 6" Cal. B&B, Florida Fancy, Straight Trunk, Full canopy, Matched No. RPO, Single Source Spec. Palm Branch, Top 2' min.
PALM TREES			
TRUSS	CODE	QTY	BOTANICAL NAME / COMMON NAME
AM	01		Adiantum nemorosum / Christmas Palm
AM	02		Min. 8' Cal. Triple Trunk, Full Head, No Scared Trunk
BS	01		Bursera simaruba / Silver Bursera Palm
BS	02		Min. 17' Cal. 12" Cal. B&B, Florida Fancy, Full Crown, Matched
CA	01		Cordia alliodora / Tropical Palm
CA	02		Min. 12' Cal. 18" O.A. H. Single Trunk, Full Head, No Scared Trunk
PH	01		Phoenix dactyloides / Majesty / Medford Date Palm
PH	02		Min. 20' Cal. Mature from base of trunk, B&B, Florida Fancy, Classic Cut, Full crown, Matched heights, No Scared Trunk
PH	03		Phoenix dactyloides / Medford Date Palm
PH	04		Min. 15' H. x 20" O.A. H. Single Trunk, Disrupted Cut, Full Head, No Scared Trunk
PH	05		Phoenix dactyloides / Florida Royal Palm
PH	06		Min. 20' Cal. 20" O.A. H. Min. 8' Crown, Single Trunk, Full Head, No Scared Trunk
SP	01		Sabal palmetto / Cabbage Palm
SP	02		Min. 15' H. x 20" Cal. B&B, Florida #1, Nurture cut
TR	01		Trachycarpus fortunei / Montgomery Palm
TR	02		Min. 22' Cal. 20" O.A. H. Triple Trunk, Full Head, No Scared Trunk
SHRUBS			
TRUSS	CODE	QTY	BOTANICAL NAME / COMMON NAME
CAO	01		Calliandra argentea / Queen Emerald / Queen Emerald / Citrus
CAO	02		Min. 2' Cal. 24" H. x 24" Sp. Full and Even Foliage, No Scared Trunk
CAO	03		Calliandra argentea / Queen Emerald / Citrus
CAO	04		Min. 10' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	05		Calliandra argentea / Queen Emerald / Citrus
CAO	06		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	07		Calliandra argentea / Queen Emerald / Citrus
CAO	08		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	09		Calliandra argentea / Queen Emerald / Citrus
CAO	10		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	11		Calliandra argentea / Queen Emerald / Citrus
CAO	12		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	13		Calliandra argentea / Queen Emerald / Citrus
CAO	14		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	15		Calliandra argentea / Queen Emerald / Citrus
CAO	16		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	17		Calliandra argentea / Queen Emerald / Citrus
CAO	18		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	19		Calliandra argentea / Queen Emerald / Citrus
CAO	20		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	21		Calliandra argentea / Queen Emerald / Citrus
CAO	22		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	23		Calliandra argentea / Queen Emerald / Citrus
CAO	24		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	25		Calliandra argentea / Queen Emerald / Citrus
CAO	26		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	27		Calliandra argentea / Queen Emerald / Citrus
CAO	28		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	29		Calliandra argentea / Queen Emerald / Citrus
CAO	30		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	31		Calliandra argentea / Queen Emerald / Citrus
CAO	32		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	33		Calliandra argentea / Queen Emerald / Citrus
CAO	34		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	35		Calliandra argentea / Queen Emerald / Citrus
CAO	36		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	37		Calliandra argentea / Queen Emerald / Citrus
CAO	38		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	39		Calliandra argentea / Queen Emerald / Citrus
CAO	40		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	41		Calliandra argentea / Queen Emerald / Citrus
CAO	42		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	43		Calliandra argentea / Queen Emerald / Citrus
CAO	44		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	45		Calliandra argentea / Queen Emerald / Citrus
CAO	46		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	47		Calliandra argentea / Queen Emerald / Citrus
CAO	48		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	49		Calliandra argentea / Queen Emerald / Citrus
CAO	50		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	51		Calliandra argentea / Queen Emerald / Citrus
CAO	52		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	53		Calliandra argentea / Queen Emerald / Citrus
CAO	54		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	55		Calliandra argentea / Queen Emerald / Citrus
CAO	56		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	57		Calliandra argentea / Queen Emerald / Citrus
CAO	58		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	59		Calliandra argentea / Queen Emerald / Citrus
CAO	60		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	61		Calliandra argentea / Queen Emerald / Citrus
CAO	62		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	63		Calliandra argentea / Queen Emerald / Citrus
CAO	64		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	65		Calliandra argentea / Queen Emerald / Citrus
CAO	66		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	67		Calliandra argentea / Queen Emerald / Citrus
CAO	68		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	69		Calliandra argentea / Queen Emerald / Citrus
CAO	70		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	71		Calliandra argentea / Queen Emerald / Citrus
CAO	72		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	73		Calliandra argentea / Queen Emerald / Citrus
CAO	74		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	75		Calliandra argentea / Queen Emerald / Citrus
CAO	76		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	77		Calliandra argentea / Queen Emerald / Citrus
CAO	78		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	79		Calliandra argentea / Queen Emerald / Citrus
CAO	80		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	81		Calliandra argentea / Queen Emerald / Citrus
CAO	82		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	83		Calliandra argentea / Queen Emerald / Citrus
CAO	84		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	85		Calliandra argentea / Queen Emerald / Citrus
CAO	86		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	87		Calliandra argentea / Queen Emerald / Citrus
CAO	88		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	89		Calliandra argentea / Queen Emerald / Citrus
CAO	90		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	91		Calliandra argentea / Queen Emerald / Citrus
CAO	92		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	93		Calliandra argentea / Queen Emerald / Citrus
CAO	94		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	95		Calliandra argentea / Queen Emerald / Citrus
CAO	96		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	97		Calliandra argentea / Queen Emerald / Citrus
CAO	98		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base
CAO	99		Calliandra argentea / Queen Emerald / Citrus
CAO	100		Min. 15' H. x 2" Sp. 24" O.C. Full and Dense Shrub, Full to base

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 www.urbandesignkilday.com
 #LCC000035

Alton Town Center
 Prepared for NADG & Brock Development Group
 Palm Beach Gardens, Florida
 Landscape Plan

LP-3
 of 15

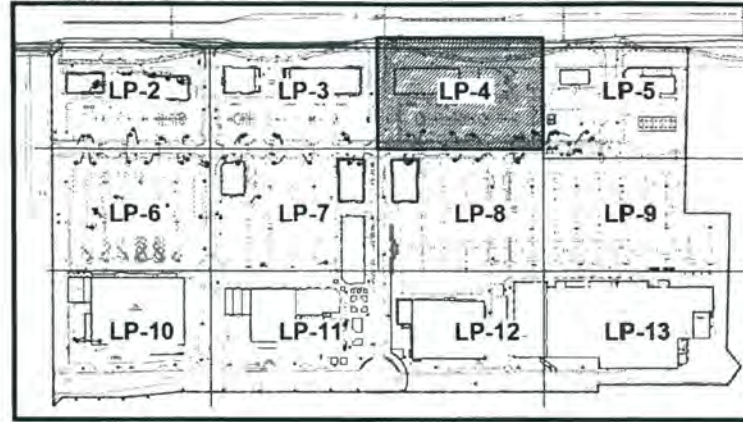
Scale: 1" = 20'-0"

North arrow pointing up.

Date: 07-10-2015
 Project No.: 88-039.020
 Designed By: NM
 Drawn By: LMB/KWK
 Checked By: NM

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KEY MAP



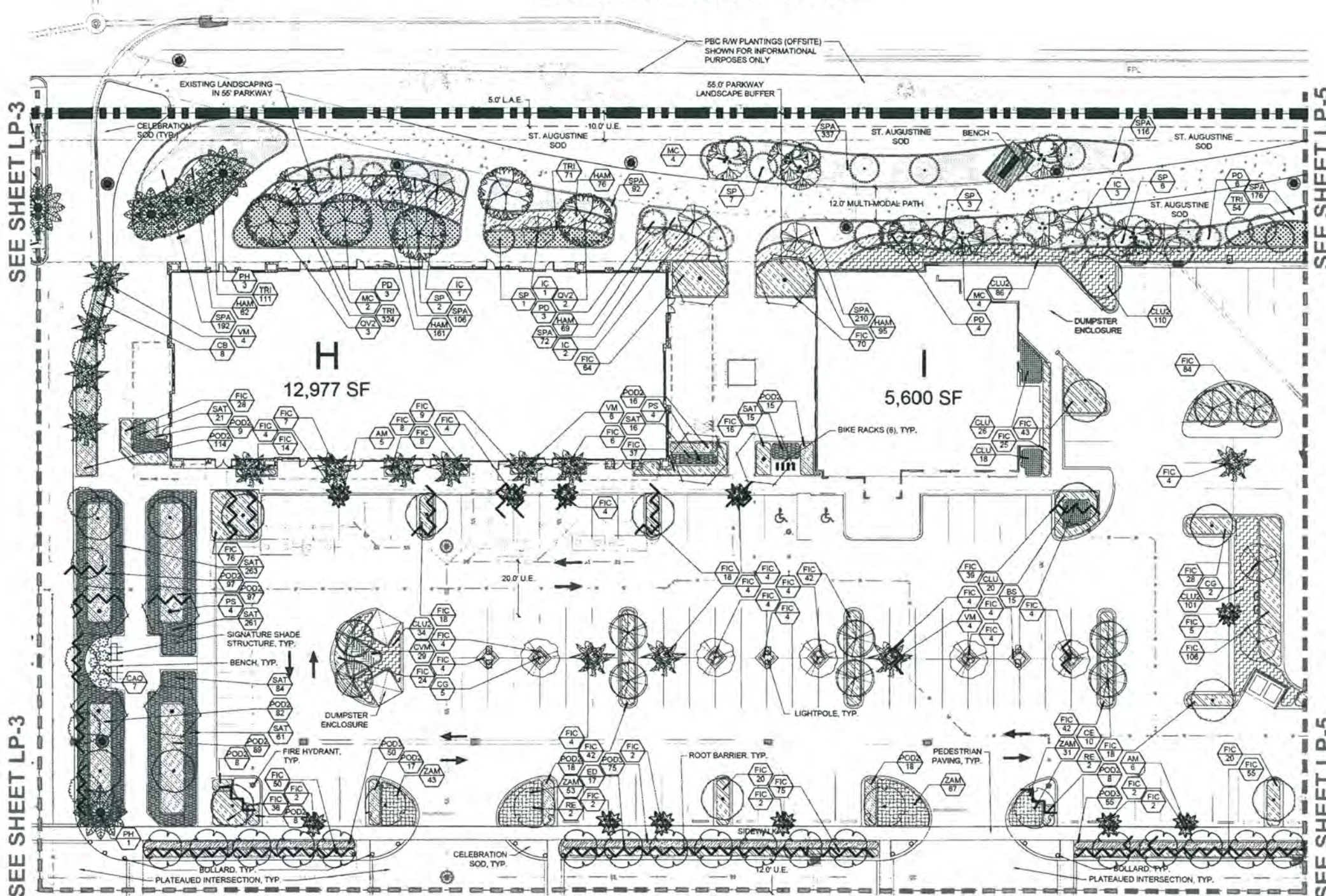
PAVER LEGEND



PLANT LIST

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME
○	BS	41	Bursera simaruba / Spanish Limbo
○	CB	11	Casipouira tomentosa / Brazilian Soapbark
○	CG	128	Conocarpus strictus / Green Buttonwood
○	CE	60	Conocarpus strictus / Green Buttonwood
○	ED	236	Conocarpus strictus / Green Buttonwood
○	IC	31	Illicium parviflorum / Anise Tree
○	LI	115	Ligustrum japonicum / Japanese Privet Tree
○	MC	18	Myrica caribaea / Star Myrtle
○	PD	85	Platanus sp. / Platanus
○	OV	99	Quercus virginiana / Live Oak
○	OV1	43	Quercus virginiana / Live Oak
○	OV2	11	Quercus virginiana / Live Oak
○	OV3	188	Quercus virginiana / Live Oak
○	OV4	134	Quercus virginiana / Live Oak
○	OV5	134	Quercus virginiana / Live Oak
○	OV6	134	Quercus virginiana / Live Oak
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○	OV100	134	Quercus virginiana / Live Oak

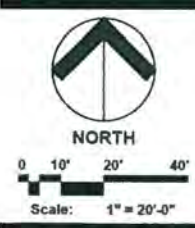
DONALD ROSS ROAD



SEE SHEET LP-3

SEE SHEET LP-8

Alton Town Center
 Prepared for NADG & Brock Development Group
 Palm Beach Gardens, Florida
 Landscape Plan

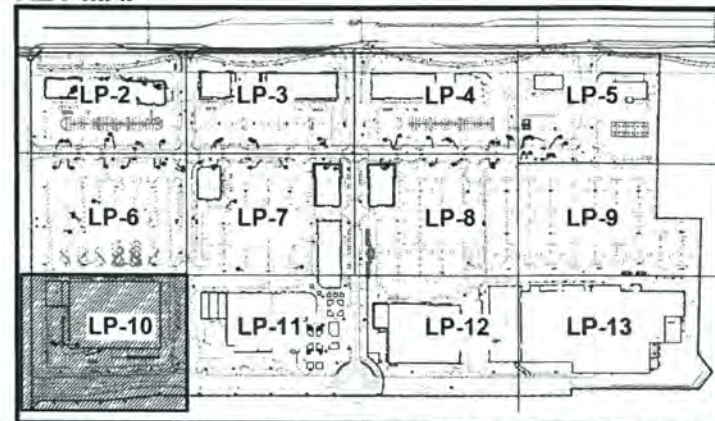


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LP-4
 of 15

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KEY MAP



PAVER LEGEND

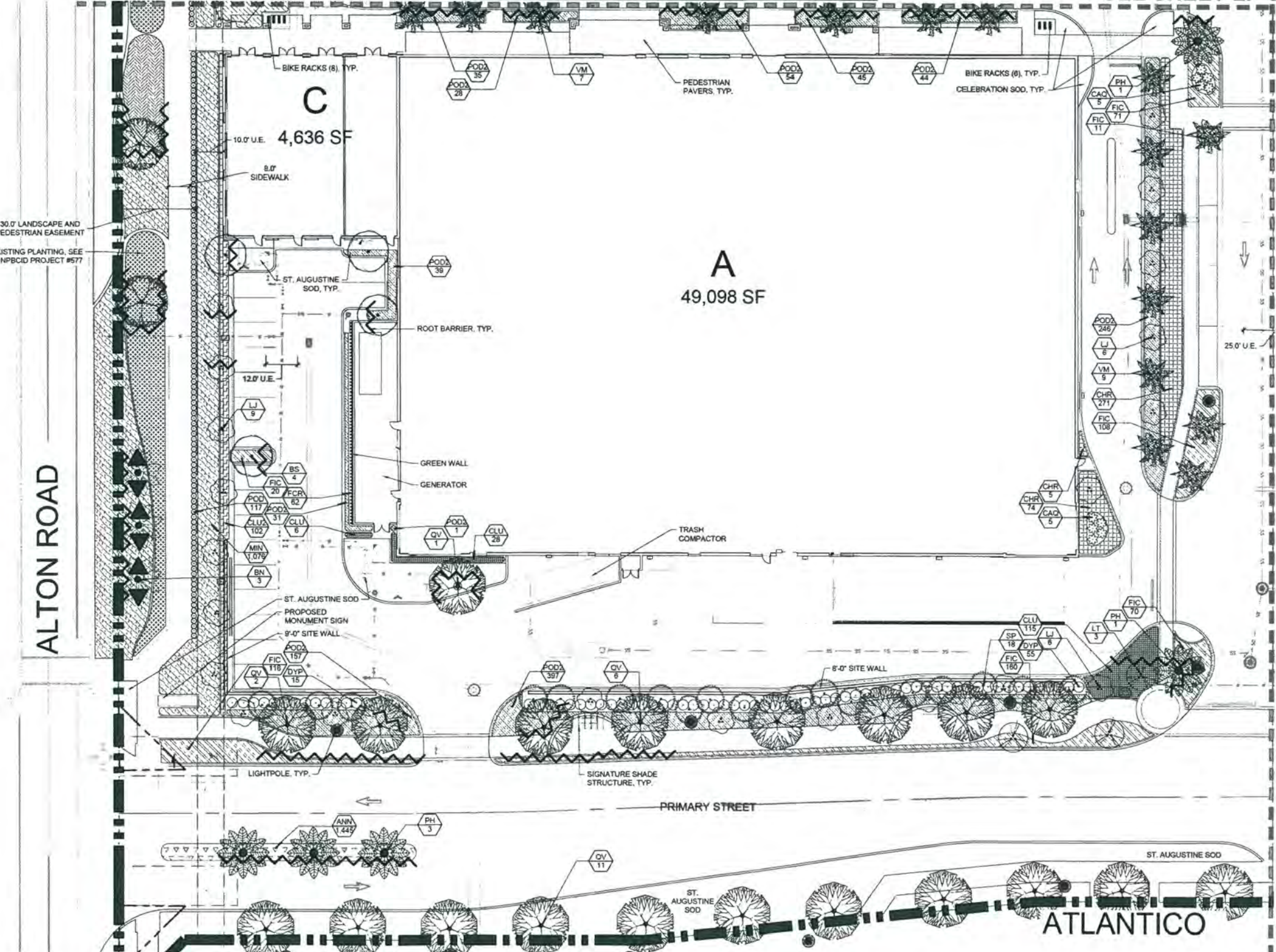
- PEDESTRIAN WALKS
PAVEMENT: PLANK COMBINATION
4" x 8" x 12"
COLOR: MEDICINE
- PEDESTRIAN SIDEWALKS
PAVEMENT: PLANK RUNNING BOND
4" x 8" x 12"
COLOR: LIGHT GRAY MIX
- INTERSECTION
PAVEMENT: PLANK HERRINGBONE
4" x 8" x 12"
COLOR: MEDIUM BEIGE MIX
- ROADSIDE
PAVEMENT: PLANK RUNNING BOND
4" x 12"
COLOR: MEDIUM GRAY MIX
- PEDESTRIAN CROSS WALKS
PAVEMENT: PLANK HERRINGBONE
4" x 12"
COLOR: LIGHT BEIGE MIX
- PARKING PAVING
PAVEMENT: COBBLESTONE
4" x 8"
COLOR: DARK GRAY MIX

PLANT LIST

TREE	CODE	QTY	BOTANICAL NAME / COMMON NAME
	BS 11		Bursera simaruba / Bursera Linn Min. 12' H. x 5" Sp. 2.5' Cal. Single Straight Trunk, Full Canopy
	DB 13		Casearia tomentosa / Erectum Shrub Min. 12' H. x 5" Sp. 2.5' Cal. Single Straight Trunk, Full Canopy
	DB 15		Casearia tomentosa / Erectum Shrub Min. 12' H. x 5" Sp. 2.5' Cal. Single Straight Trunk, Full Canopy
	CE 30		Casearia tomentosa / Erectum Shrub Min. 12' H. x 5" Sp. 2.5' Cal. Single Straight Trunk, Full Canopy
	ES 128		Casearia tomentosa / Erectum Shrub Min. 12' H. x 5" Sp. 2.5' Cal. Single Straight Trunk, Full Canopy
	ES 129		Casearia tomentosa / Erectum Shrub Min. 12' H. x 5" Sp. 2.5' Cal. Single Straight Trunk, Full Canopy
	ES 130		Casearia tomentosa / Erectum Shrub Min. 12' H. x 5" Sp. 2.5' Cal. Single Straight Trunk, Full Canopy
	ES 131		Casearia tomentosa / Erectum Shrub Min. 12' H. x 5" Sp. 2.5' Cal. Single Straight Trunk, Full Canopy
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SEE SHEET LP-6

SEE SHEET LP-6



SEE SHEET LP-11



Urban Planning & Design
Landscape Architecture
Communication Graphics

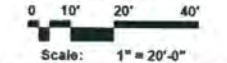
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Alton Town Center
Prepared for NADG & Brock Development Group
Palm Beach Gardens, Florida
Landscape Plan



NORTH

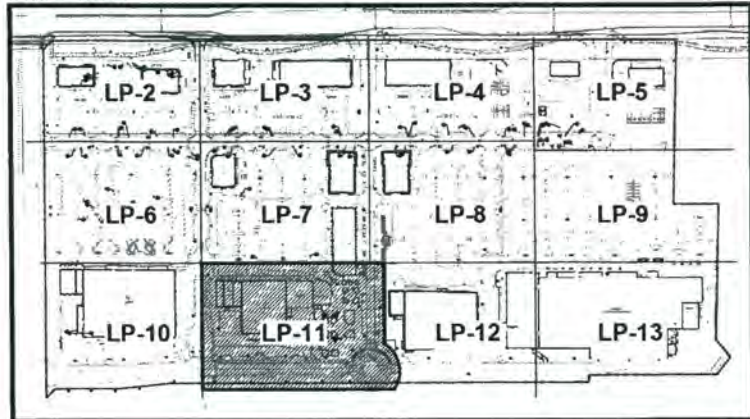


Date: 07-10-2015
Project No.: 89-036-020
Designed By: NM
Drawn By: LMB/KWK
Checked By: NM

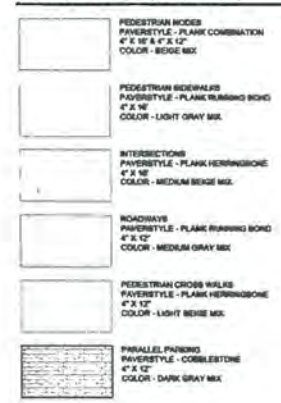
Revision Dates:

07-17-2015	LMB CITY SUBMITTAL
02-06-2016	KWK CITY RESUBMITTAL
04-20-2016	KWK CITY RESUBMITTAL
06-25-2016	KWK CITY RESUBMITTAL
07-20-2016	KWK CITY RESUBMITTAL
09-05-2016	KWK CITY RESUBMITTAL

KEY MAP



PAVER LEGEND



PLANT LIST

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME
	CB 11		Bursera simaruba / Queen Lemo
	CB 13		Callipteryx acuminata / Brazilian Bauhinia
	CB 18		Conocarpus erectus / Green Broomcorn
	CB 19		Conocarpus erectus / Green Broomcorn
	CB 20		Conocarpus erectus / Green Broomcorn
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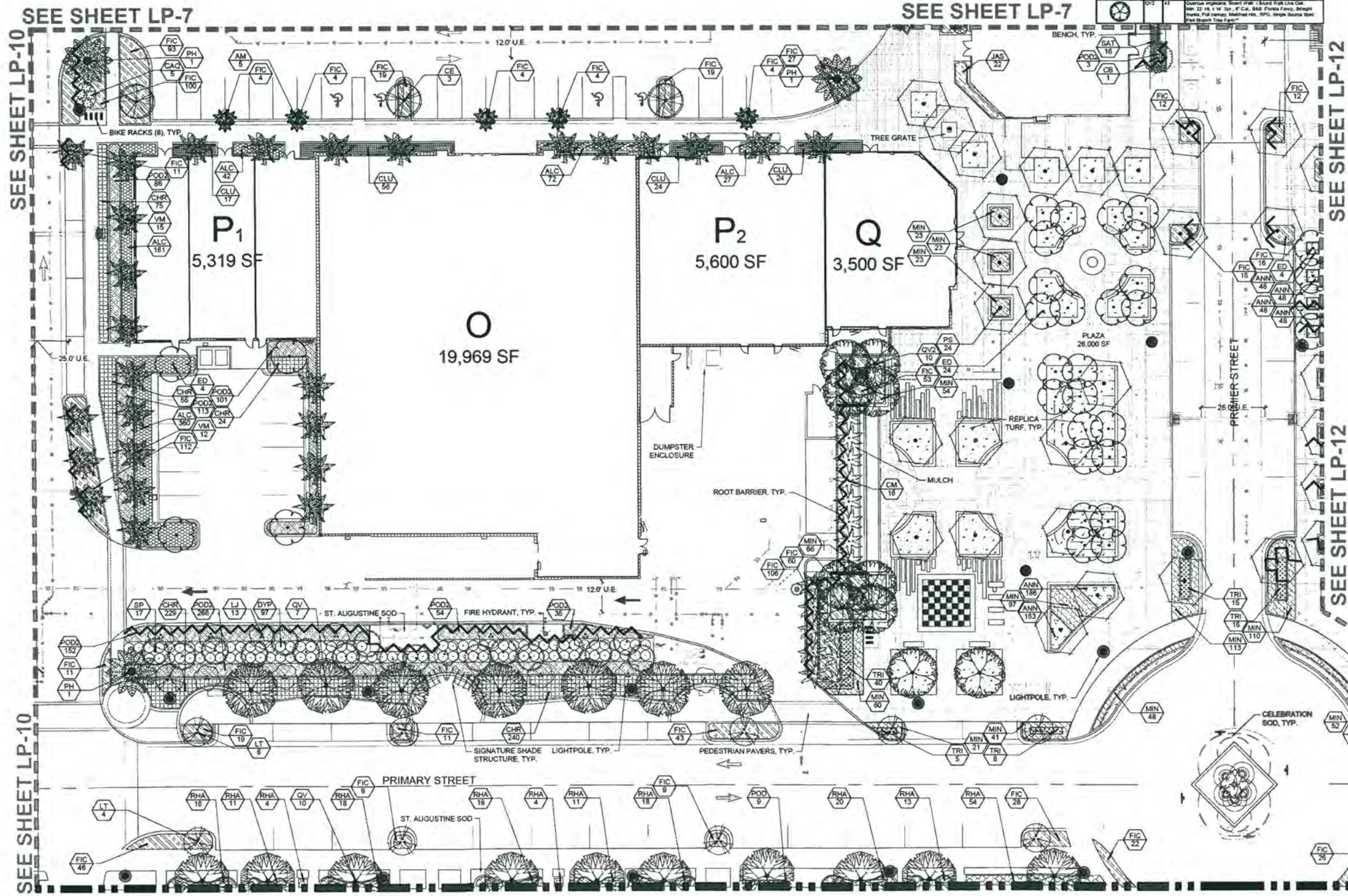
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Alton Town Center
 Prepared for NADG & Brock Development Group
 Palm Beach Gardens, Florida
 Landscape Plan



Scale: 1" = 20'-0"

Date:	07-10-2015
Project No.:	88-039-020
Designed By:	NM
Drawn By:	LMB/KWK
Checked By:	NM
Revision Dates:	
07-17-2015	LMB CITY SUBMITTAL
02-06-2016	KWK CITY RESUBMITTAL
04-20-2016	KWK CITY RESUBMITTAL
05-26-2016	KWK CITY RESUBMITTAL
07-20-2016	KWK CITY RESUBMITTAL
08-26-2016	KWK CITY RESUBMITTAL



Root Barrier

DEEPROOT™ Root Barrier Symbol

DEEPROOT™ TREE ROOT BARRIERS
 SPECIFIED TREE ROOT BARRIERS ARE A MECHANICAL BARRIER AND ROOT DEFLECTOR TO PREVENT TREE ROOTS FROM DAMAGING HARDWARES AND LANDSCAPES. ASSEMBLED IN 2' LONG MODULES TO CREAT VARIOUS SIZES OF CYLINDERS FOR SURROUNDING ROOT BALLS (SURROUNDING PLANTING STYLES OR FOR LINEAR APPLICATIONS DIRECTLY BESIDE A HEDGEROW ADJACENT TO ONE SIDE OF THE TREES (LINEAR PLANTING STYLE).

1. MATERIALS
 THE CONTRACTOR SHALL FURNISH AND INSTALL TREE ROOT BARRIERS AS SPECIFIED. THE TREE ROOT BARRIERS SHALL BE PRODUCT # DR 24-2 AS MANUFACTURED BY DEEP ROOT PARTNERS, L.P., 345 LORTON AVE., FOLSOM, CALIFORNIA 95630-0300, OR APPROVED EQUAL. THE BARRIER SHALL BE BLACK, INJECTION-MOLDED PANELS OF 0.025" WALL THICKNESS IN MODULES 24" LONG BY 24" DEEP, MANUFACTURED WITH A MINIMUM 50% POST CONSUMER RECYCLED POLYPROPYLENE PLASTIC WITH ADDED ULTRAVIOLET INHIBITORS. RECYCLABLE. EACH PANEL SHALL HAVE:
 NOT LESS THAN 4 VERTICAL INTERNAL ROOT DEFLECTING RIBS OF AT LEAST 0.025" THICKNESS PROTRUDING 1/2" AT 90° FROM INTERIOR OF THE BARRIER PANEL, SPACED 6" APART. (SEE PANEL DRAWING BELOW)
 A DOUBLE TOP EDGE CONSISTING OF TWO PARALLEL INTERNAL HORIZONTAL RIBS AT THE TOP OF THE PANEL OF A MINIMUM 0.025" THICKNESS, 7/16" WIDE AND 1/2" APART WITH THE LOWER RIB ATTACHED TO THE VERTICAL ROOT DEFLECTING RIBS. (SEE DETAIL "A")
 A MINIMUM OF 5 ANTI-LIFT CIRCULAR LOCK DABS CONSISTING OF INTERNAL HORIZONTAL RIDGES OF A MINIMUM 0.025" THICKNESS IN THE SHAPE OF A SEGMENT OF A CIRCLE THE 2" CHORD OF THE SEGMENT JOINING THE PANEL WALL AND THE SEGMENT PROTRUDING 3/8" FROM THE PANEL. THE RING DOWNS LOCKS ON EACH PANEL SHALL BE ABOUT EQUALLY SPACED BETWEEN EACH OF THE VERTICAL ROOT DEFLECTING RIBS (3 BETWEEN EACH SET OF RIBS, SEE DETAIL "B").
 AN INTEGRATED ZIPPER JOINING SYSTEM PROVIDING FOR INSTANT ASSEMBLY BY SLIDING ONE PANEL INTO ANOTHER (SEE DETAIL "C").

2. THE BASIC PROPERTIES OF THE MATERIAL SHALL BE:

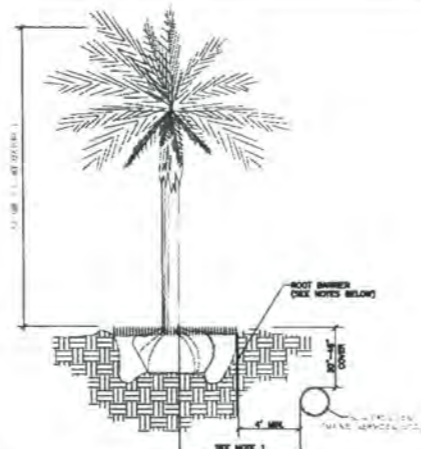
POLYPROPYLENE	
TENSILE STRESS @ YIELD	0.830 3800 PSI
ELONGATION @ YIELD	0.830 6.3%
FLEXURAL MODULUS	0.7900 100,000 PSI
NORCORDED LOBB IMPACT	0.2500A 7.1
ROCKWELL HARDNESS R SCALE	0.7000A 68

U.S. PATENTS 5,302,549 AND 5,070,642. OTHER PATENTS PENDING.

3. CONSTRUCTION AND INSTALLATION
 1. THE CONTRACTOR SHALL INSTALL THE TREE ROOT BARRIERS WITH THE NUMBER OF PANELS AND IN THE BARRIERS SHOWN ON THE DRAWINGS. THE VERTICAL ROOT DEFLECTING RIBS SHALL BE FACING INWARDS TO THE ROOT BALL AND THE TOP OF THE DOUBLE EDGE SHALL BE 1/2" ABOVE GRADE. EACH OF THE DEFLECTING NUMBER OF PANELS SHALL BE CONNECTED TO FORM A CHAIN AROUND THE ROOT BALL OR WHERE SPECIFIED JOINED IN A LINEAR FASHION AND PLACED ALONG THE ADJACENT HEDGEROW.
 2. EXCAVATION AND SOIL PREPARATION SHALL CONFORM TO THE DRAWINGS.
 3. THE TREE ROOT BARRIERS SHALL BE BACKFILLED ON THE OUTSIDE DRAWINGS. NO DRAINAGE BACKFILL IS REQUIRED FOR A LINEAR PLANTING WITH 3/4" TO 1-1/2" GRAVEL OR CRUSHED ROCK AS SHOWN ON THE DRAWINGS.

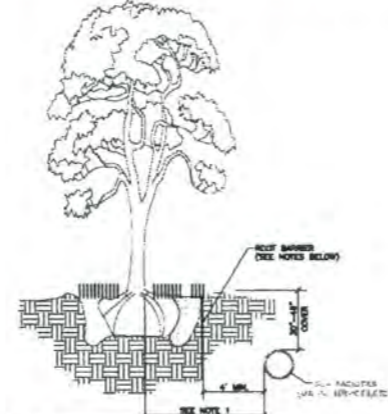
4. DEEPROOT™ TREE ROOT BARRIERS
 345 LORTON AVE. SUITE 103
 FOLSOM, CALIFORNIA 95630
 (415) 344-1464
 (800) 458-7668

Root Barrier Detail
 DEEP ROOT



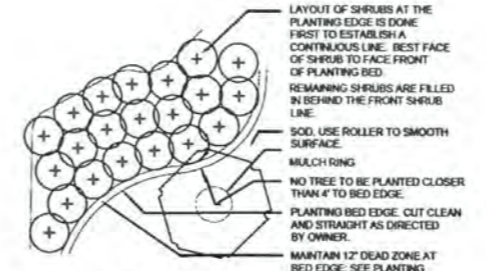
- NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)
1. THIS DISTANCE SHALL BE 3" MINIMUM WITH ROOT BARRIER AND 10" MINIMUM IF NO ROOT BARRIER IS USED.
 2. ALL ROOT BARRIERS SHALL BE 4" MINIMUM FROM ALL SEWAGE FACILITIES.
 3. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH SEWAGE AND INSPECTED BY SEWAGE PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
 4. ROOT BARRIERS SHALL BE MINIMUM 3/8" DEEP. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTION". FLEXIBLE BARRIERS SHALL BE 3/4" PANELS MANUFACTURED BY BOBBERNER.
 5. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

Typical Small Tree or Palm Tree with Root Barrier
 July 25, 2012

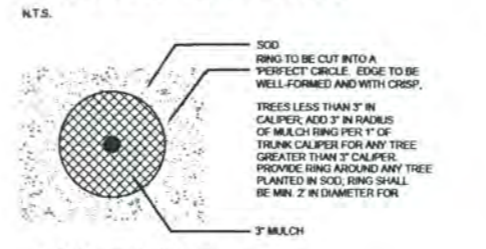


- NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)
1. THIS DISTANCE SHALL BE 10" MINIMUM WITH ROOT BARRIER AND 15" MINIMUM IF NO ROOT BARRIER IS USED.
 2. ALL ROOT BARRIERS SHALL BE 4" MINIMUM FROM ALL SEWAGE FACILITIES.
 3. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH SEWAGE AND INSPECTED BY SEWAGE PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
 4. ROOT BARRIERS SHALL BE MINIMUM 3/8" DEEP. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTION". FLEXIBLE BARRIERS SHALL BE 3/4" PANELS MANUFACTURED BY BOBBERNER.
 5. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
 6. LARGE PALM TREES INCLUDE ROYAL, HAWAIIAN, BIRNIAH AND SIMILAR SIZED SPECIES.

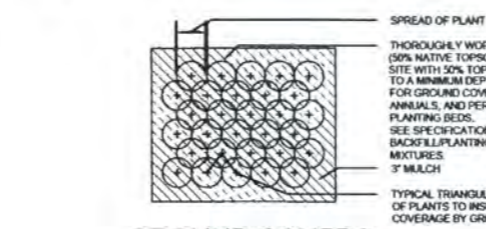
Typical Canopy Tree, Large or Exotic Palm Tree with Root Barrier
 July 25, 2012



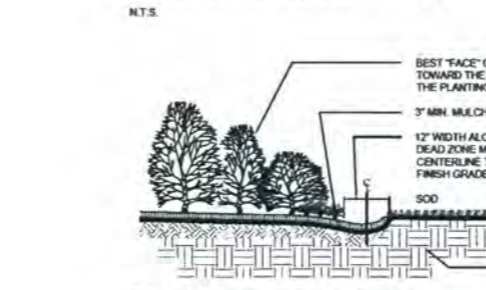
SHRUB AND GROUND COVER LAYOUT



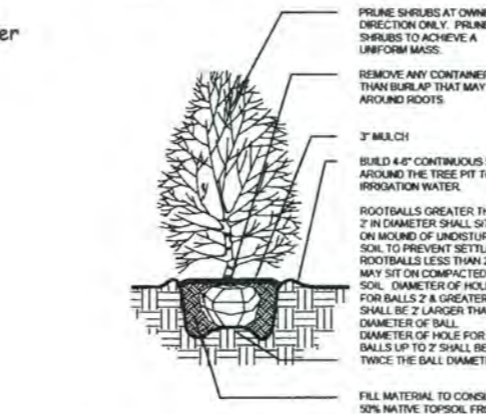
MULCH RING



GROUND COVERS AND ROOTED CUTTINGS

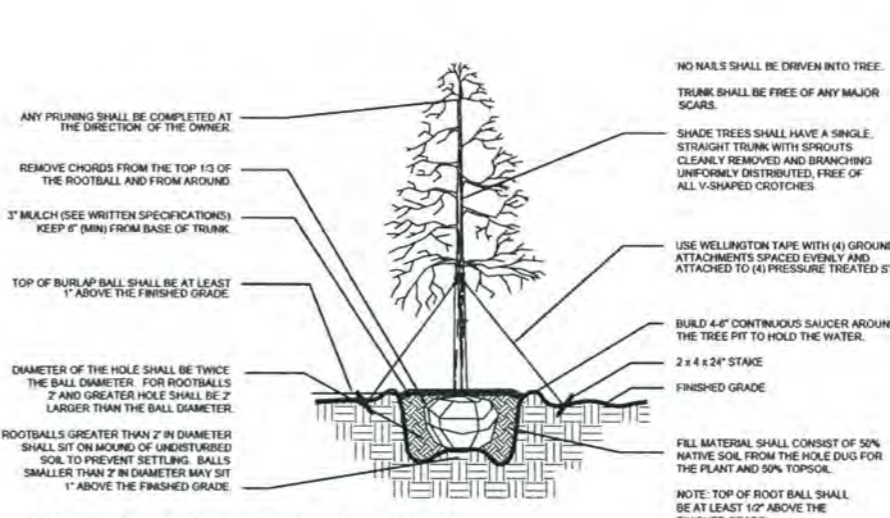


PLANTING BED EDGE



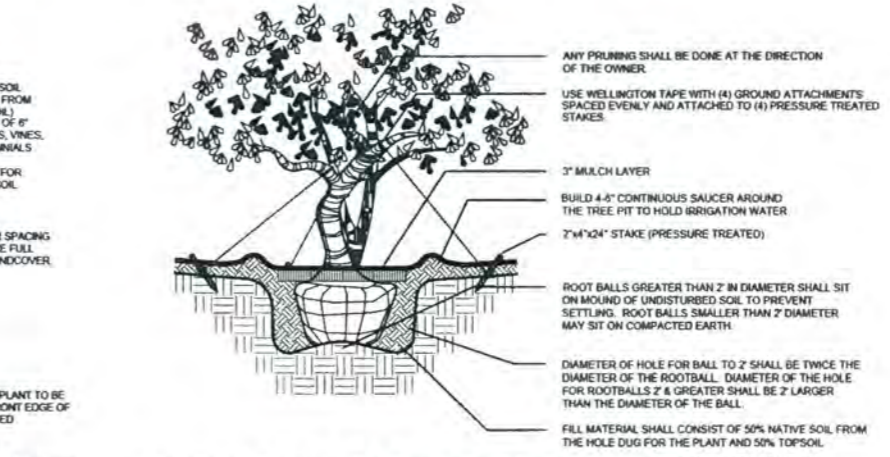
SHRUB PLANTING

N.T.S.



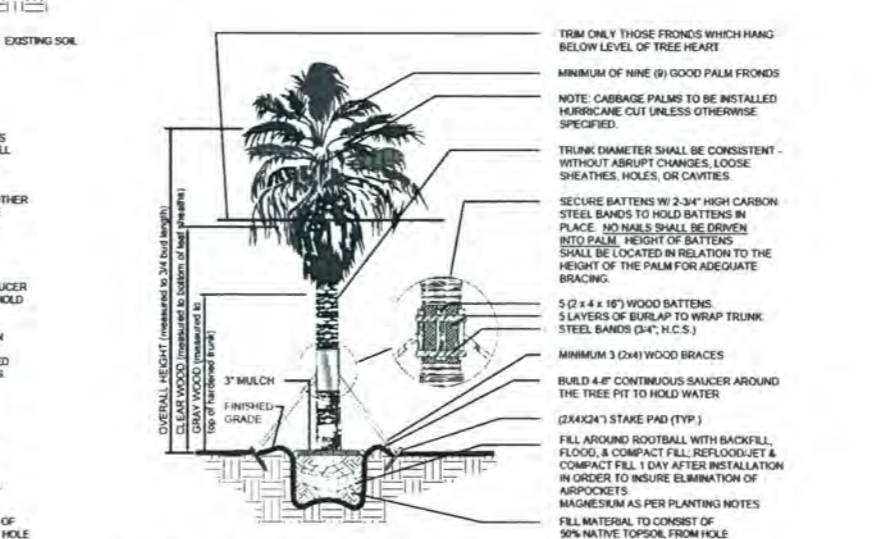
TREE PLANTING (2-4" CALIPER)

N.T.S.



IRREGULAR & MULTI-STEM TREE

N.T.S.



TYPICAL PALM TREE PLANTING

N.T.S.



Urban Planning & Design
 Landscape Architecture
 Communication Graphics

610 Clamata Street, Suite CU02
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 561.366.1100 FAX: 561.366.1111
 www.urbandesignstudios.com
 #LCC000035

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Alton Town Center
 Prepared for NADG & Brock Development Group
 Palm Beach Gardens, Florida
 Landscape Details



0 10' 20' 40'
 Scale: 1" = 20'-0"

Date: 07-10-2015
 Project No.: 88-039.020
 Designed By: NM
 Drawn By: LMB/KWK
 Checked By: NM

Revision Dates:

07-17-2015	LMB CITY SUBMITTAL
02-06-2016	KWK CITY RESUBMITTAL
04-20-2016	KWK CITY RESUBMITTAL
05-26-2016	KWK CITY RESUBMITTAL
07-20-2016	KWK CITY RESUBMITTAL
09-06-2016	KWK CITY RESUBMITTAL

**SECTION 02900
TREES, SHRUBS AND GROUND COVER**

PART I - GENERAL

By bidding on this project and/or signing a contract for landscape work, the Contractor acknowledges that he/she has read and understood these specifications in their entirety, that he/she has inspected the site, and that he/she will abide by all plans, specifications, and conditions found herein. Any perceived conflicts or concerns within the specifications or on the plant list, including unavailability of materials, are to be brought to the attention of the Landscape Architect prior to bid submission.

1.01 WORK INCLUDED

- A. Contractor shall obtain or ensure that all necessary permits have been granted to the Owner for work on the Owner's properties or in any adjacent easements prior to commencement of work.
- B. All planting and construction work shall be executed as shown on the provided drawings, schedules, and specifications.
- C. Any additional work or materials required to install landscape elements as called for on the plans, specifications or plant list shall be provided and installed by the Contractor.
- D. Finish Grade Elevations: 2 inch below top of pathway edging.
- E. The Contractor shall be entirely responsible for all work until final acceptance by the Owner. The Contractor shall protect all materials and work against injury and shall provide and maintain all necessary guards for the protection of the public. He shall be held responsible for any negligence during the execution of the work.

1.02 QUALITY ASSURANCE

- A. All work specified herein shall be performed by a single firm specializing in landscape work. The Landscape Architect and the Owner retain the right to approve any proposed subcontractors prior to awarding the contract.
- B. Ship landscape materials with certificates of inspection required by governing authorities. Comply with all regulations applicable to landscape materials.
- C. Package standard products with manufacturer's certified analysis. For other materials, provide analysis by recognized laboratory made in accordance with methods established by the Association of Official Agricultural Chemists, wherever applicable.
- D. Provide trees, palms, shrubs and groundcover grown in a recognized nursery in accordance with good horticultural practice. Materials must be healthy and vigorous, free of disease, insects, larvae, and defects such as decay, rot, knots, sun scald, injury, abrasions, and poor or unusual form. No collected material will be permitted unless specific written approval is granted.
- E. Do not make substitutions. If specified landscape material is not available at time of planting, submit proof of non-availability and provide a list of proposed equivalent material. Once authorized, adjustments to the contract will be made. Owner is not financially responsible for unauthorized substitutions.
- F. Plant materials of larger size than specified may be used if acceptable to Landscape Architect and if sizes of root balls are increased proportionately. Installation of larger sizes will not increase contract amount unless specifically authorized by Owner.
- G. Owner and Landscape Architect reserve the right to inspect, approve or reject at any time plant materials or work either at the nursery or at the site which does not meet the condition in the plans, plant list or specifications.
- H. The Contractor shall be responsible for planting the landscape in complete accordance with all applicable codes, ordinances, and laws. Any modification made to conform with said codes, laws and ordinances, after the bid is awarded, shall be completed at the Contractor's expense at no additional cost to the Owner.

1.03 SUBMITTALS

- A. Certification: Submit certificates of inspections as required by governmental authorities, and manufacturer's or vendor's certified analysis for soil amendments and fertilizer materials. Submit other data and specifications as required by governing authorities.
- B. Submit seed vendor's certified statement for each grass seed mixture required, stating botanical and common name, percentage by weight, and percentage of purity, germination, and weed seed for each grass seed species.
- C. Planting Schedule: Submit planting schedule showing schedule dates for each type of planting at each area of site.
- D. Maintenance Instructions: Submit typewritten procedures for maintenance of landscape work, through final acceptance.

1.04 DELIVERY, STORAGE AND HANDLING

- A. Packaged Materials: Deliver packaged materials in original containers showing manufacturer's guaranteed weight analysis and name of manufacturer. Protect materials from damage and deterioration during delivery and storage.
- B. Trees, shrubs, and ground covers: Provide freshly dug trees, palms, and shrubs. Do not prune prior to delivery. All plants shall be handled and stored so that they are adequately protected from drying out, from sun or wind burn, and from any other injury at all times. Any plant determined to be wilted or burned may be rejected at any time, whether in the ground or not. Plants shall be handled only by their containers or root balls, not by stems or trunks. Trees that are damaged or damaged during delivery, storage or planting will be rejected. The on-site storage area shall be approved prior to the delivery of any plant materials. Do not bend or bind plants in such a manner as to damage bark, break branches, or destroy natural shape. Provide protective covering during delivery.
- C. Deliver plant materials after preparations for planting are complete, and plant immediately. Roots or balls of all plants shall be adequately protected at all times from sun and/or wind. Balled and burlapped (B&B) plants that cannot be planted immediately upon delivery shall be set on the ground and protected by having soil, wet peat, or other acceptable material covering the roots or balls during their storage.
- D. Do not remove container-grown stock from containers until planting time.
- E. Label at least one tree, one palm and one shrub of each variety with a securely attached waterproof tag bearing legible designation of botanical and common name, if requested by Owner.
- F. Sod: Time delivery so that sod will be placed within 24 hours after stripping. Protect sod against drying and breaking of rolled strips.

1.05 JOB CONDITIONS

- A. Proceed with complete landscape work as rapidly as portions of site become available.
- B. Utilities: Determine location of overhead and underground utilities and perform work in a manner which will avoid possible damage. Hand excavate, as required. Forty eight (48) hours prior to digging, call the appropriate Utility Authority to have all utilities identified and marked in order to avoid conflict.
- C. Protection of Existing Structures: All existing buildings, walks, walls, paving, piping, and other items of construction and planting already completed or established shall be protected from damage. All damage resulting from negligence shall be repaired or replaced, including but not limited to marks on pavers and cracks within existing walkways caused by the Contractor. The Owner may, at his discretion have any damage repaired by others and subsequently costs back-charged to the Contractor.
- D. Protection of Existing Plant Material: The Contractor shall be responsible for all unauthorized cutting or damage to existing trees or shrubs caused by careless operation of equipment, stockpiling of materials, etc. This shall include compaction by driving or parking inside the drip-line of any tree, or spilling of oil, gasoline, or other deleterious materials within the drip-line of any tree. No materials shall be burned.
- E. Excavation: When conditions detrimental to plant growth are encountered, such as rubble fill, adverse drainage conditions, or obstructions, notify Landscape Architect before planting.

PART II - PRODUCTS

2.01 TOPSOIL

- A. The Contractor is required to obtain a soil sample and perform a soil analysis test to determine the existing soil composition and conclude whether it complies with the composition criteria below.
- B. Where topsoil does not meet the specified limits within the project site, it shall be furnished. Throughout all parts of site where fresh grades and contour lines differ from existing contour lines, bring to finish grade contours shown on "Grading Plan."
- C. Topsoil shall be friable, fertile soil with representative characteristics of local soils. It shall be free of heavy clay, marl, stone, extraneous lime, plant roots, refuse and/or solid waste, sticks, brush, construction demolition debris, and any other deleterious materials. There shall be no noxious weeds or weed seeds (i.e., nut grass, Bermuda grass and the like). In no case shall there be more than ten percent (5%) by dry weight of clay lumps or stones larger than 1". If, however, the pH range of 6.0 to 7.2 and shall contain no substance that will impede plant growth. The Contractor shall have topsoil laboratory tested at his expense and approved by Landscape Architect or Owner prior to material delivery.

Topsoil shall conform to the following specifications:

COMPONENTS	DRY WEIGHT MEASURE	PARTICLE SIZE
Organic Matter	2% - 7%	
Silt/Clay	2% - 10%	< 0.074 mm
Sand	85% - 98%	0.075 - 3.00 mm
Gravel	0% - 5%	4.75 mm - 1 inch

The analysis shall also show the following ranges:

Soluble salt	2 - 10 mg/liters/cm
Nitrogen	25-150 PPM
Phosphorus	20 - 39 PPM
Potassium	50 - 250 PPM
Calcium	500 - 2500 PPM
Magnesium	50 - 500 PPM
Iron	2.5 - 25 PPM
Manganese	2.5 - 25 PPM
Zinc	1.3 - 5 PPM
Copper	0.5 - 1.5 PPM
Boron	15 - 200 PPM
Sulphur	less than 100 PPM
Chlorine	less than 10
Sodium	none
Nematodes	none

2.02 SOIL AMENDMENTS AND FERTILIZERS

- A. Peat Moss: Peat moss shall be a commercial, baled sphagnum material, free of woody material, minerals, or foreign matter, with a pH range of 3.0 - 5.5.
- B. Sand: Sand shall be clean, sharp, and free of all deleterious material.
- C. Limer: Natural limestone (Dolomite) containing not less than 85% of total carbonates, ground so that not less than 90% passes a 10-mesh sieve and not less than 50% passes a 100-mesh sieve.
- D. Humus Soil Conditioner: Consisting of yard trimmings and bioislands co-compost.
- E. Fertilizer: Fertilizer shall be a commercial grade, granular, slow release "pre-plant" type fertilizer.
- F. 1. Fertilizer shall be delivered to the site in the original unopened container, bearing the manufacturer's guaranteed analysis. Any opened, caked, or damaged fertilizer will be rejected.
- 2. Tree, palm, shrub and grass fertilizer shall be "UF (University of Florida) Formulae" product 8-2-12 or 8-2-13 with minor elements as an all-purpose fertilizer, or equal, and applied according to the manufacturer's direction.
- 3. Application of fertilizer shall be consistent with the current recommendations of the Green Industries - Best Management Practices.
- 4. Fertilizer shall be applied by an individual who has successfully completed the GI-BMP program and holds a current Urban Fertilizer License or as required by the State and Local Ordinances.

2.03 WATER

- A. All water necessary for planting and maintenance shall be of satisfactory quality to sustain adequate growth of plants and shall not contain harmful, natural or man-made elements detrimental to plants.

2.04 OTHER LANDSCAPE PRODUCTS

- A. Mulch: Mulch shall be shredded Melaleuca, Eucalyptus, Grade "A" Pine Bark Nuggets, or approved equal, free of foreign materials and weed seeds. Minimum depth after setting shall be 3".
- B. Ouying and Bracing: Tree guying and bracing shall be the responsibility of the Contractor in accordance with the planting details to insure stability and maintain plants in an upright position.
- C. Anti-desiccant: Anti-desiccant shall be "Wilpro" or equal, if specified on plans.
- D. Tree Wound Paint: Tree wound paint shall be an asphaltic base paint containing an antibacterial agent, specially prepared for tree surgery work.
- E. Super Absorbent Polymer "Terra Sorb" or approved equal as packaged in 3 oz. Handy Pac composed of synthetic acrylamide copolymer, polystyrene, acrylate. Particle size of 1.0 mm to 3.0 mm and absorption rate of 300 times its weight in water, if specified on plans.

Apply dry, using the following amounts:

For trees and palms up to 30" diameter root ball, use one 3 oz. Handy Pac.
For trees and palms over 30" diameter root ball use two 3 oz.
Handy Pacs. Broadcast throughout planting hole and backfill as per manufacturer's specifications.

For container-grown plants:

Container Size	Application Rate
1 Gallon	1 Handy Pac / 9 Containers
3 Gallons	1 Handy Pac / 4 Containers
7-10 Gallons	2 Containers
20 Gallons	1 Handy Pac / 1 Container

2.06 PLANT MATERIAL

- A. Plant list to be part of this specification section. The Contractor shall be responsible for furnishing and installing all plant materials shown on the drawings and plant list. In case of conflict between the two documents, the drawings shall rule.
- B. Quality: Trees, palms, shrubs, and other plants shall be Florida #1 or better as defined in the latest edition of Grades and Standards for Nursery Plants, Florida Department of Agriculture and Consumer Services. Multi-trunked trees will not be acceptable unless they are specifically specified in the planting plans. All plants shall have a normal habit of growth and shall be sound, healthy, and vigorous. Trees shall have normal well-developed branching structures and vigorous root systems that are not root or container bound.

- 1. Balled and burlapped plants (BB or b&b) shall be dug with firm, natural beds of earth, of sufficient depth and diameter to include the fibrous and feeding roots. Plants with cracked, dry, or broken balls will not be accepted, nor will plants with root balls of insufficient size.
- 2. All plants, other than those collected on site, shall be nursery grown in accordance with good horticultural practices and under climatic conditions similar to the site for at least two weeks. Transplanting or root pruning shall have taken place during growth.
- C. Size: Plant sizes shown in the plant list are minimums. When a shrub size is given by height and spread and by container size, the larger of the two shall rule. All trees and shrubs shall be measured when their branches are in a normal position. Spread dimensions specified refer to the main body of the plant and not from extreme branch tip to tip. Height is measured from the soil line to the average height of the canopy. Measurement does not include any terminal growth, the container or root ball is also not included.

Unless otherwise specified, the determining measurement for trees shall be caliper, which shall be measured 6" above the ground for trees up to 4" in caliper, and 12" above the ground for trees over 4" caliper.

2.08 GRASS MATERIALS

- A. Types: Sod type shall be as specified on the provided landscape plan and associated plant list.
- B. Dimensions: The sod shall be taken up in commercial size rectangles, preferably 12-inch x 24-inch.
- C. Measurement: Sod shall be measured on the basis of square footage. Contractor shall be responsible for complete coverage based on the square footage shown on plans; therefore, Contractor shall factor in cutting and fitting of sod.
- D. The sod shall be sufficiently thick to provide a dense stand of live grass. The sod shall be live, fresh and unharmed, at the time of planting. It shall be a soil mat of sufficient thickness, at least 2" thick, adhering firmly to the roots to withstand all necessary handling. It shall be free of other grasses and other plants. It shall be planted as soon as possible after being dug, and shall be shaded and kept moist from the time it is dug until it is planted. After approval, the area from which the sod is to be harvested shall be closely mowed and raked as necessary to remove excessive top growth and debris.

2.07 REJECTION, SUBSTITUTION, AND RELOCATION

- A. All plants not conforming to the requirements herein specified shall be considered defective and such plants shall be marked as rejected and removed from the site whether in the ground or not, at the Contractor's expense. Such removal shall take place immediately and new plants shall be brought in as replacements. The plant materials must meet all applicable inspections required by law.
- B. The Owner or Landscape Architect also reserves the right to require that plants be relocated after installation if their initial installation does not conform to the plans or the intent of the plans, or if the original location of the plants is not suitable for other facilities, human life, health, or safety, or to site utilities. Such relocation shall be at the Contractor's expense.

PART III - EXECUTION

3.01 GENERAL

- A. Proceed with and complete landscape work as rapidly as portions of the site become available.
- B. No planting shall be done until all operations in conjunction with the installation of the sprinkler system have been completed, final grades have been established, planting areas have been prepared and ready for planting.
- C. Adverse Conditions: When conditions potentially detrimental to plant growth are encountered during work, such as rubble or refuse fill, adverse drainage conditions, or obstructions, notify Owner or Landscape Architect before planting.
- D. Work Scheduling: Work is to be scheduled to establish a logical sequence of steps for the installation of each type and grade of landscape work, in such a way as to correspond with, and avoid damage and conflict with, other disciplines on site.
- E. Coordination with Soil/Lawn: Plant trees, palms, and shrubs only after final grades are established, and prior to sodding or lawn establishment. If such planting must be done after lawn work, protect lawn/sod areas during planting and promptly repair any resulting damage.
- F. Timing:
 - 1. Planting work shall not be started until the final subgrade has been established, berms have been constructed and fine finished grading completed.
 - 2. Under no conditions shall work be done if weather or soil conditions are not satisfactory.
- G. Clearing:
 - 1. At all times during the construction and installation, the site shall be maintained in a clean, orderly and safe condition. Streets and pavements shall be kept clean. Materials and equipment for planting work shall be limited to the quantity required for the particular phase of work currently underway on the job site.
 - 2. Protect landscape work and materials from damage due to landscape installation and maintenance operations, operations by other contractors and trades, and trespassers. Maintain protection during installation, Maintenance and Establishment periods. Treat, repair or replace damaged landscape work as directed.

3.02 SOIL PREPARATION

- A. Grading and soil preparation work shall be performed only during periods when best results can be obtained. If the moisture content of the soil is high enough that work would damage soil structure, grading and tilting operations shall be suspended.
- B. Before mixing in soil amendments, clean topsoil of roots, plants, sods, stones, clay lumps, and other extraneous materials harmful or toxic to plant growth. Apply Herbicide for weed control as needed.
- C. Mix specified soil amendments and fertilizers with topsoil at rates specified. Delay mixing of fertilizer if planting will not follow practice of planting soil within a few days.

- D. For planting beds, mix planting soil either prior to planting or apply on surface of topsoil and mix thoroughly before planting.

- 1. Mix lime with dry soil prior to mixing of fertilizer.
- 2. Prevent lime from contacting roots of acid-loving plants.

- E. Unless drawings indicate otherwise, berms shall not exceed a 3:1 slope. Berms near buildings or in potentially troublesome drainage situations shall be checked for correct drainage by the project Engineer or Owner prior to planting.
- F. Tree and shrub planting beds which fall within or near parking lot areas shall be completely excavated and back-filled with topsoil. All steel-roof or other base materials, and all subsoil materials, shall be completely removed from beneath such planting areas, to a minimum depth of 24".
- G. All tree and/or shrub planting areas within 36" of building foundations, and any other planting areas where significant buried construction debris is encountered, shall be excavated to a minimum depth of 24" and backfilled with topsoil as specified elsewhere in these specifications.

3.03 TILLING

- A. Before mixing, clean soil of roots, plants, clay lumps, stones in excess of 1" in diameter, and other extraneous or potentially harmful materials.
- B. After all soil conditioning (and topsoil if called for on plans) has been spread at specified rates, the areas to be planted should be thoroughly rotary-tilled to a depth of six (6) inches. Plowing or discing is not an acceptable substitute for rotary-tilling.

- 1. If the sprinkler system is installed after grading and tilling is completed, the bedfill shall be retilled in the affected areas.
- 2. When the subsoil, grading, topsoil addition, soil conditioning, and tilling have been accomplished, all areas so treated shall be compacted and settled by application of heavy irrigation to a minimum depth of twelve (12) inches. Erosion scars shall be repaired.

3.04 FINE FINISH GRADING

- A. After preliminary grading has been completed and the soil has dried sufficiently to be readily worked, all lawn and planting areas shall be graded to the elevations indicated on the Engineering Plans. The top four (4) inches shall be completely free of stones larger than one (1) inch. Grades not otherwise indicated shall be uniform levels or slopes between points where elevations are given. Positive drainage away from buildings shall always be maintained. Surface drainage shall be directed as indicated on the drawings by remodeling surface to facilitate the natural run-off of water. All depressions where water will stand, all voids, erosion, settled trenches and excavations, and all ridges and rises shall be amended and/or removed leaving a smooth, even finish grade. If additional amended topsoil is required to accomplish the intent of this specification, it shall be according to the foregoing specifications for topsoil.

- 1. All area shall be graded so that the final grades are 2" below adjacent paved areas, sidewalks, valve boxes, mowing strips, clean-outs, drains, etc., with appropriate adjustments for erosion scarp thickness. The intent is for water always to drain away from paving into landscaped areas.
- 2. Eliminating all erosion scars prior to beginning planting.
- 3. The Owner and/or his representative shall approve all final finish grades prior to planting.

- B. Prior to fine grading or the installation of plant material the Contractor shall obtain certification that the project area is at the grade levels proposed by the Civil Engineer or Landscape Architect from a licensed Surveyor. The Contractor shall fine grade the lawn and planting areas to bring the rough grade up to final finished grade allowing for thickness of sod and/or mulch depth.

3.05 PLANTING TREES AND PALMS

- A. Layout individual tree locations and areas for multiple plantings. Stake all locations and outline areas, then secure Landscape Architect's acceptance before the start of planting work.
- B. Prior to preparation of tree pits, ascertain the location of all electrical conduits, all utility lines, oil tanks and supply lines, so that proper precautions may be taken not to disturb or damage any existing conditions. Property maintain and protect existing utilities. Should such underground or overhead obstructions be encountered that interfere with planting, the Contractor will inform the Landscape Architect or Owner's representative and shall be consulted as to the adjustment of the location of plants to clear such obstruction or the relocation of the obstruction.
- C. Tree pit locations shall be staked by the Contractor and approved by the Owner or Landscape Architect before digging. Pits shall be excavated to the depth and width indicated and all subsoil removed.
- D. Protect all areas from excessive compaction by foot traffic or machinery when bringing trees to the planting area.
- E. All excavated holes shall have vertical sides with roughened surfaces and shall be of a size that, at least from the top of the original plant container or ball. In all cases the holes shall be large enough to permit handling and planting without damage to the roots or root ball.
- F. Excess soil shall be removed or utilized as directed by Owner or the Owner's representative. If the excess soil will not be used, it is the responsibility of the Contractor to remove and dispose of the discarded soil off site in an acceptable manner.
- G. Tree pits shall be backfilled with a topsoil mixture as specified elsewhere in these specifications. Palm tree pits will be backfilled with a mixture of up to 50% sand and 5% organic material.
- H. Add fertilizer to tree pits as specified elsewhere in these specifications.
- I. Set balled and burlapped stock on a layer of 50% native soil and 50% topsoil compacted to a 6" depth. Loosen burlap from top of sides of the ball but no burlap shall be pulled from underneath. Remove non-organic binding material (if any) from tree ball. Immediately cut any damaged roots with clean shears. Using a plumb to assure that the tree is properly upright, begin filling the hole and tamping the fill material. When the hole is 2/3 filled, water thoroughly and probe with a stick to be sure that no air pockets remain. Re-plumb, completely filling the hole, re-lamp, and water again.
- J. Set container-grown stock as above, taking care not to damage roots when removing the container.
- K. During planting, do not cover the top of the root ball with the soil mixture. All rope, wires, burlap mesh etc., shall be removed from the root ball. No synthetic burlap is allowed on any plant material. Synthetic burlap is unacceptable for rootballs. Trees shall be planted so that the top of the root ball is 2" above final grade. Allow for settling. Any trees resting deeper or higher must be either re-set or replaced at the discretion of the Owner or Landscape Architect; such work shall be at the Contractor's expense.
- L. Create a watering basin around each tree at least as wide as the root ball in diameter formed by a circular ridge of soil at least 6" high.
- M. Each planting basin shall be matched to a minimum depth of 3" (after settling). Mulch shall not be applied until the tree has been thoroughly watered and two days have elapsed. Mulch should be placed so that it is not in direct contact with trunks.
- N. All trees are to be staked or guyed per these specifications. All stakes shall be painted a conspicuous color or shall be flagged for visibility and public safety; guy wires shall be flagged.
- O. Palms shall be planted per above specifications.

3.06 PLANTING SHRUBS, VINES, AND GROUND COVERS

- A. The locations of all plants, bed outlines and all other areas to be planted shall be clearly marked with agricultural gypsum or landscape marking paint then approved by the Owner or Landscape Architect before any holes are dug.
- B. No planting shall be done until the area concerned has been satisfactorily prepared in accordance with these specifications.
- C. No more plants shall be distributed in the planting area on any work day than can be planted and watered in that day.
- D. Unless otherwise indicated, all plants shall be planted in pits, centered as called for on the plant list, and set in 24" depth of topsoil as specified elsewhere in these specifications to such depth as to match the soil and the plants will match the surrounding grade after settling. Plants shall be planted in a vertical position and oriented to give the best possible appearance or relationship to adjacent structures or features. Removal of inorganic containers or binding all damaged roots shall be cut away cleanly. Planting soil shall be placed and compacted carefully to fill all voids and avoid root injury. When the hole is 2/3 filled, water thoroughly. The hole shall then be filled to finish grade and a shallow saucer shall be formed around each bed. After settling, soil shall be added as needed to bring the hole to grade level.
- E. Azaleas and other succulent and acid-loving plants shall be backfilled with a mixture of 20% topsoil and 80% acid peat. They shall be set so that the bases of the plants are slightly higher than they grow in the container or nursery after settling. At no time shall lime in any form be brought into contact with the plants or their roots. Mulch with pine straw unless noted otherwise.
- F. Add fertilizer to plants as outlined in section 2.02.
- G. Vines shall be planted in pits containing at least 2 cubic feet of prepared topsoil. They shall be planted in the same manner as shrubs, and shall be matched. Vine stems shall be fastened to walls, trellises, etc. as specified in the drawings.
- H. Groundcover plants shall be laid out in their proposed planting locations without being removed from their containers after the soil is properly prepared per these specifications. Planting methodology to be the same as for other shrubs.
- I. Any plants which, after setting, rest significantly higher or even slightly lower than they grew in the nursery or container are subject to resetting or replacement at the discretion of the OWNER or Landscape Architect. Such work shall be at the Contractor's expense.
- J. If called for in the plans, landscape edging shall be installed as specified.
- K. All planting beds and individual plantings shall be matched with a minimum of 3" (after settling) of mulch as specified in this document. Mulch shall be free of weed seeds and other foreign matter.

3.07 ANNUAL AND SEASONAL COLOR BEDS

- A. Beds shall be mounded to a height 6" on top of the existing grade and composed of 50% topsoil and 50% compost.
- B. Soil shall be covered with 1/2" - 1" deep layer of Pine Finns Mulch or comparable product.

3.08 PRUNING

- A. All pruning shall be done in the presence of, and with the approval of, the Owner or

Landscape Architect. Only clean, sharp tools designed for the purpose shall be used. The goal of pruning is always to preserve and enhance the natural character of the plant. Pruning shall be done per modern horticultural practice (see National Arborist Standards, latest edition).

- B. Pruning shall be limited to the minimum necessary to remove injured twigs, branches, and limbs, to compensate for root loss suffered during digging and transplanting, and to thin and shape trees and shrubs. No case shall more than 1/3 of the branching structure be removed. Damaged, inward, flayed, split, or skinned tree branches, or limbs shall be pruned back to the next sound outside lateral bud, branch or limb. The terminal bud or leader shall never be removed.
- C. Prune trees and shrubs to retain required height and spread. Remove the minimal amount of wood necessary to correct tree and shrub defects. Remove only dead or dying trunks from defects. Cuts over 3/4" in diameter shall be treated with tree wound paint. All exposed living tissue shall be covered.
- D. Existing Trees: If indicated on drawings, Contractor shall prune and trim existing trees on site. The use of climbing spikes is prohibited. All diseased, dead branches and those interfering with the use of climbing spikes shall be removed. Only dead or dying trunks from defects shall be removed. Damaged, inward, flayed, split, or skinned tree branches, and any others as directed by the Owner or Landscape Architect. Cuts shall be flush with the trunk or limb and shall be painted with tree paint. Remove any nails, wires, etc. fastened to the tree.

3.09 PLANTERS - DECORATIVE OR STRUCTURAL

- A. If specified, landscaping in planters shall be installed using the following method:
 - 1. Install 4" deep layer of fine crushed stone in bottom of planter.
 - 2. Install fiber fabric over stone layer. Turn up edges of fabric at around.
 - 3. Install planting soil mix over fiber fabric to within 3/4" of top for planter. Do not compact planting soil.
 - 4. Install plant material as specified elsewhere in these specifications.
 - 5. Install 3" of mulch over planting soil.

3.10 SODDING NEW LAWNS

- A. The Contractor shall sod all areas indicated and noted on the drawings. No sodding shall occur until areas to be sodded are cleared of any rough grass, weeds and debris, the ground brought to an even grade and specified amendments have been added. See details for specific amendments as per sod type.
- B. Whenever a suitable area has been graded and is ready for sodding the Contractor shall, when directed by the Landscape Architect, proceed at once with the sodding of the available areas. Sodding shall be incorporated into the project at the earliest practical time in the life of the project. No sodding shall be started until the area to be sodded has been prepared unless specifically authorized by the Landscape Architect or Owner after his careful inspection thereof. Any sod which is not planted within twenty four (24) hours after cutting shall be stacked in an approved manner and maintained properly moisture.
- C. Areas of sod which, after planting, show an appearance of extreme dryness shall be firmly and smoothly embedded by light tamping with appropriate tools. Sod shall be rolled with 1,000 lbs. roller unless waived by the Landscape Architect or Owner.
- D. Where sodding is used in drainage ditches, sod panels shall be set in a staggered pattern, such as to avoid a continuous seam along the line of the ditch. Four strips shall be used across each (6) inches. At the inside of the curbs, sod shall abut squarely and evenly.
- E. No areas where the sod may slide, due to height and slope, the Landscape Architect or Owner may direct that the sod be pegged, with pegs driven through the sod blocks into firm earth, at suitable intervals.
- F. Any areas of sod, after planting, show an appearance of extreme dryness shall be removed from the work.
- G. Where placement of new sod abuts existing sodded areas, new sod must be placed in such a manner as to produce an even transition to existing sodded areas.
- H. Areas of sod which are rejected by the Contractor to be sodded in a neat, clean manner to the edge of the paving and shrub areas.

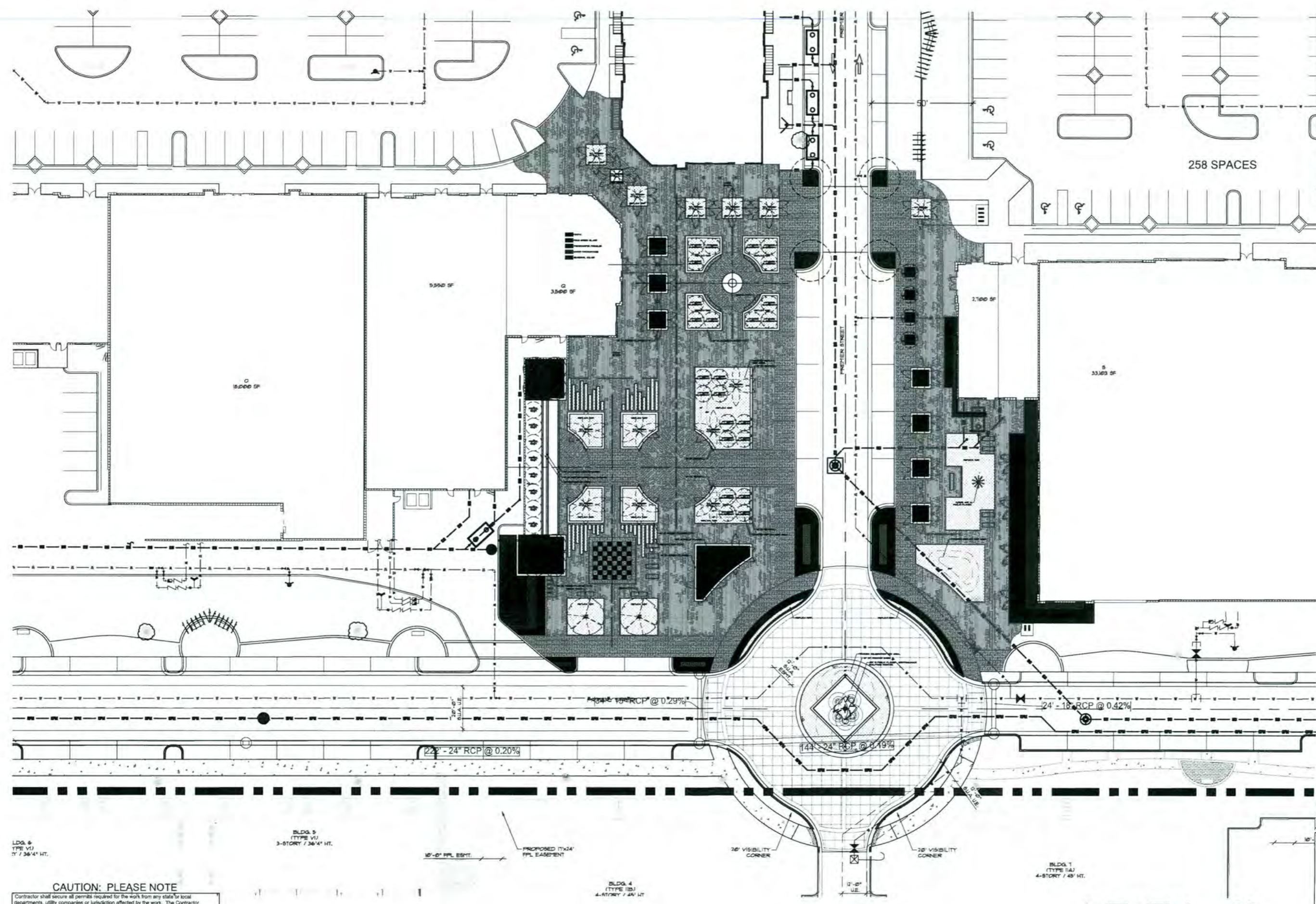
PART IV MAINTENANCE, ESTABLISHMENT AND WARRANTY PERIODS

4.01 MAINTENANCE AND ESTABLISHMENT PERIOD

- A. The Contractor shall be responsible for maintaining adequate protection of the site. Areas damaged by the Landscape Contractor's men or equipment, or the men or equipment of his Subcontractors, shall be repaired at the Landscape Contractor's expense.
- B. The Contractor is responsible for keeping all plant materials adequately watered after installation even if the irrigation system is not operational. Plants shall receive a thorough watering during the establishment period. The Contractor shall be responsible for the maintenance and establishment periods per the requirements set forth in "Water Requirements for Newly Planted Grass, Ground Covers, Shrubs and Trees in Florida", distributed by South Florida Water Management District. In those areas where a permanent irrigation system is installed, the Contractor is responsible for implementing the Watering Program identified in the Landscape Plans.
- C. The Landscape Contractor is responsible for keeping all plant materials adequately fertilized throughout the Maintenance and Establishment Periods. Fertilizer shall be applied at a rate to keep plant materials healthy. All fertilizer shall be done under the direction of a licensed fertilizer operator.
- D. The Landscape Contractor shall control disease and pest infestations in the planting area. Upon approval, the Contractor shall implement the control measures, exercising extreme caution in using hazardous materials and taking all necessary steps to protect others and not be flagged.
- E. Herbicide Weed Control: All landscape areas shall be free of nut grass, topsoil grass, and other noxious weeds until final acceptance of work.

- 1. "Round-up" shall be applied to all planting areas as needed and determined on-site by the Owner for weed control. Apply per manufacturer's specifications.
- 2. "Ronstar" pre-emergent or OWNER - approved equal shall be applied 2 weeks before planting. Apply per manufacturer's specifications.
- 3. Apply "Tussock" in all areas where topsoil grass has emerged. Apply per manufacturer's specifications.
- 4. Apply "Basagran" or "Marap" in all areas where nutgrass has emerged. Apply per manufacturer's specifications.
- K. Mowing of turf will commence ten (10) days after installation. The height of cut will be 3". After the first cut, the Contractor shall adjust the frequency of mowing so that at each operation no more than 1/3 of the grass blades is removed per cutting.
- L. Between the 15th and 20th day of the Establishment Period, the Contractor shall re-sod all subsoil areas that are not sodded in the lawn grade and a shallow saucer shall be formed around each established bed and of bare spots and weeds to the satisfaction of the OWNER or Landscape Architect prior to final acceptance. All planted areas other than lawn shall be weeded at intervals of not more than ten (10) days.
- M. Application of fertilizer shall be done between the twelfth (12) and fifteenth (15) day of the establishment period. Landscape Architect or Owner are to be notified a minimum of forty eight (48) hours in advance.
- N. Inoperable maintenance or poor condition of any planting at the time of the termination of the scheduled Establishment Period may cause postponement of the final acceptance of the work. Any material found to be inoperable or in poor condition during the establishment period shall be replaced immediately. Maintenance shall be continued by the Contractor until the work is acceptable.
- O. Inspection and Final Acceptance:
 - 1. In all cases the Landscape Architect will perform an initial and final inspection at the beginning and end of the Establishment Period, respectively. It is the responsibility of the Contractor to notify the Owner or Landscape Architect of the beginning and end of this period and to submit a written request for an inspection ten (10) days in advance.
 - 2. All planting beds and individual plantings shall be matched with a minimum of 3" of mulch to be addressed prior to final acceptance. Final acceptance will be given once the outstanding items are completed, and the work performed to the satisfaction of the Landscape Architect and OWNER.
 - 3. Any material that is 25% or more dying shall be considered dead and must be replaced at no charge. A tree shall be considered dead when the main leader has died or when 2

Alton Town Center
 Palm Beach Gardens, FL



258 SPACES

22'-24" RCP @ 0.20%

144'-24" RCP @ 0.19%

24'-18" RCP @ 0.42%

LDG. 6
 TPE VI
 2' / 36'-4" HT.

BLDG. 5
 (TYPE VI)
 3-STORY / 36'-4" HT.

16'-0" HPL. EMT.

PROPOSED 11'x24'
 RPL. EMBLEMENT

BLDG. 4
 (TYPE IIB)
 4-STORY / 44' HT.

26' VISIBILITY
 CORNER

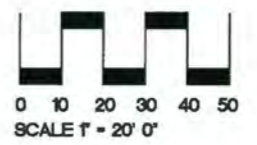
26' VISIBILITY
 CORNER

BLDG. 1
 (TYPE IIA)
 4-STORY / 48' HT.

CAUTION: PLEASE NOTE
 Contractor shall secure all permits required for the work from any state or local departments, utility companies or jurisdiction affected by the work. The Contractor shall have permits "in hand" prior to starting work. The Landscape Architect and/or Owner shall bear no responsibility for work performed without permitted drawings. The Contractor shall be responsible for all changes to Work, at no additional cost to Owner, as a result of unauthorized work prior to receipt of permit.

THIS DRAWING HAS NOT BEEN REVIEWED
 BY A STRUCTURAL ENGINEER
 VERIFY WITH STRUCTURAL ENGINEER
 PRIOR TO CONSTRUCTION

FOR SUBMISSION
 07/15/16



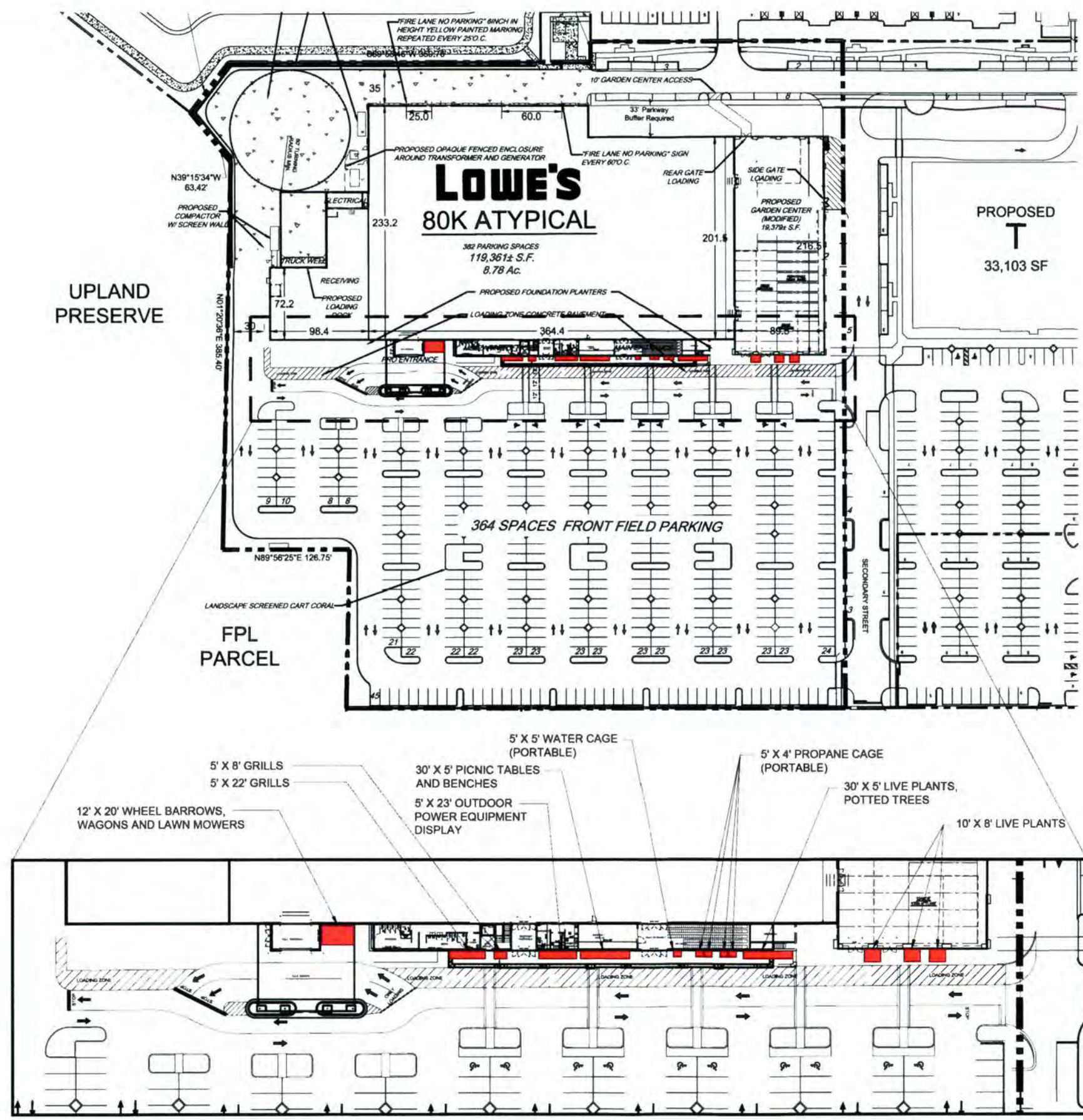
ISSUE HISTORY

COMM. NO.	15092A
PROJ. MGR.	BD
DRAWN BY:	BD
CHECKED BY:	KW

DRAWING TITLE:
**CONCEPT
 PLAZA
 LAYOUT**

Sheet
C-1

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CONDITIONS:
 1. WHERE OUTDOOR MATERIAL IS ALLOWED, NO PRODUCT SHALL BE STACKED GREATER THAN 8 FT. IN HEIGHT.

SUBJECT TO REVISIONS
 PER CITY OF PALM BEACH
 GARDENS REQUIREMENTS

PROJECT TEAM
 Gary Wyatt
 Sr. VP Real Estate, Engr & Const.
 Michael W. Reynolds
 Design Engineering Director
 Ken Bryan
 Real Estate Director



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 WILKESBORO, NC 28697

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Preliminary
 Site Plan
LOWE'S OF:
 Palm Beach Gardens
 Alton Town Center
 PROJECT NO. 12954 DRAWN BY: J.L.S. CHECKED BY: T.H.T.

DRAWING NUMBER

ODS

NEW CONSTRUCTION FOR:
ALTON TOWN CENTER
 Palm Beach Gardens, Florida

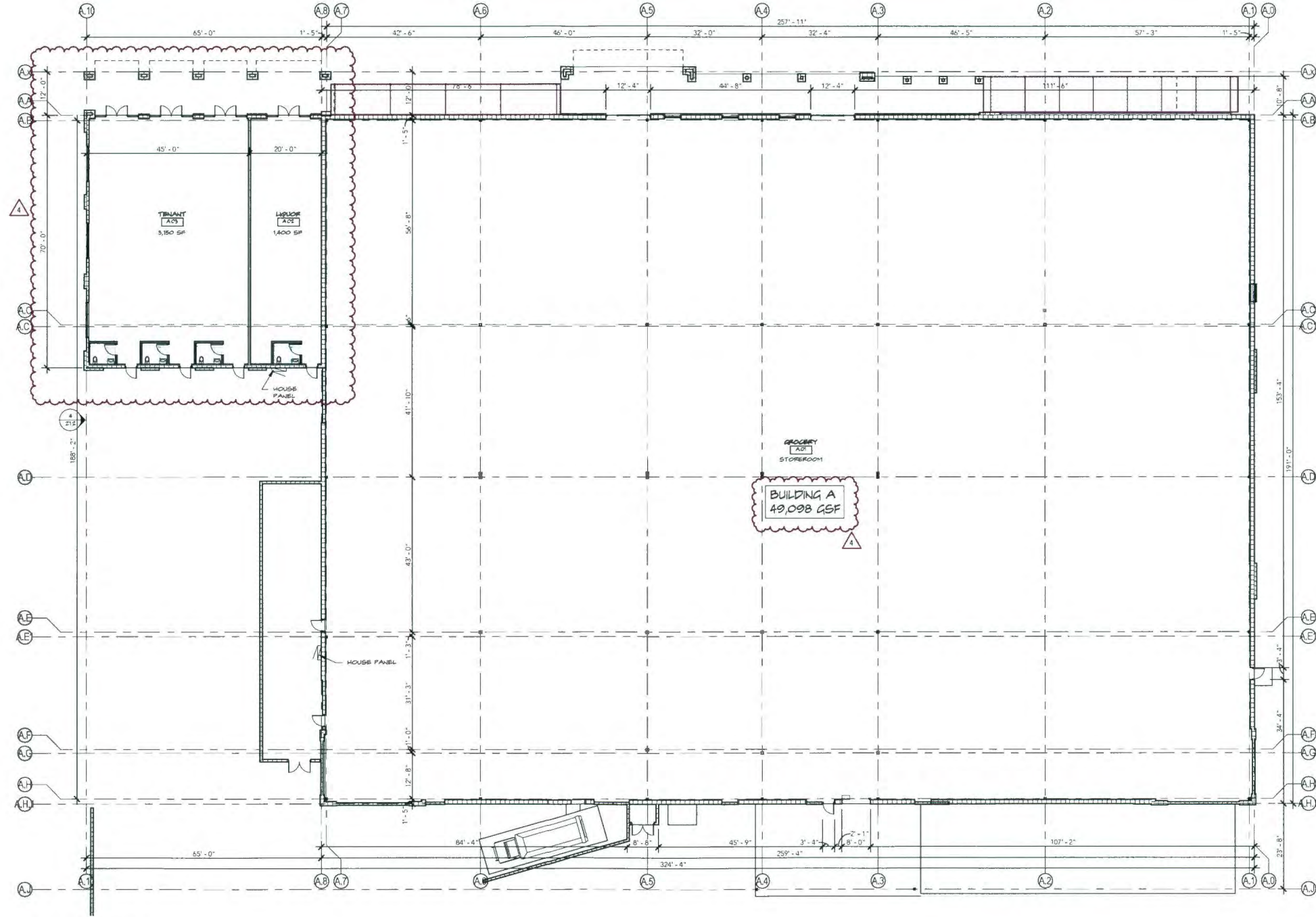
SHEET INDEX

Sheet Number	Sheet Name	REVISED SUBMITTAL	REVISED SUBMITTAL - 04 15 16	REVISED SUBMITTAL - 06 29 16	REVISED SUBMITTAL - DELTA 4 07 20 16	REVISED SUBMITTAL - DELTA 5 09 06 16
	ZONING RESUBMITTAL 09 06 16					
ARCHITECTURAL	GLIDDEN SPINA & PARTNERS					
CVR	COVER SHEET	01 06 16	04 15 16	06 29 16	07 20 16	
Z1-0	BUILDING A-(B)-C - FLOOR PLAN	01 06 16	04 15 16	06 29 16	07 20 16	
Z1.1	BUILDING A-(B)-C - ROOF PLAN	01 06 16	04 15 16	06 29 16	07 20 16	
Z1.2	BUILDING A-(B)-C - ELEVATIONS	01 06 16	04 15 16	06 29 16	07 20 16	
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Z12.1	BUILDING N - ELEVATIONS	01 06 16	04 15 16	06 29 16	07 20 16	09 06 16
Z13.0	BUILDING O/P/Q - FLOOR PLAN	01 06 16	04 15 16	06 29 16	07 20 16	09 06 16
Z13.1	BUILDING O/P/Q - ROOF PLAN	01 06 16	04 15 16	06 29 16	07 20 16	09 06 16
Z13.2	BUILDING O/P/Q - ELEVATIONS	01 06 16	04 15 16	06 29 16	07 20 16	09 06 16
Z14.0	BUILDING R - PLANS	01 06 16	04 15 16	06 29 16	07 20 16	
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Z16.1	TRELLIS - PLANS			06 29 16	07 20 16	
Z16.2	TRELLIS X - ELEVATIONS			06 29 16	07 20 16	



NOTE - RESTROOMS SHOW ONLY IN SMALLER SPEC TENANT SPACES. ALL BUILDINGS WITHOUT RESTROOMS SHOWN WILL HAVE RESTROOMS LOCATED BY TENANT LAYOUT





1 FIRST FLOOR PLAN
 Scale: 1/16" = 1'-0"

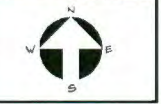


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ALTON TOWN CENTER
 BUILDING A/(B)/C
 PALM BEACH GARDENS, FLORIDA

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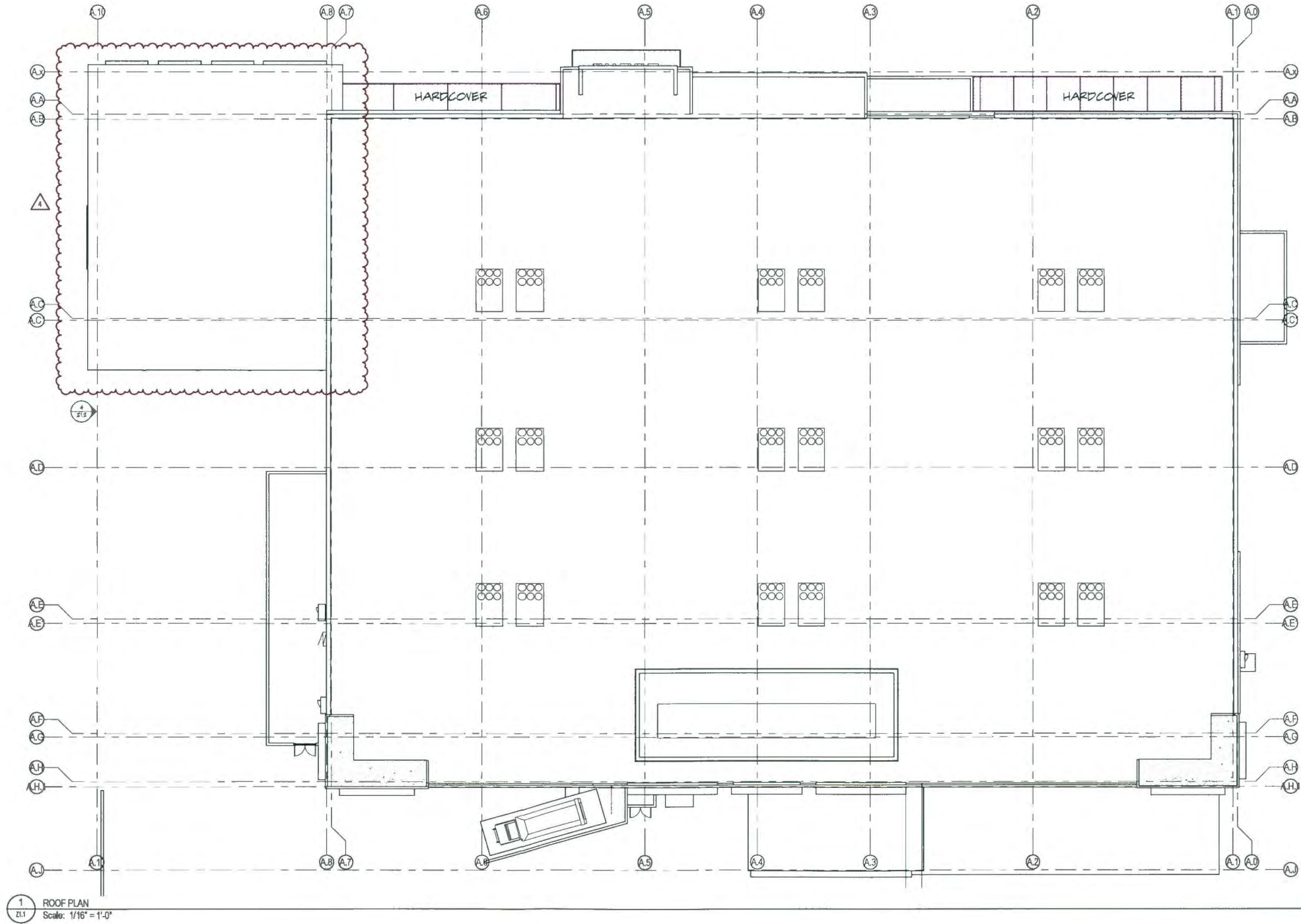
Revisions:	
1 REVISION TO SUBMITTAL	01.08.16
2 REVISION TO SUBMITTAL	04.15.16
3 REVISION TO SUBMITTAL	06.29.16
4 REVISION TO SUBMITTAL	07.20.16

Project no: 13273
 Date: 07/10/2015
 Drawn by: AC
 Project Architect: AC
 Partner: KAS



Z1.0
 ZONING SUBMITTAL

BUILDING A/(B)/C - FLOOR PLAN



1 ROOF PLAN
Z1.1
Scale: 1/16" = 1'-0"



NEW CONSTRUCTION FOR:
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Partner: KAS



Z1.1
ZONING SUBMITTAL

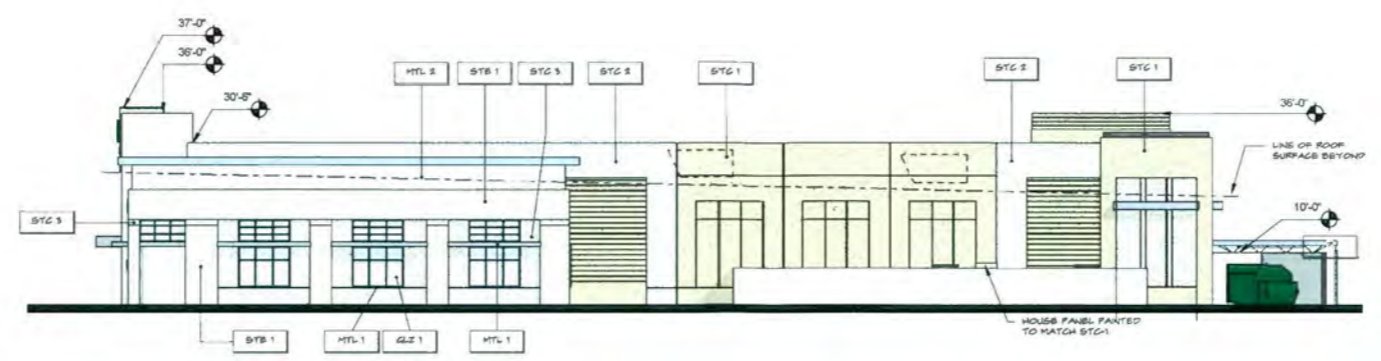
BUILDING A/(B)/C - ROOF PLAN



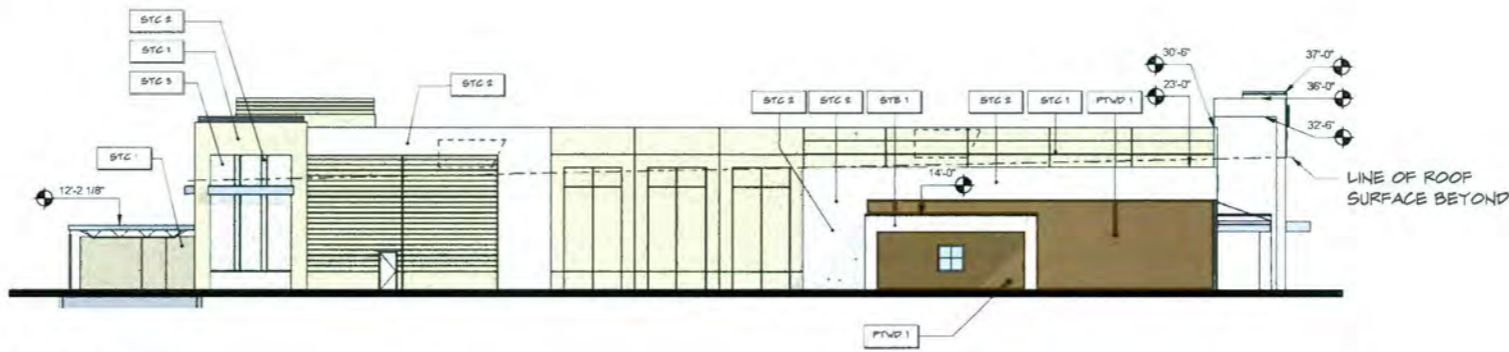
FACADE MATERIAL & COLOR LEGEND

- STC 1 SMOOTH STUCCO FINISH (CLASS A) - OG-11 CLAY BEIGE
- STC 2 SMOOTH STUCCO FINISH (CLASS A) - OG-08 SAND WHTS
- STC 3 SMOOTH STUCCO FINISH (CLASS A) - OG-19 SEASPEARL
- STC 4 SMOOTH STUCCO FINISH (CLASS A) - OG-16 PALE CELERY
- STB 1 30" X 20" STONE VENEER
- PTVD 1 WIDE FORMAT PORCELAIN TILES WITH WOOD GRAN PATTERN (DARK BROWN TEAK)
- MTL 1 ALUMINUM COLOR: SATIN STEEL
- MTL 2 ALUMINUM COLOR: SILVER
- MTLB 1 EXTERIOR METAL PANEL SYSTEM - SATIN STEEL
- MTLB 2 ALUMINUM CORTEN STEEL FINISH
- GLZ 1 CLEAR GLAZING
- GLZ 2 OPAQUE SPANDREL GLAZING

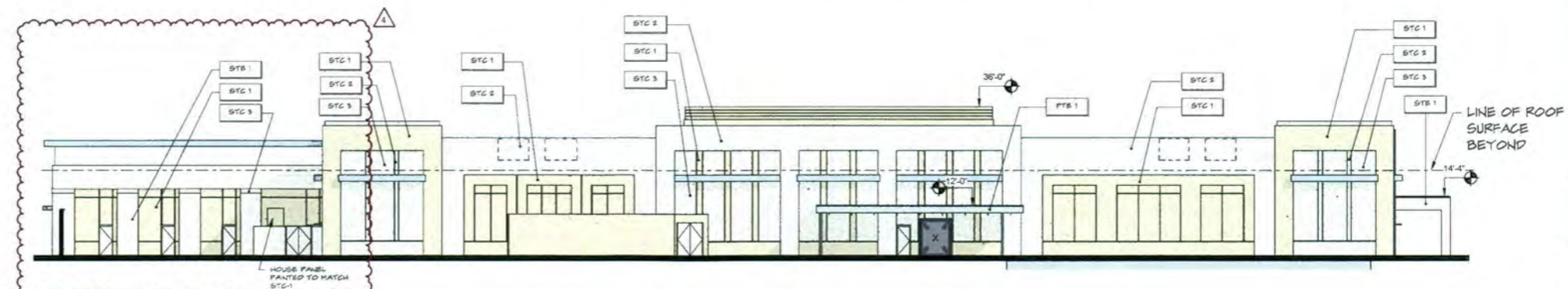
NOTE: NOT ALL MATERIALS ARE USED ON ALL BUILDINGS



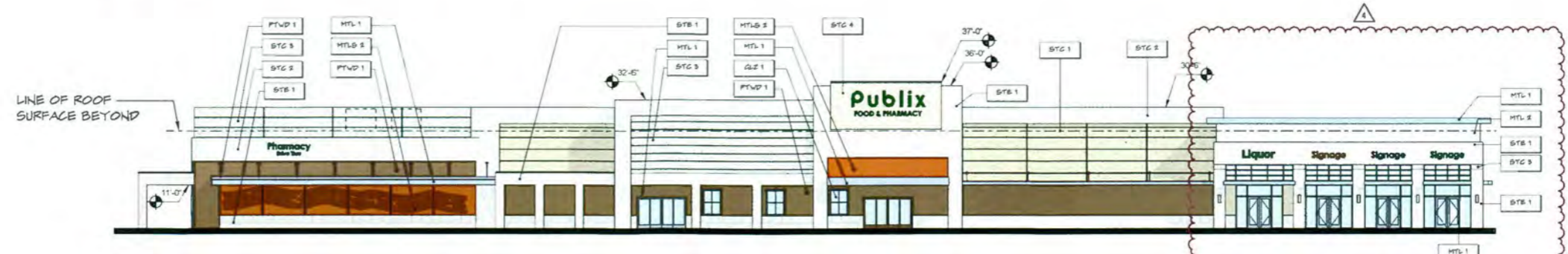
4 WEST ELEVATION
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2 EAST ELEVATION
Scale: 1/16" = 1'-0"



3 SOUTH ELEVATION
Scale: 1/16" = 1'-0"



1 NORTH ELEVATION
Scale: 1/16" = 1'-0"

NEW CONSTRUCTION FOR:
ALTON TOWN CENTER
BUILDING A/(B)/C
PALM BEACH GARDENS, FLORIDA

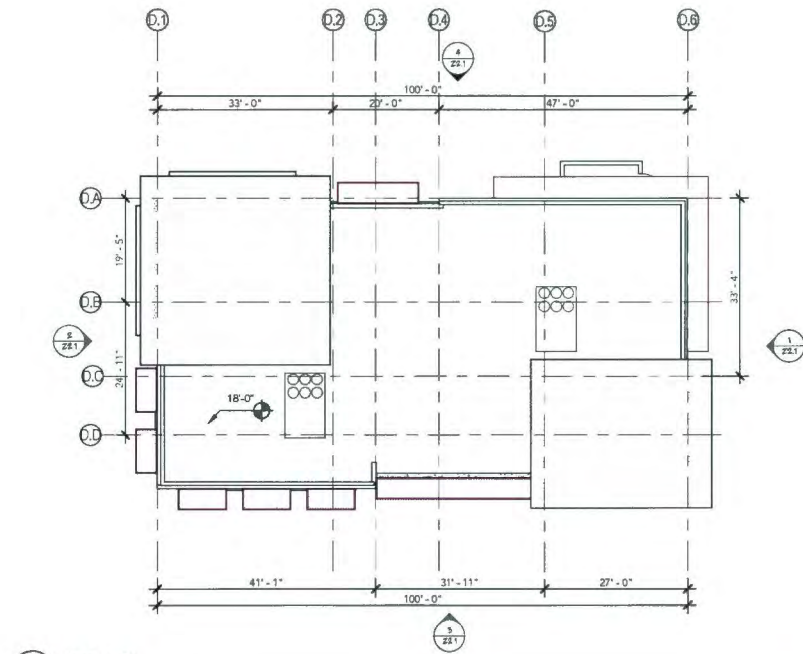
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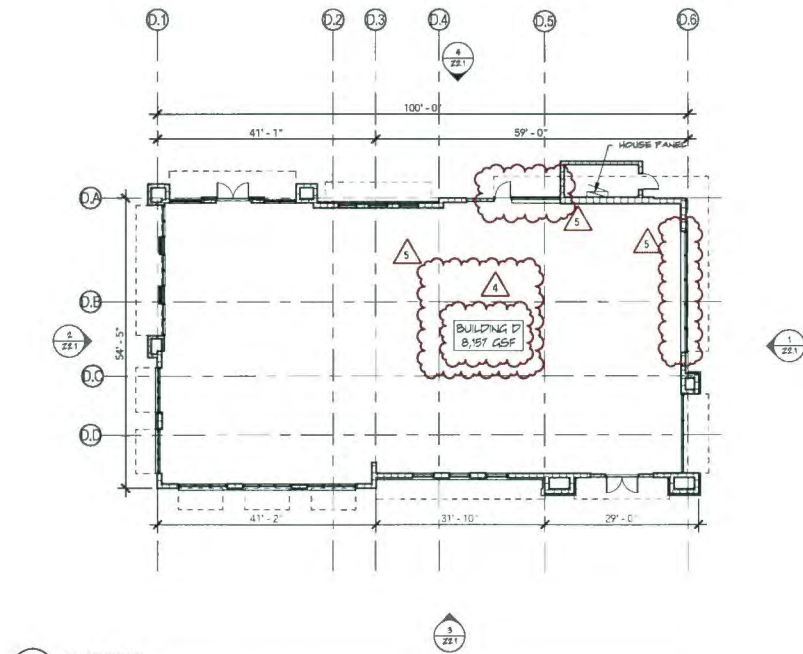
Project no: 13273
Date: 07/10/2015
Drawn by: AC
Project Architect: AC
Partner: KAS



Z1.2
ZONING SUBMITTAL



1 ROOF PLAN
Scale: 1/16" = 1'-0"



6 FLOOR PLAN
Scale: 1/16" = 1'-0"

207 SIXTH STREET
West Palm Beach, Florida 33401
561.866.6844 • Fax 561.866.8594
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FL Lic # AA2602289



Architecture • Interior Design
John Glidden • Architects • Keith M. Spina • Architects

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BUILDING D
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5 REVISION TO SUBMITTAL	09.08.16

Project no: 13273
Date: 07/10/2015
Drawn by: MA
Project Architect: AC
Partner: KAS

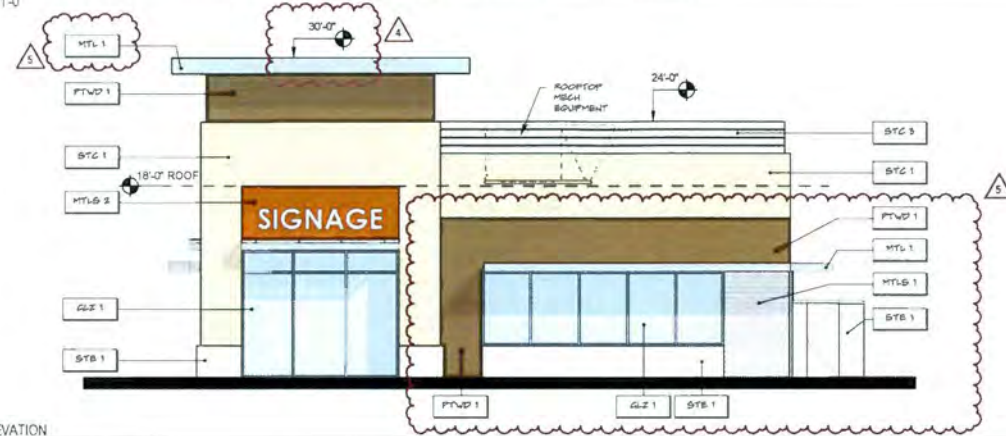


Z2.0
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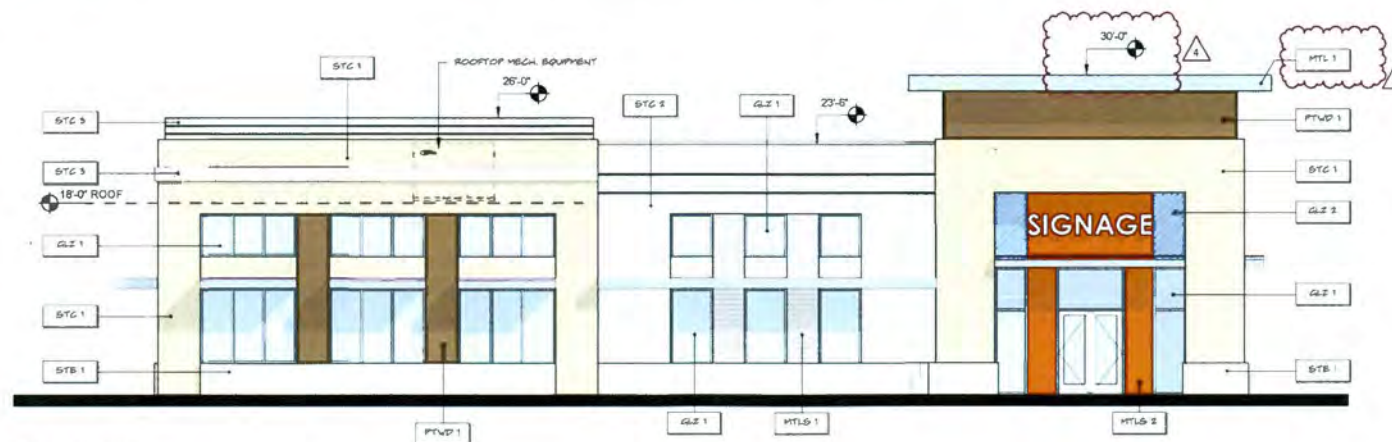
BUILDING D - PLANS



2 D - WEST ELEVATION
Scale: 1/8" = 1'-0"



1 D - EAST ELEVATION
Scale: 1/8" = 1'-0"



3 D - SOUTH ELEVATION
Scale: 1/8" = 1'-0"



4 D - NORTH ELEVATION
Scale: 1/8" = 1'-0"

FACADE MATERIAL & COLOR LEGEND

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- STC 2 SMOOTH STUCCO FINISH (CLASS A) - OG-88 SNOW WHITE
- STC 3 SMOOTH STUCCO FINISH (CLASS A) - OG-10 BEAUFORT
- STC 4 SMOOTH STUCCO FINISH (CLASS A) - OG-10 PALM CECILY
- STB 1 30" X 30" STONE VENEER
- PTVD 1 VIBE FORMAT PORCELAIN TILE WITH WOOD GRAIN PATTERN (DARK BROWN "BAK")
- MTL 1 ALUMINUM COLOR SATIN STEEL
- MTL 2 ALUMINUM COLOR SILVER
- MTLB 1 EXTERIOR METAL PANEL SYSTEM - SATIN STEEL
- MTLB 2 ALUMINUM CORTEN STEEL FINISH
- GLZ 1 CLEAR GLAZING
- GLZ 2 OPAQUE SPANDREL GLAZING

NOTE:
NOT ALL MATERIALS ARE USED ON ALL BUILDINGS



NEW CONSTRUCTION FOR:
ALTON TOWN CENTER
BUILDING D
PALM BEACH GARDENS, FLORIDA

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Revisions:	
1 REVISION TO SUBMITTAL	01/08/15
2 REVISION TO SUBMITTAL	04/15/15
3 REVISION TO SUBMITTAL	06/29/15
4 REVISION TO SUBMITTAL	07/20/15
5 REVISION TO SUBMITTAL	09/08/15

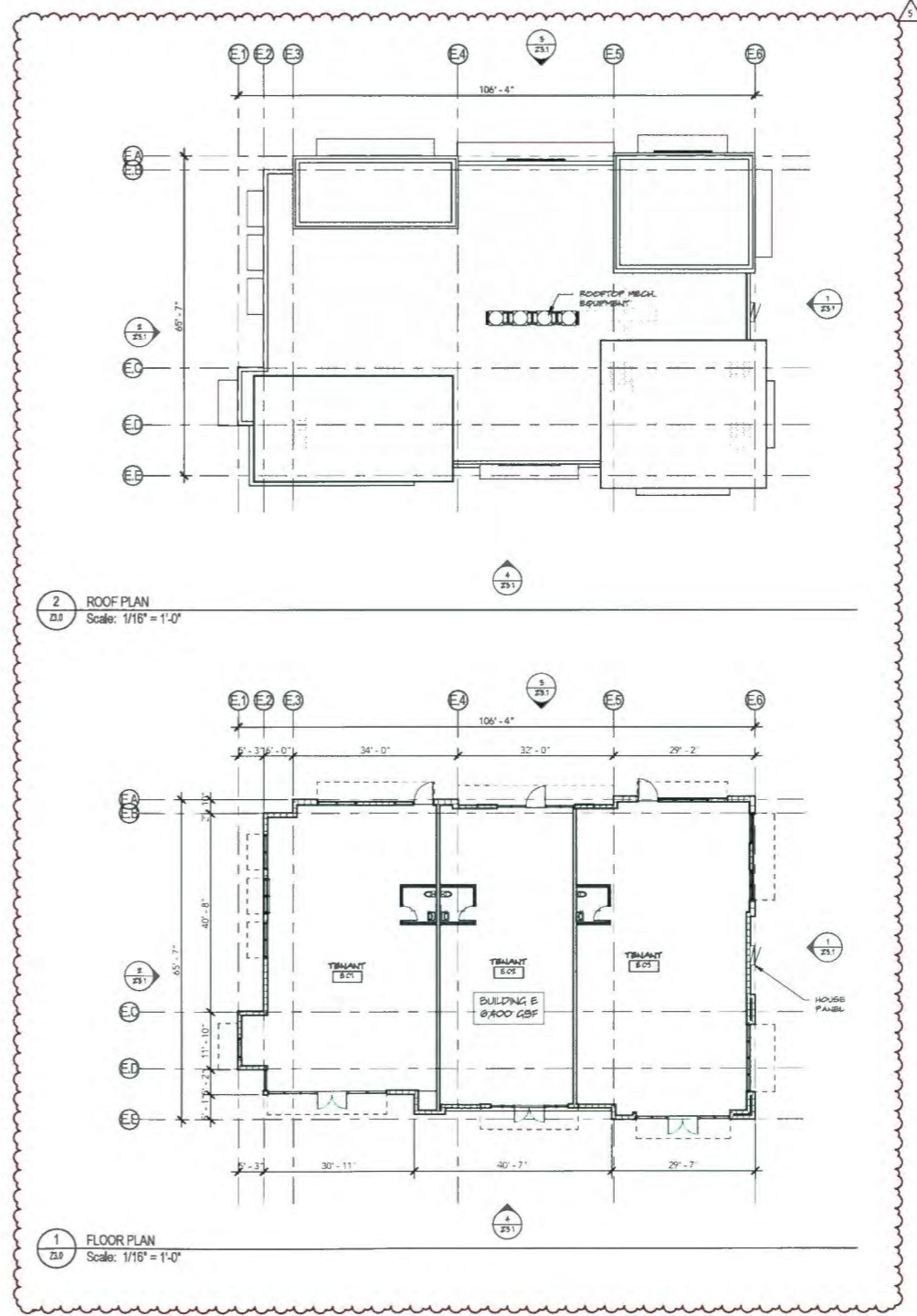
Project no: 13273
Date: 07/10/2015
Drawn by: MA
Project Architect: AC
Partner: KAS



Z2.1

ZONING SUBMITTAL

BUILDING D - ELEVATIONS



2 ROOF PLAN
D.O Scale: 1/16" = 1'-0"

1 FLOOR PLAN
D.O Scale: 1/16" = 1'-0"



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561.884.8844 • Fax: 561.884.3394
FL Lic # 04200209

Architecture/Interior Design
John Glidden # 00033 • Keith M. Spina # 0012419

PROPOSED NEW CONSTRUCTION:
ALTON TOWN CENTER
BUILDING E
PALM BEACH GARDENS, FLORIDA

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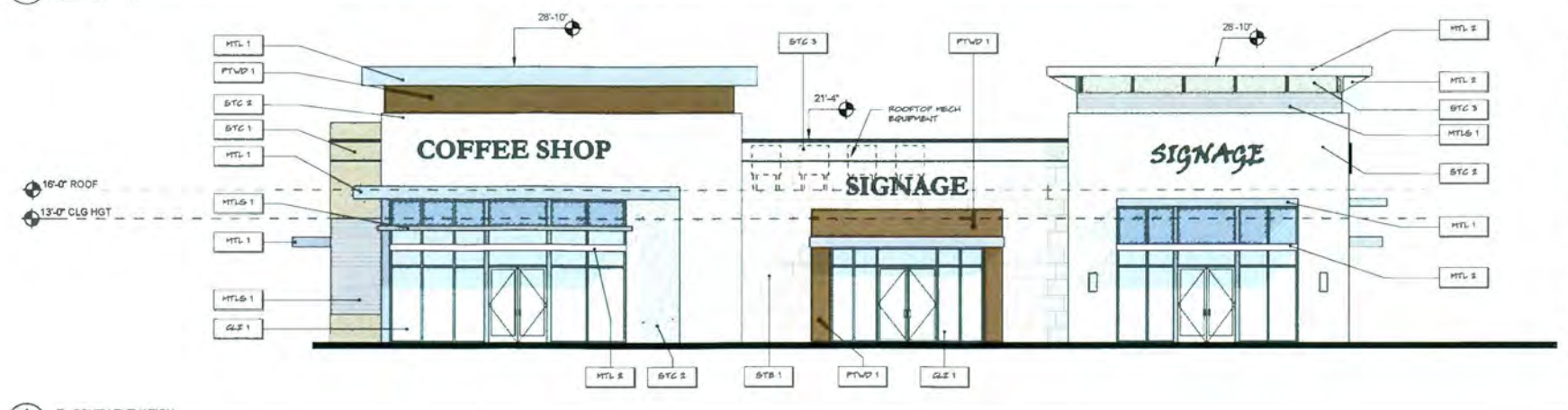
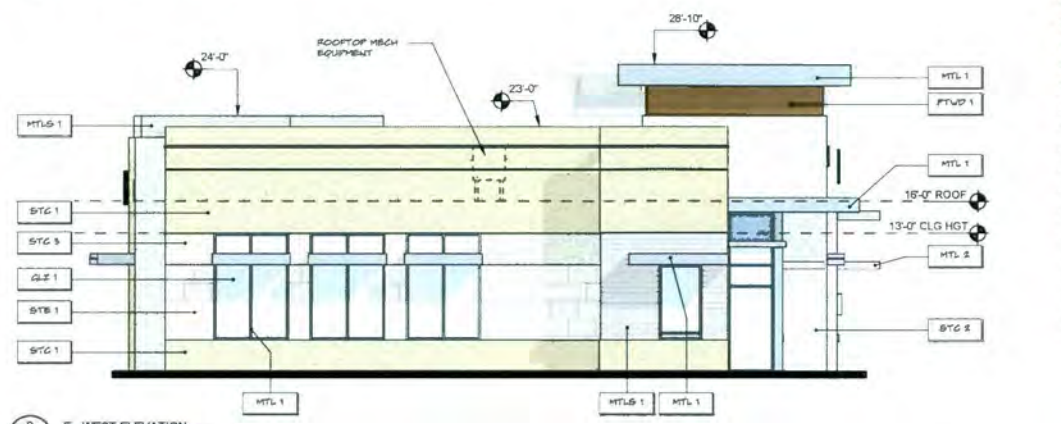
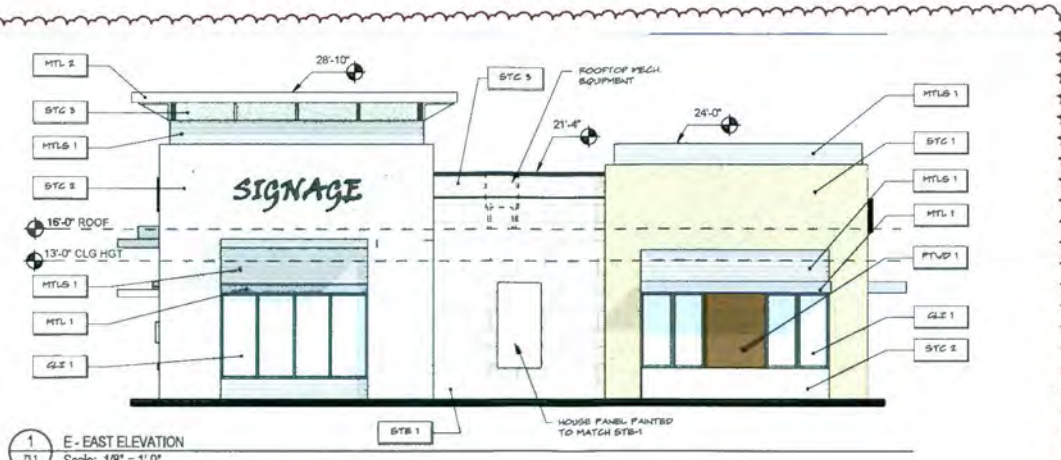
Revisions:	
1 REVISION TO SUBMITTAL	01.06.16
2 REVISION TO SUBMITTAL	04.15.16
3 REVISION TO SUBMITTAL	06.29.16
4 REVISION TO SUBMITTAL	07.20.16
5 REVISION TO SUBMITTAL	09.08.16

Project no: 13273
Date: 07/10/2015
Drawn by: MA
Project Architect: AC
Partner: KS



Z3.0
ZONING SUBMITTAL

BUILDING E - PLANS



FACADE MATERIAL & COLOR LEGEND

- STC 1 SMOOTH STUCCO FINISH (CLASS A) - OC-1 CLAY BEIGE
 - STC 2 SMOOTH STUCCO FINISH (CLASS A) - OC-86 SNOW WHITE
 - STC 3 SMOOTH STUCCO FINISH (CLASS A) - OC-18 SEA PEARL
 - STC 4 SMOOTH STUCCO FINISH (CLASS A) - OC-18 PALE GALLERY
 - STB 1 30" X 60" STONE VENEER
 - PTVD 1 VIEB FORMAT PORCELAIN TILE WITH WOOD GRAIN PATTERN (DARK BROWN TEAK)
 - MTL 1 ALUMINUM COLOR SATIN STEEL
 - MTL 2 ALUMINUM COLOR SILVER
 - MTLG 1 EXTERIOR METAL PANEL SYSTEM - SATIN STEEL
 - MTL 2 ALUMINUM CORTEN STEEL FINISH
 - GLZ 1 CLEAR GLAZING
 - GLZ 2 OPAQUE SPANDREL GLAZING
- NOTE: NOT ALL MATERIALS ARE USED ON ALL BUILDINGS

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Architectural Interior Design
John Glidden + Architects • 561.866.8844

PROPOSED NEW CONSTRUCTION:
ALTON TOWN CENTER
BUILDING E
PALM BEACH GARDENS, FLORIDA

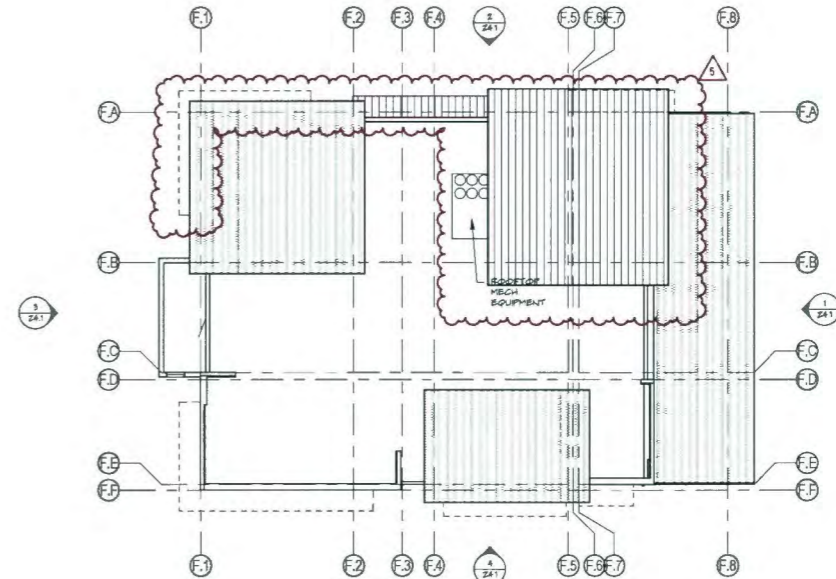
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4 REVISION TO SUBMITTAL	07.20.16
5 REVISION TO SUBMITTAL	09.06.16

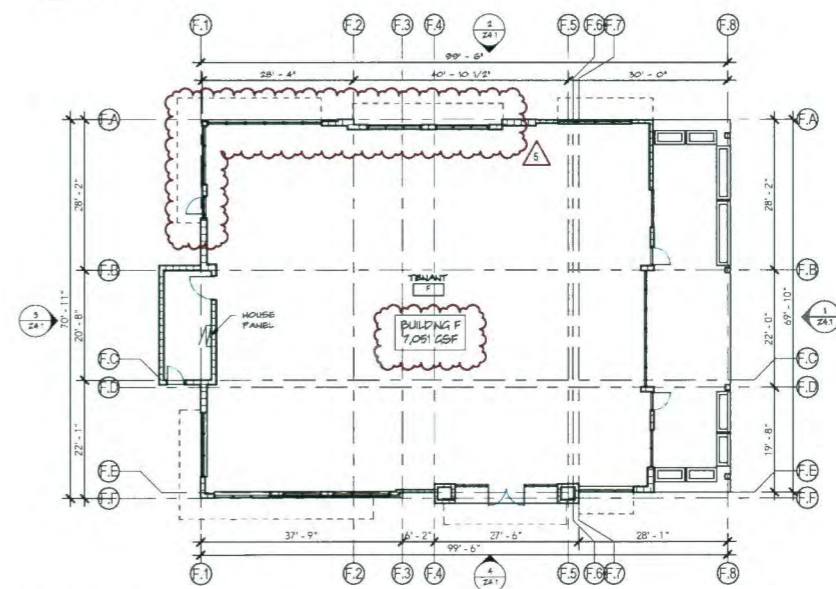
Project no: 13273
Date: 07/10/2015
Drawn by: ADC
Project Architect: ADC
Partner: KS

BUILDING E - ELEVATIONS

23.1
ZONING SUBMITTAL



2 ROOF PLAN
Scale: 1/16" = 1'-0"



1 FLOOR PLAN
Scale: 1/16" = 1'-0"

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Architecture • Interior Design
John Glidden • ARNS53 • Keith M. Spina • AR133117

NEW CONSTRUCTION FOR:
ALTON TOWN CENTER
BUILDING F
PALM BEACH GARDENS, FLORIDA

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4	REVISION TO SUBMITTAL	07.20.16
5	REVISION TO SUBMITTAL	09.08.16

Project no: 13273
Date: 07/10/2015
Drawn by: MA
Project Architect: AC
Partner: KAS



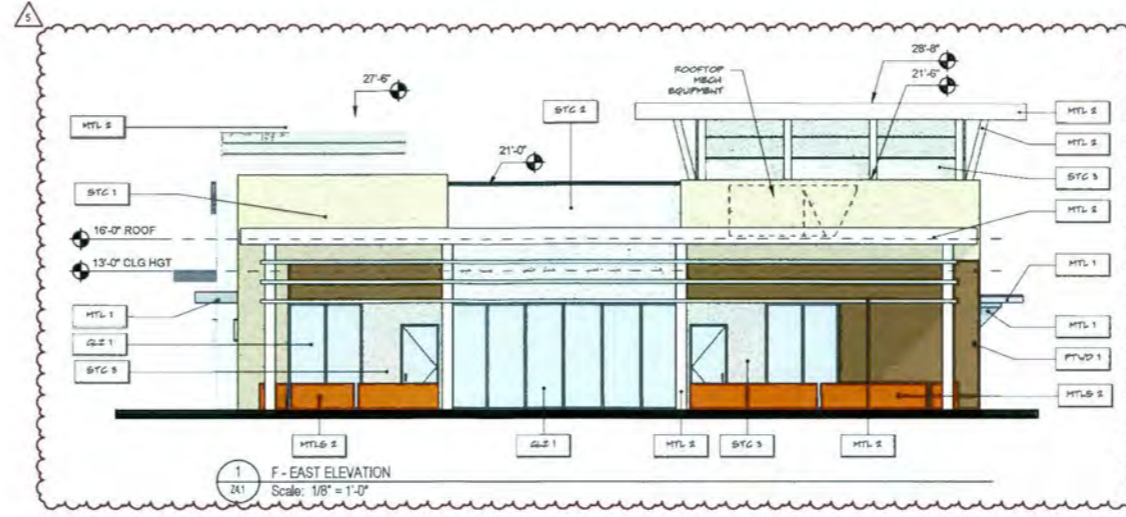
24.0
ZONING SUBMITTAL

BUILDING F - PLANS

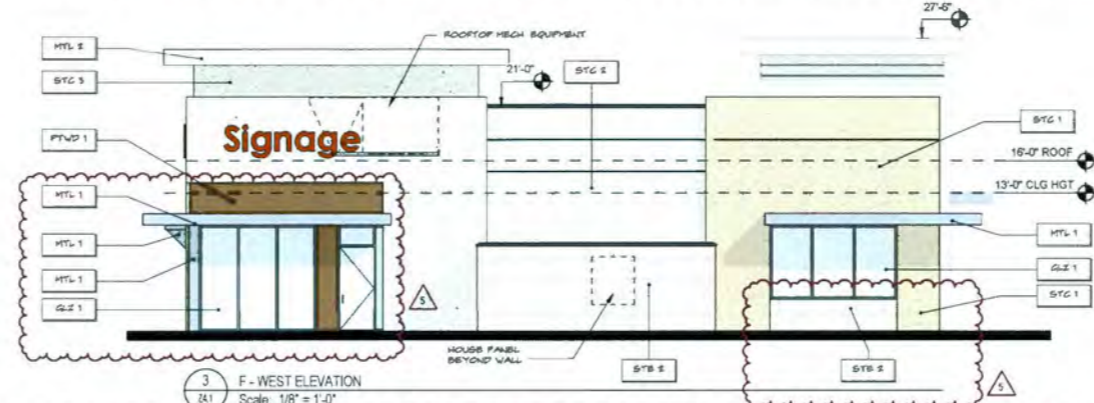
FACADE MATERIAL & COLOR LEGEND

- STC 1 SMOOTH STUCCO FINISH (CLASS A) - DC-11 CLAY BRICK
- STC 2 SMOOTH STUCCO FINISH (CLASS A) - DC-88 SNOW WHITE
- STC 3 SMOOTH STUCCO FINISH (CLASS A) - DC-10 BEARBARK
- STC 4 SMOOTH STUCCO FINISH (CLASS A) - DC-18 PALE GELERTY
- STB 2 30" X 30" STONE VENEER
- PTVD 1 WIDE FORMAT PORCELAIN TILE WITH WOOD GRAN PATTERN (PARK BROWN TRAK)
- MTL 1 ALUMINUM COLOR BATH STEEL
- MTL 2 ALUMINUM COLOR SILVER
- MTL 3 EXTERIOR METAL PANEL SYSTEM - BATH STEEL
- MTL 4 ALUMINUM CORTEN STEEL FINISH
- GLZ 1 CLEAR GLAZING
- GLZ 2 OPAQUE SPANDREL GLAZING

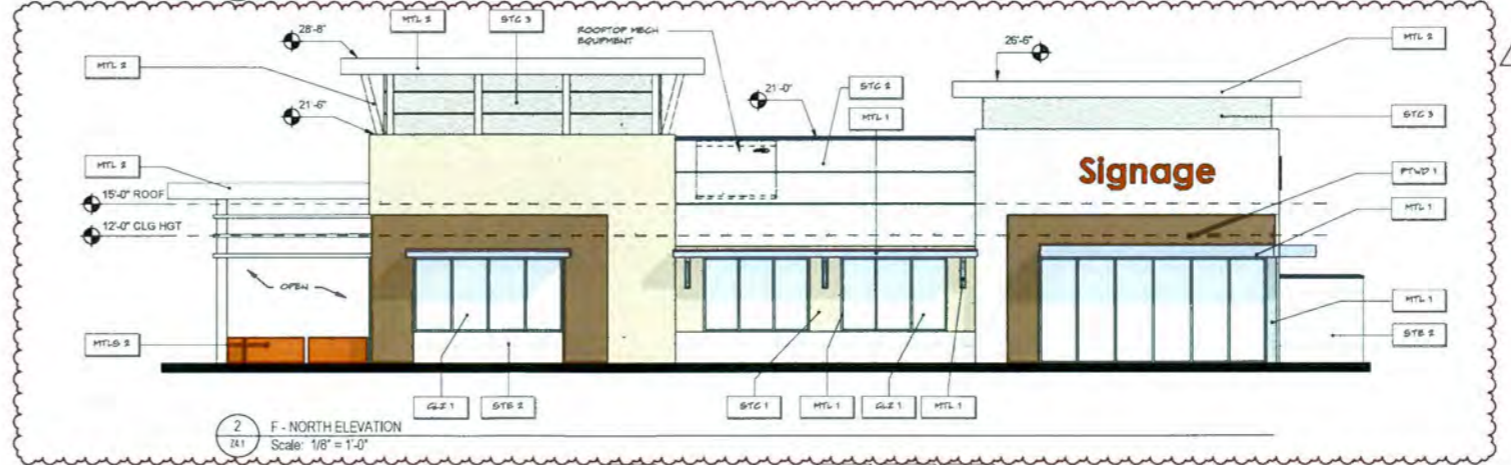
NOTE: NOT ALL MATERIALS ARE USED ON ALL BUILDINGS



1 F - EAST ELEVATION
Scale: 1/8" = 1'-0"



3 F - WEST ELEVATION
Scale: 1/8" = 1'-0"

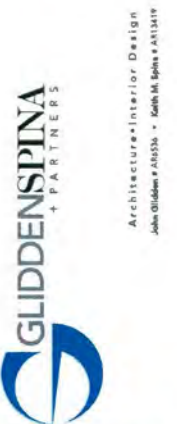


2 F - NORTH ELEVATION
Scale: 1/8" = 1'-0"



4 F - SOUTH ELEVATION
Scale: 1/8" = 1'-0"

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NEW CONSTRUCTION FOR:
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BUILDING F
PALM BEACH GARDENS, FLORIDA

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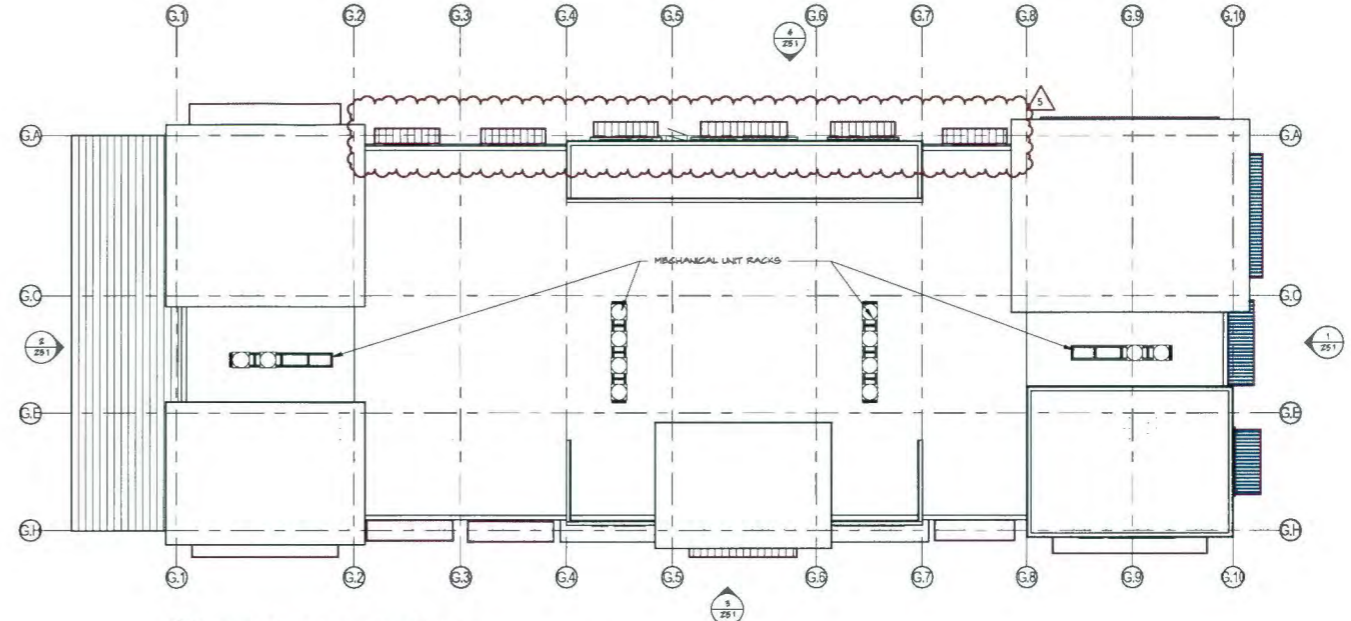
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4 REVISION TO SUBMITTAL	07.20.16
5 REVISION TO SUBMITTAL	09.06.16

Project no: 13273
Date: 07/10/2015
Drawn by: MA
Project Architect: AC
Partner: KAS

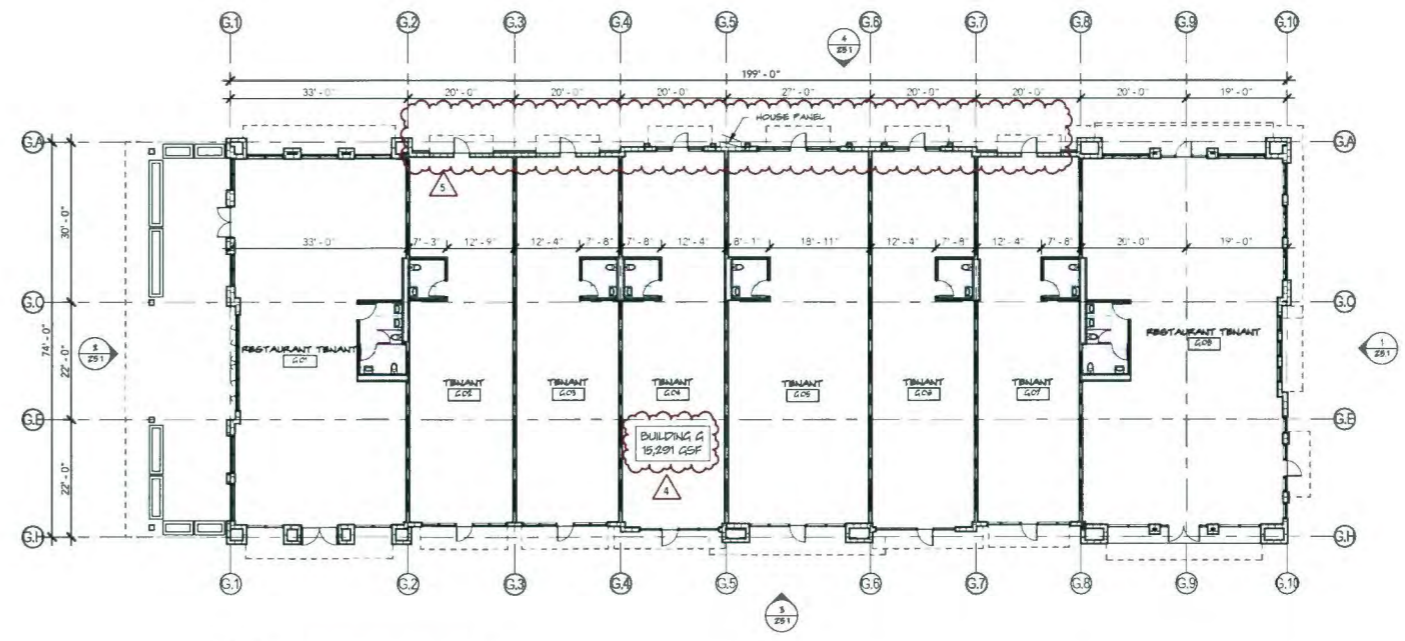


24.1
ZONING SUBMITTAL

BUILDING F - ELEVATIONS



2 ROOF PLAN (BUILDING H MIRROR IMAGE)
Scale: 1/16" = 1'-0"



1 FLOOR PLAN (BUILDING H MIRROR IMAGE)
Scale: 1/16" = 1'-0"

NEW CONSTRUCTION FOR:
ALTON TOWN CENTER
BUILDING G (ARCHITECTURAL MIRROR IMAGE)
PALM BEACH GARDENS, FLORIDA

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4 REVISION TO SUBMITTAL	07.20.16
5 REVISION TO SUBMITTAL	09.06.16

Project no: 13273
Date: 07/10/2015
Drawn by: AC
Project Architect: AC
Partner: KS

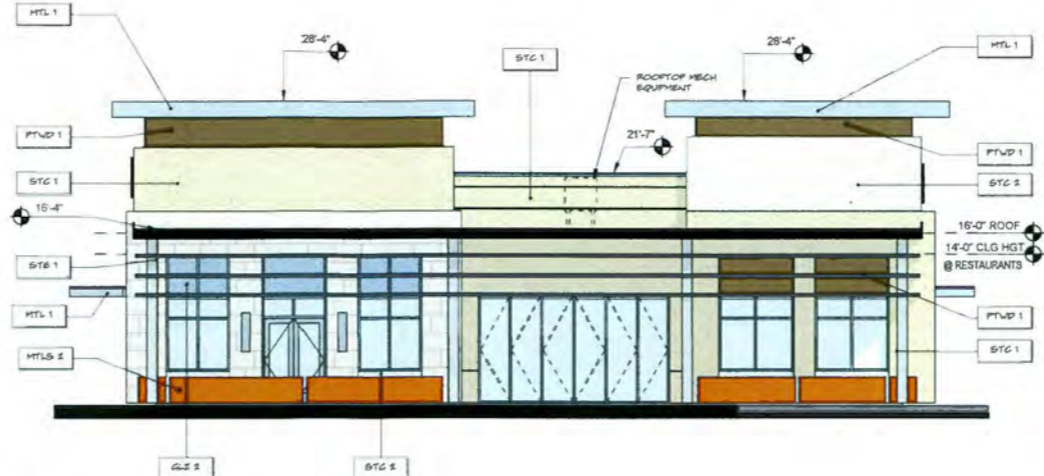


25.0
ZONING SUBMITTAL

BUILDING G - PLAN



1 G - EAST ELEVATION
Scale: 1/8" = 1'-0"



2 G - WEST ELEVATION
Scale: 1/8" = 1'-0"

FACADE MATERIAL & COLOR LEGEND

- STC 1 SMOOTH STUCCO FINISH (CLASS 4) - OG-11 CLAY BEIGE
- STC 2 SMOOTH STUCCO FINISH (CLASS 4) - OG-88 SNOW WHITE
- STC 3 SMOOTH STUCCO FINISH (CLASS 4) - OG-19 SEA PEARL
- STC 4 SMOOTH STUCCO FINISH (CLASS 4) - OG-16 PALE CELERY
- STB 1 30" X 60" STONE VENEER
- PTVD 1 WIDE FORMAT PORCELAIN TILE WITH WOOD GRAIN PATTERN (DARK BROWN TRAK)
- MTL 1 ALUMINUM, COLOR: SATIN STEEL
- MTL 2 ALUMINUM, COLOR: SILVER
- MTLS 1 EXTERIOR METAL PANEL SYSTEM - SATIN STEEL
- MTLS 2 ALUMINUM, CORTEN STEEL FINISH
- GLZ 1 CLEAR GLAZING
- GLZ 2 OPAQUE SPANDREL GLAZING

NOTE: NOT ALL MATERIALS ARE USED ON ALL BUILDINGS



3 G - SOUTH ELEVATION
Scale: 1/8" = 1'-0"



4 G - NORTH ELEVATION
Scale: 1/8" = 1'-0"

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NEW CONSTRUCTION FOR:
ALTON TOWN CENTER
BUILDING G
PALM BEACH GARDENS, FLORIDA

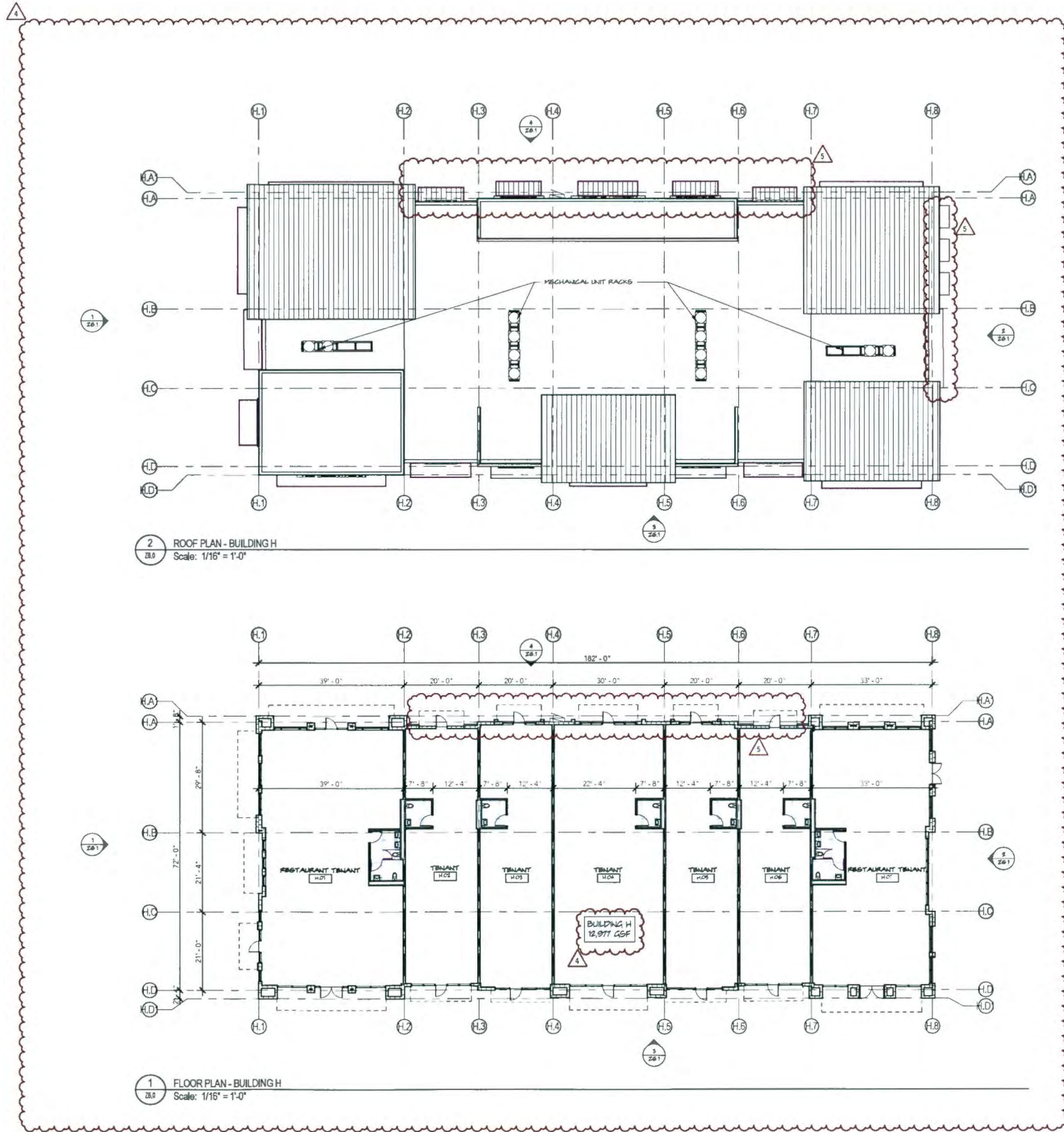
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4 REVISION TO SUBMITTAL	07/20/16
5 REVISION TO SUBMITTAL	09/06/16

Project no: 13273
Date: 07/10/2015
Drawn by: ADC
Project Architect: KM
Partner: KS

25.1
ZONING SUBMITTAL



2 ROOF PLAN - BUILDING H
Scale: 1/16" = 1'-0"

1 FLOOR PLAN - BUILDING H
Scale: 1/16" = 1'-0"

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NEW CONSTRUCTION FOR:
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BUILDING H
PALM BEACH GARDENS, FLORIDA

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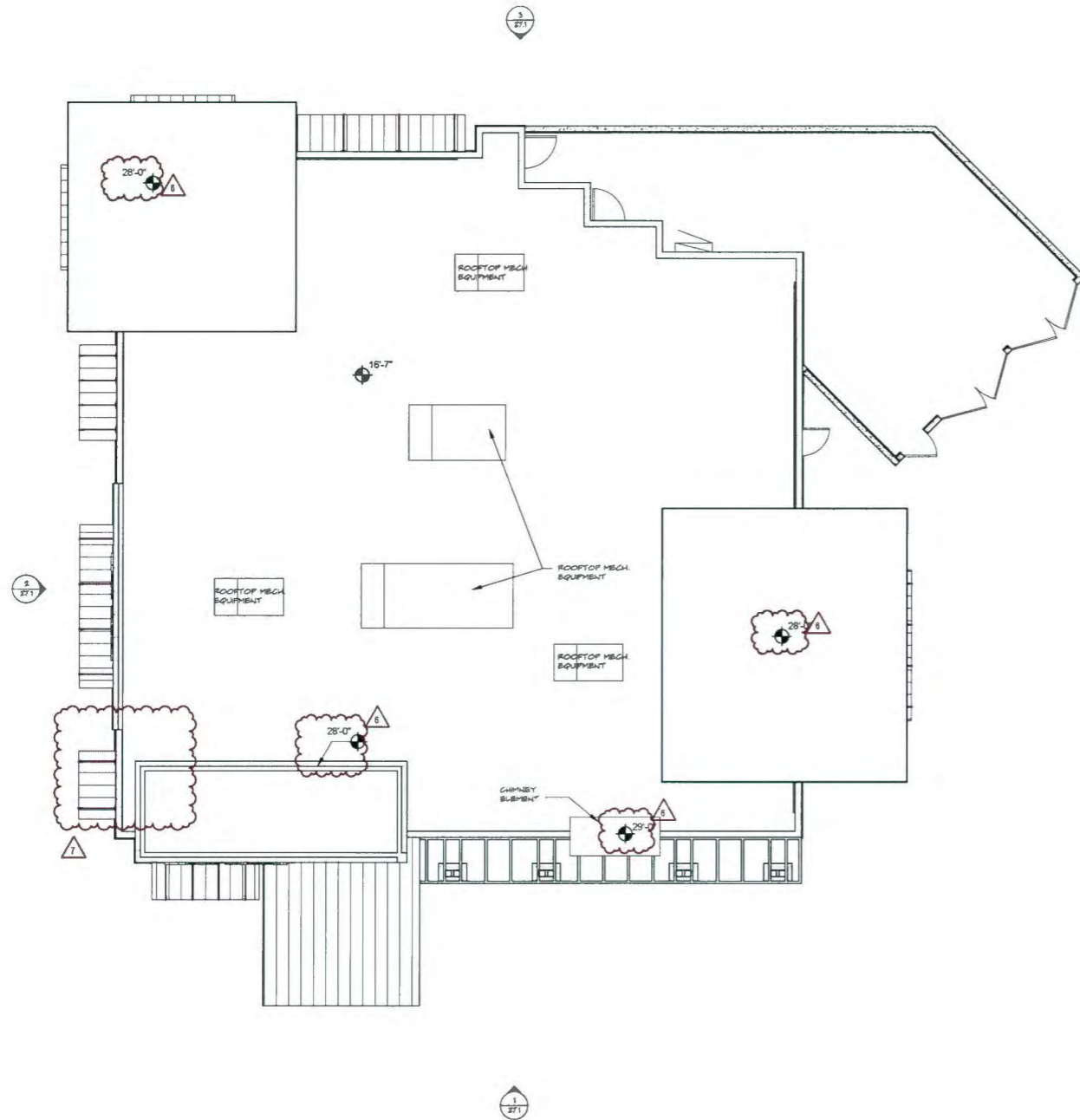
Revisions:	
4 REVISION TO SUBMITTAL	07.20.16
5 REVISION TO SUBMITTAL	09.08.16

Project no: 13273
Date: 07/10/2015
Drawn by: KM
Project Architect: KM
Partner: KS

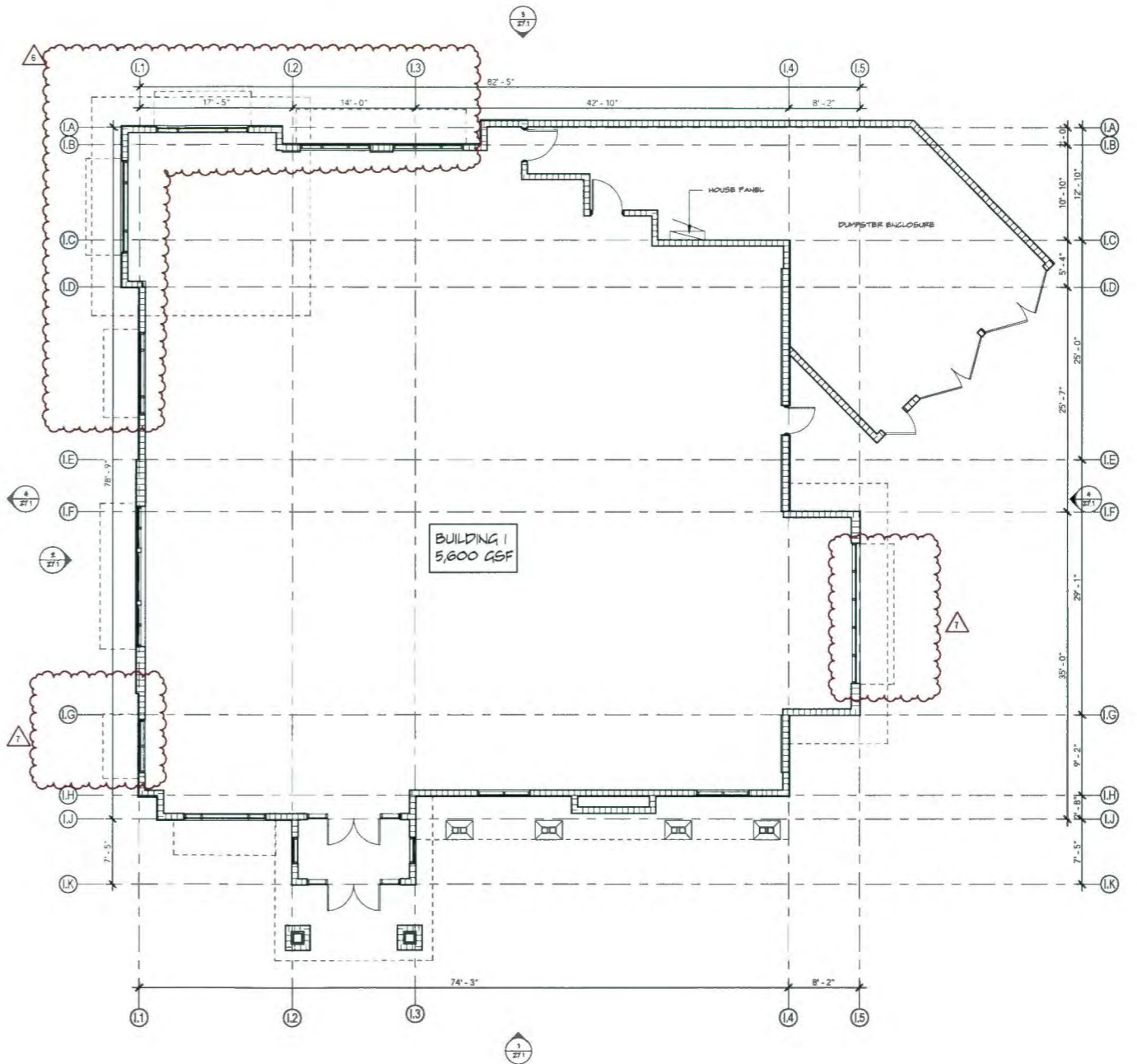


Z6.0
ZONING SUBMITTAL

BUILDING H - PLAN



2
17.1 ROOF PLAN
Scale: 1/8" = 1'-0"



1
17.2 FLOOR PLAN
Scale: 1/8" = 1'-0"



**NEW CONSTRUCTION FOR:
ALTON TOWN CENTER
BUILDING 1**

PALM BEACH GARDENS, FLORIDA

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4	REVISION TO SUBMITTAL	07/20/16
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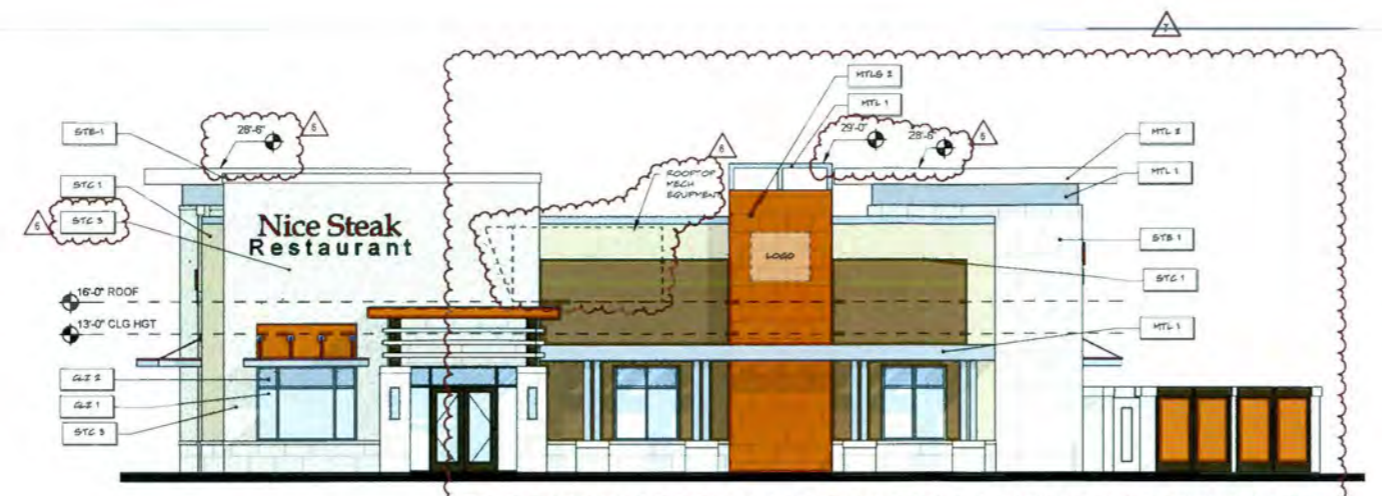
Project no: 13273
Date: 07/10/2015
Drawn by: AC
Project Architect: KM
Partner: KS



27.0

ZONING SUBMITTAL

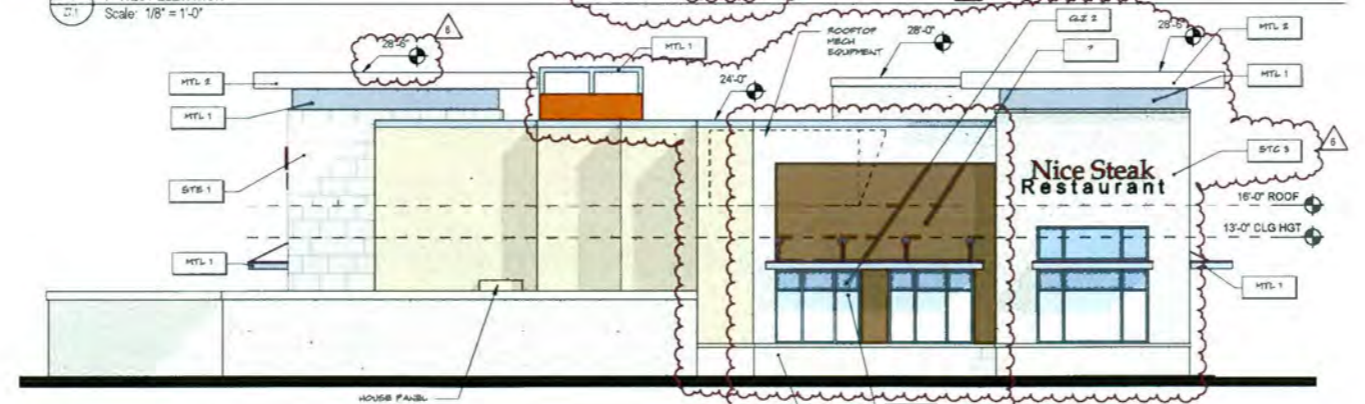
BUILDING 1 - PLANS



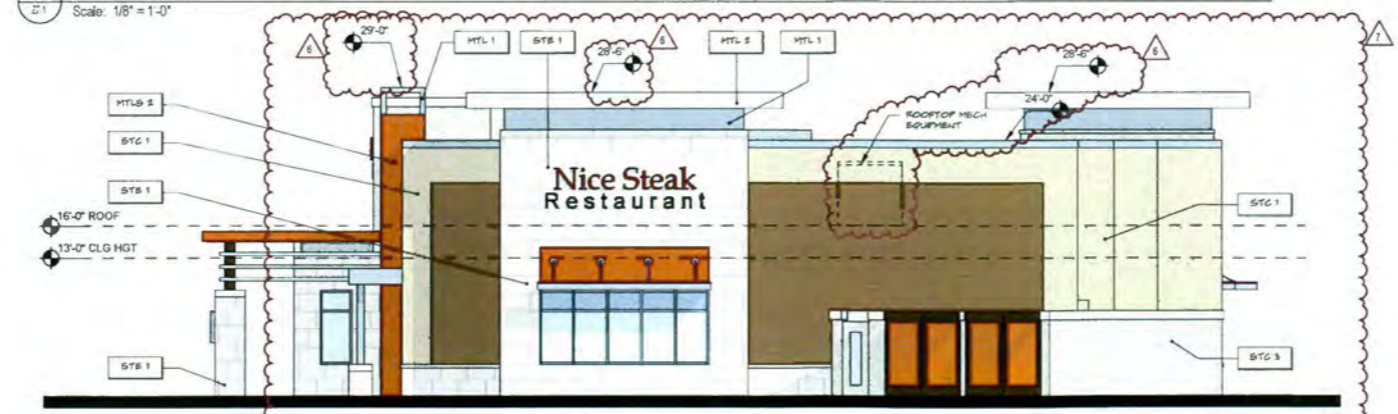
1 I - SOUTH ELEVATION
Scale: 1/8" = 1'-0"



2 I - WEST ELEVATION
Scale: 1/8" = 1'-0"



3 I - NORTH ELEVATION
Scale: 1/8" = 1'-0"



4 I - EAST ELEVATION
Scale: 1/8" = 1'-0"

FACADE MATERIAL & COLOR LEGEND

- BTG 1 SMOOTH STUCCO FINISH (CLASS A) - 06-11 CLAY BEIGE
- BTG 2 SMOOTH STUCCO FINISH (CLASS A) - 06-38 SHADY WHITE
- BTG 3 SMOOTH STUCCO FINISH (CLASS A) - 06-19 SEA PEARL
- BTG 4 SMOOTH STUCCO FINISH (CLASS A) - 06-18 PALE CELERY
- STB 1 30" X 30" STONE VENEER
- PTVD 1 WET FORMAT PORCELAIN TILE WITH WOOD GRAIN PATTERN
- MTL 1 ALUMINUM COLOR: SATIN STEEL
- MTL 2 ALUMINUM COLOR: SILVER
- MTL 3 ALUMINUM COLOR: DARK BRONZE
- MTL 4 EXTERIOR METAL PANEL SYSTEM - SATIN STEEL
- MTL 5 ALUMINUM CORTEN STEEL FINISH
- GLZ 1 CLEAR GLAZING
- GLZ 2 OPAQUE SPANDREL GLAZING

NOTE:
NOT ALL MATERIALS ARE USED ON ALL BUILDINGS

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NEW CONSTRUCTION FOR:
ALTON TOWN CENTER
BUILDING 1
PALM BEACH GARDENS, FLORIDA

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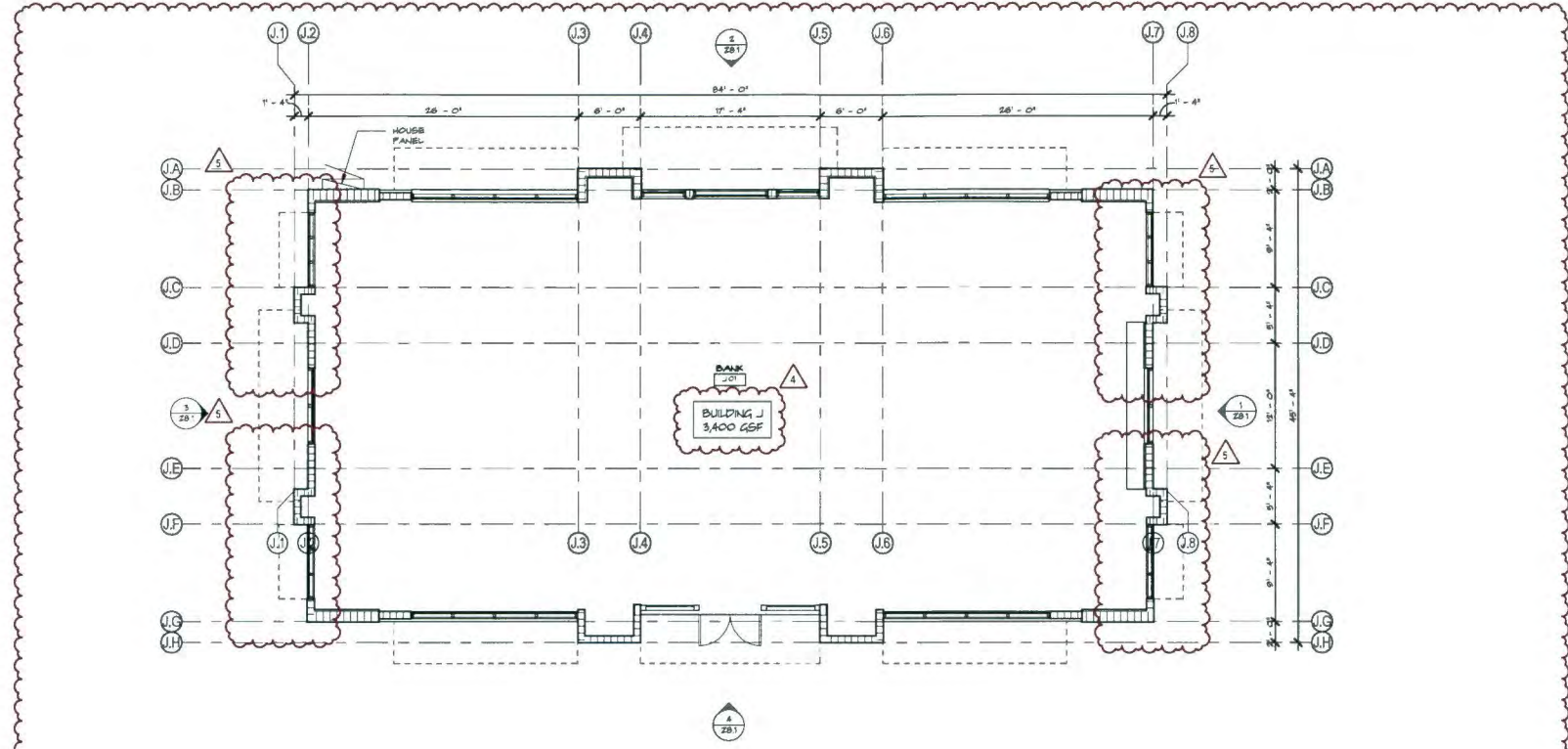
Revisions		
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3	REVISION TO SUBMITTAL	03.29.16
4	REVISION TO SUBMITTAL	07.20.16
5	REVISION TO SUBMITTAL	07.22.16
6	REVISION TO SUBMITTAL	07.28.16
7	REVISION TO SUBMITTAL	07.06.16

Project no: 13273
Date: 07/10/2015
Drawn by: ADC
Project Architect: KM
Partner: KS

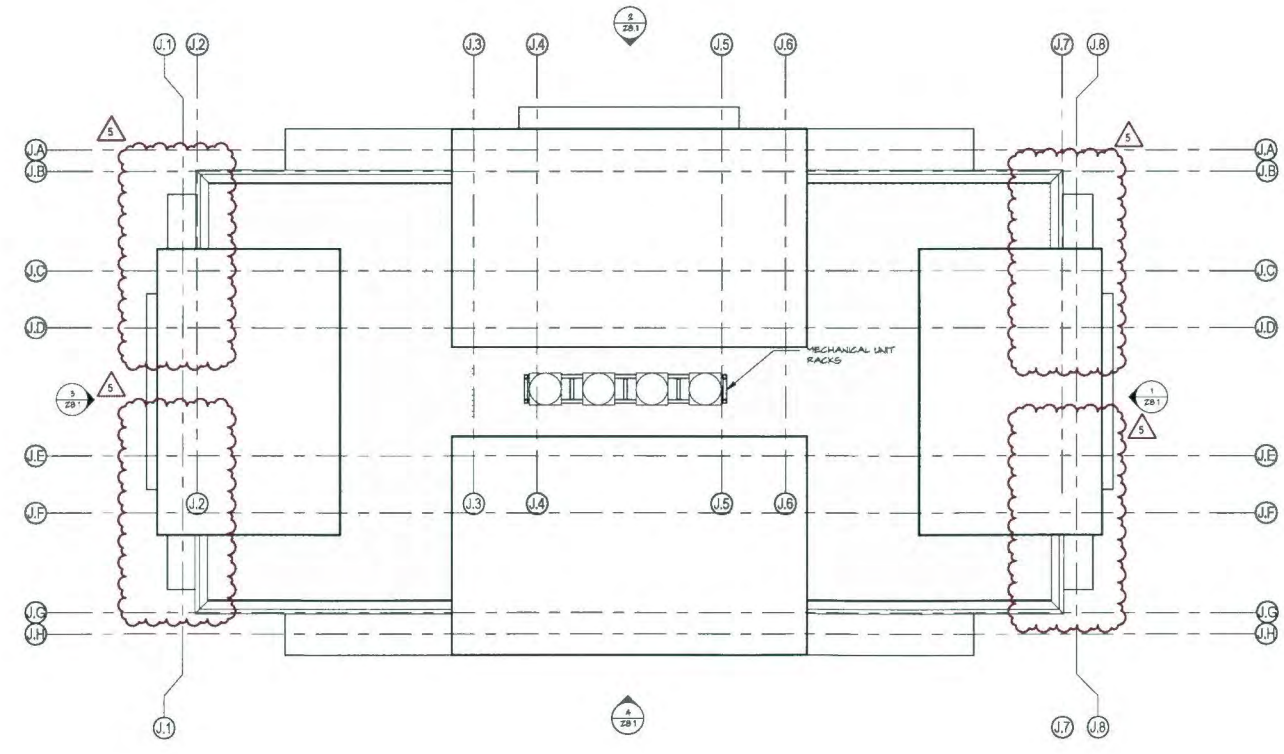
BUILDING I - ELEVATIONS

Z7.1

ZONING SUBMITTAL



1 FLOOR PLAN
 28.1 Scale: 1/8" = 1'-0"



2 ROOF PLAN
 28.1 Scale: 1/8" = 1'-0"

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NEW CONSTRUCTION FOR:
ALTON TOWN CENTER
 BUILDING J
 PALM BEACH GARDENS, FLORIDA

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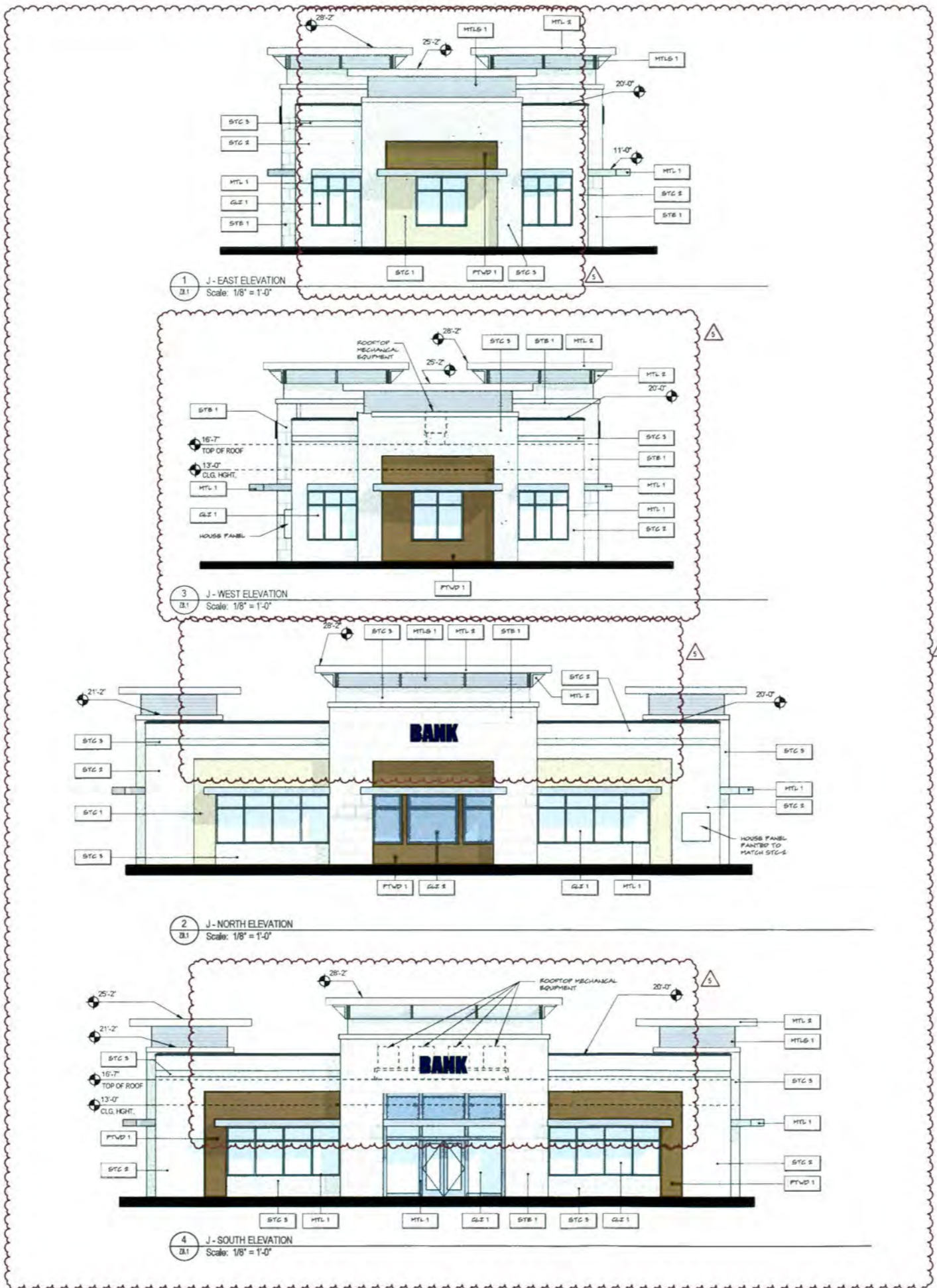
1 REVISION TO SUBMITTAL	01.08.16
2 REVISION TO SUBMITTAL	04.15.16
4 REVISION TO SUBMITTAL	07.20.16
5 REVISION TO SUBMITTAL	09.06.16

Project no: 13273
 Date: 07/10/2015
 Drawn by: JU
 Project Architect: KM
 Partner: KS



Z8.0
 ZONING SUBMITTAL

BUILDING J - PLANS



FACADE MATERIAL & COLOR LEGEND

- STC 1 SMOOTH STUCCO FINISH (CLASS A) - OC-3 CLAY DRUSE
- STC 2 SMOOTH STUCCO FINISH (CLASS A) - OC-66 SNOW WHITE
- STC 3 SMOOTH STUCCO FINISH (CLASS A) - OC-19 SEA PEARL
- STC 4 SMOOTH STUCCO FINISH (CLASS A) - OC-108 PALE CEBERY
- STB 1 30" X 30" STONE VENEER
- PTVD 1 WIDE FORMAT PORCELAN TILE WITH WOOD GRAIN PATTERN (DARK BROWN TEAK)
- MTL 1 ALUMINUM COLOR: SATIN STEEL
- MTL 2 ALUMINUM COLOR: SILVER
- MTLS 1 EXTERIOR METAL PANEL SYSTEM - SATIN STEEL
- MTLS 2 ALUMINUM, CORTEN STEEL FINISH
- GLZ 1 CLEAR GLAZING
- GLZ 2 OPAQUE SPANDREL GLAZING

NOTE:
NOT ALL MATERIALS ARE USED ON ALL BUILDINGS

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**NEW CONSTRUCTION FOR:
ALTON TOWN CENTER
BUILDING J
PALM BEACH GARDENS, FLORIDA**

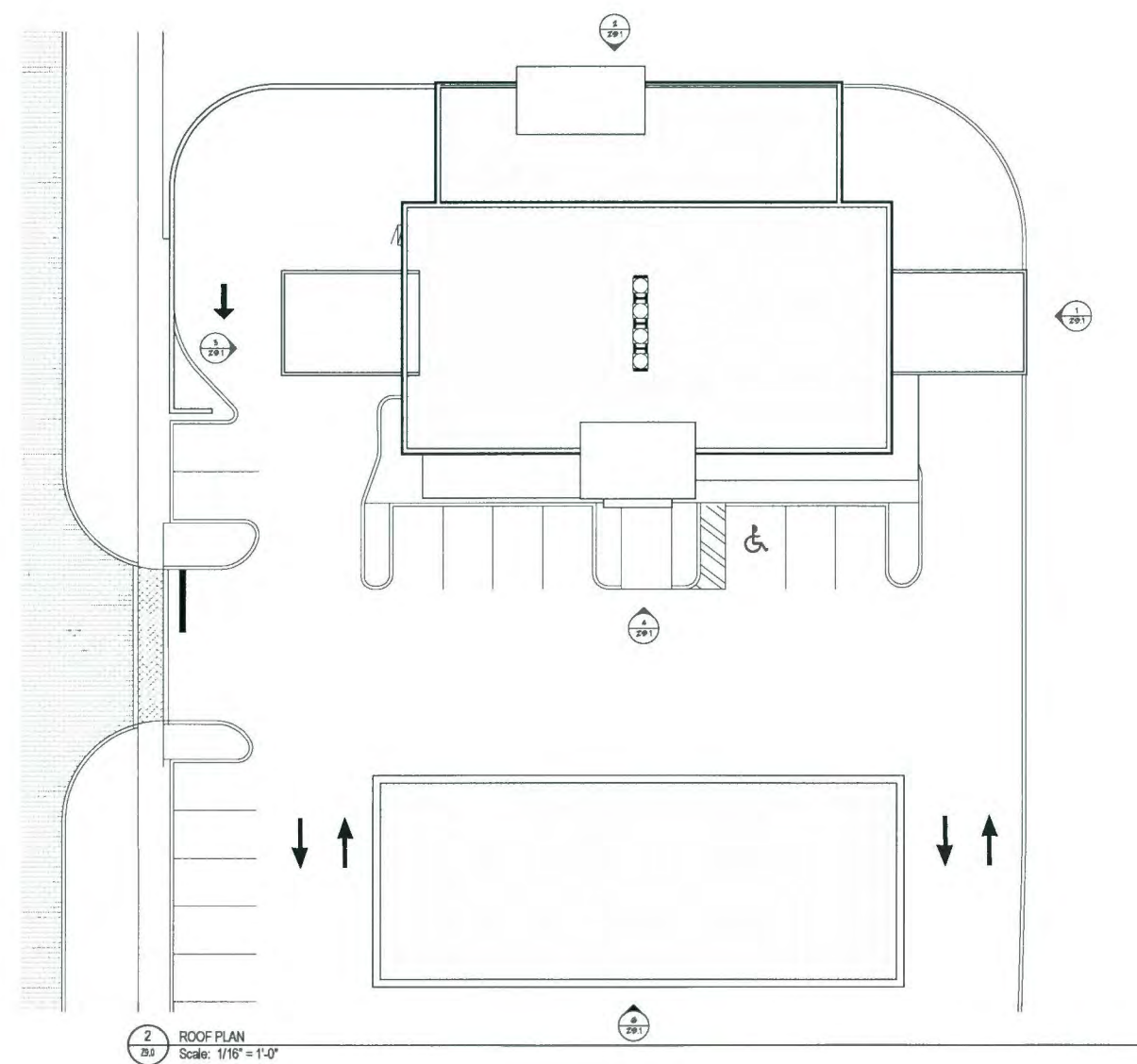
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5 REVISION TO SUBMITTAL	09.06.16

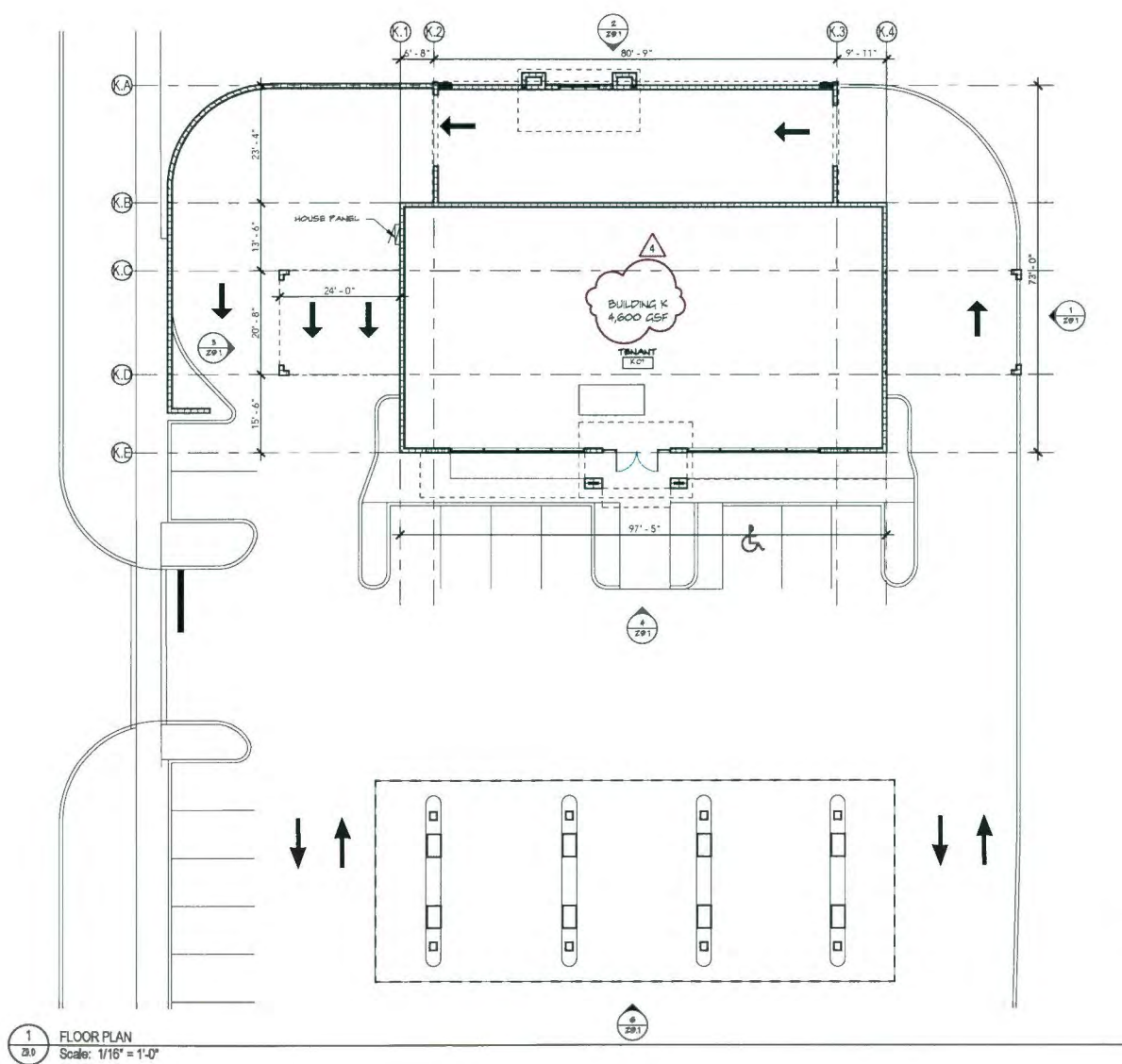
Project no: 13273
Date: 07/10/2015
Drawn by: JU
Project Architect: KM
Partner: KS

BUILDING J - ELEVATIONS

28.1
ZONING SUBMITTAL



2 ROOF PLAN
Scale: 1/16" = 1'-0"



1 FLOOR PLAN
Scale: 1/16" = 1'-0"

NEW CONSTRUCTION FOR:
ALTON TOWN CENTER
BUILDING K
PALM BEACH GARDENS, FLORIDA

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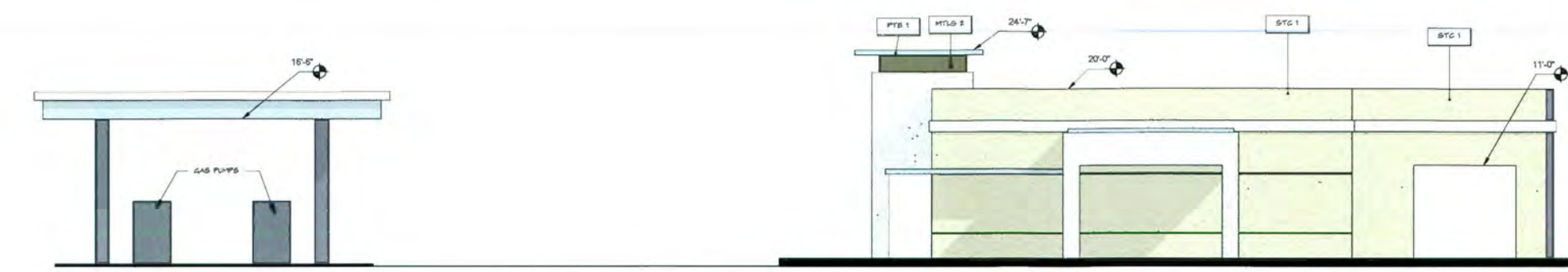
Revisions:	
1 REVISION TO SUBMITTAL	01.06.16
2 REVISION TO SUBMITTAL	04.15.16
3 REVISION TO SUBMITTAL	06.29.16
4 REVISION TO SUBMITTAL	07.20.16

Project no: 13273
Date: 07/10/2015
Drawn by: JB
Project Architect: AC
Partner: KS



Z9.0
ZONING SUBMITTAL

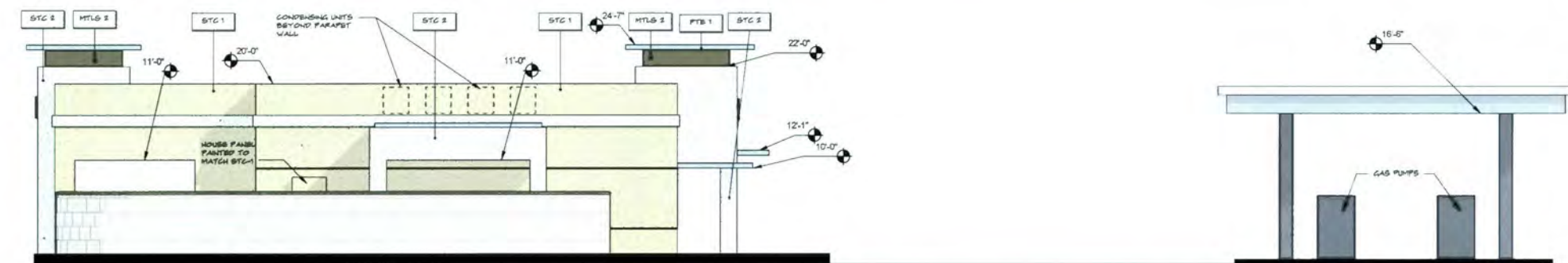
BUILDING K - PLANS



1 K - EAST ELEVATION
Scale: 1/8" = 1'-0"



2 K - NORTH ELEVATION
Scale: 1/8" = 1'-0"



3 K - WEST ELEVATION
Scale: 1/8" = 1'-0"



4 K - SOUTH ELEVATION
Scale: 1/8" = 1'-0"



5 K - SOUTH PUMP VIEW
Scale: 1/8" = 1'-0"

FACADE MATERIAL & COLOR LEGEND

STC 1	SMOOTH STUCCO FINISH (CLASS 4) - DC-11 CLAY BEIGE
STC 2	SMOOTH STUCCO FINISH (CLASS 4) - DC-66 SNOW WHITE
STC 3	SMOOTH STUCCO FINISH (CLASS 4) - DC-19 SEASPEARL
STC 4	SMOOTH STUCCO FINISH (CLASS 4) - DC-78 FALS CELERY
STB 1	30" X 30" STONE VENEER
PTVD 1	VITRE FORMAT PORCELAIN TILE WITH WOOD GRAIN PATTERN (DARK BROWN TEAK)
MTL 1	ALUMINUM, COLOR SATIN STEEL
MTL 2	ALUMINUM, COLOR SILVER
MTL 3	EXTERIOR METAL PANEL SYSTEM - SATIN STEEL
MTL 4	ALUMINUM, CORTEN STEEL FINISH
GL 1	CLEAR GLAZING
GL 2	OPAQUE SPANDREL GLAZING

NOTE:
NOT ALL MATERIALS ARE USED ON ALL BUILDINGS

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West Palm Beach, Florida 33401
305.886.8844 • Fax: 305.886.1394
FL Lic # AC2002099



John Gliddens, F.A.S.I.A. • Keith M. Spina, F.A.S.I.A.

NEW CONSTRUCTION FOR:
ALTON TOWN CENTER
BUILDING K
PALM BEACH GARDENS, FLORIDA

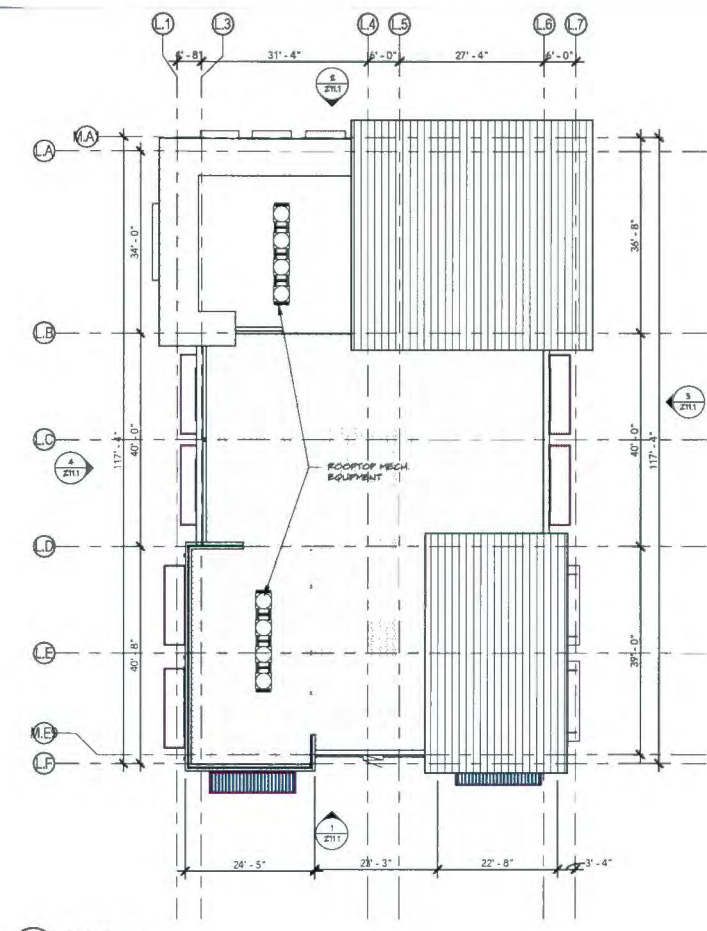
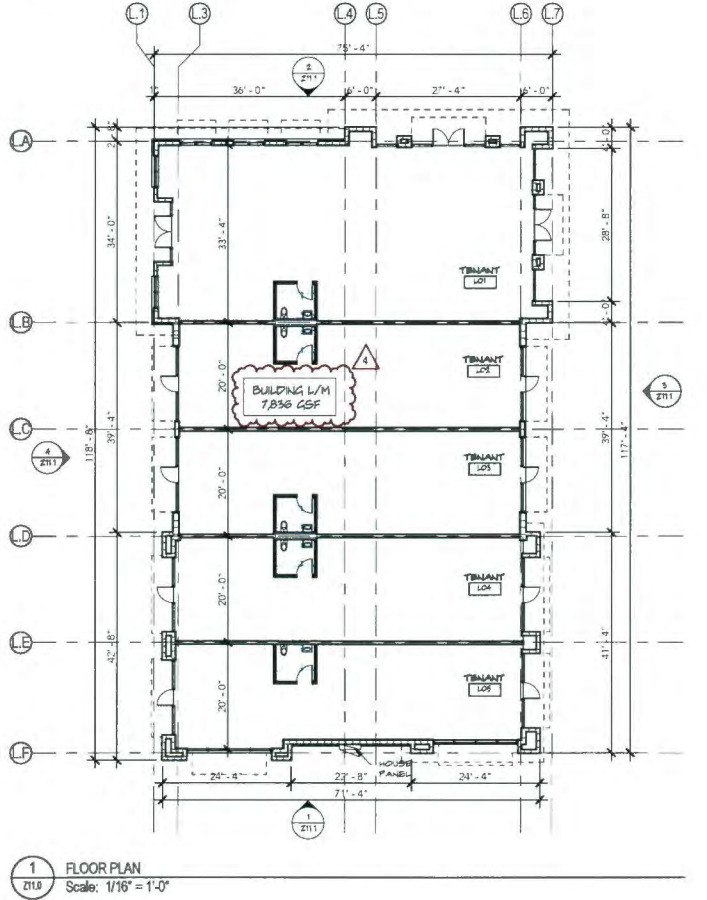
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3 REVISION TO SUBMITTAL	06.29.16
4 REVISION TO SUBMITTAL	07.20.16

Project no: 13273
Date: 07/10/2015
Drawn by: ADC
Project Architect: AC
Partner: KS

BUILDING K - ELEVATIONS

29.1
ZONING SUBMITTAL



BUILDING L/M - PLANS



Z11.0

ZONING SUBMITTAL

Revisions:

1 REVISION TO SUBMITTAL	01 06 16
2 REVISION TO SUBMITTAL	04 15 16
3 REVISION TO SUBMITTAL	06 29 16
4 REVISION TO SUBMITTAL	07 20 16

Project no: 13273
Date: 07/10/2015
Drawn by: ADC
Project Architect: ADC
Partner: KAS

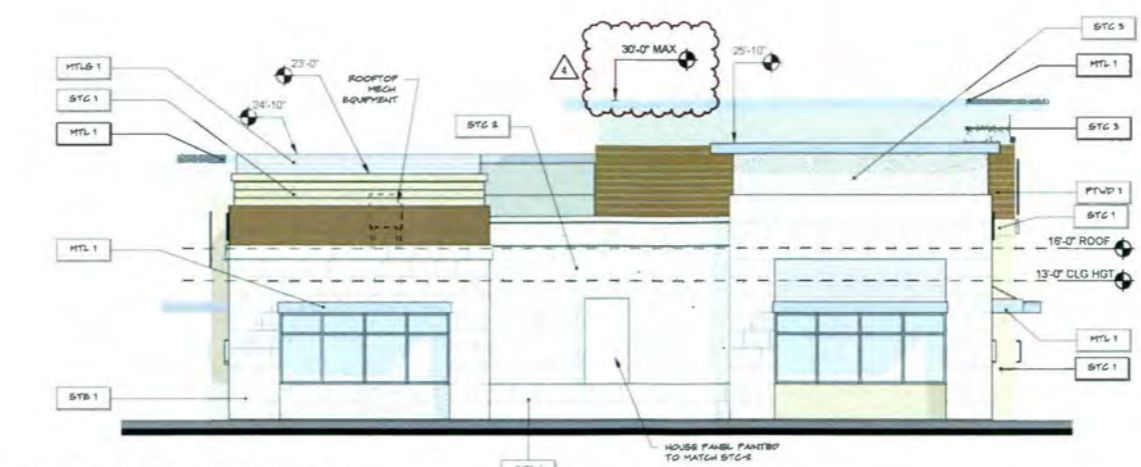
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NEW CONSTRUCTION FOR:
ALTON TOWN CENTER
BUILDING L/M (ARCHITECTURAL MIRROR IMAGE)
PALM BEACH GARDENS, FLORIDA

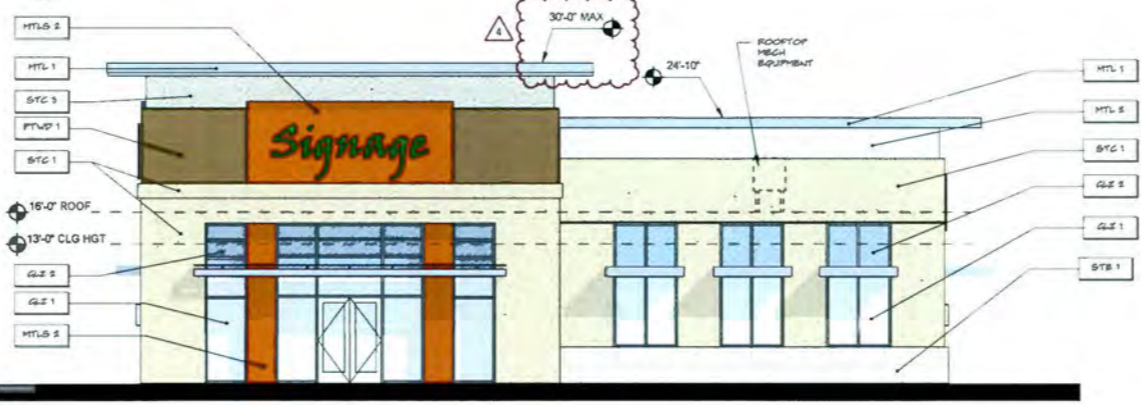


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John Glidden / #8055 • Keith M. Spina / #81311

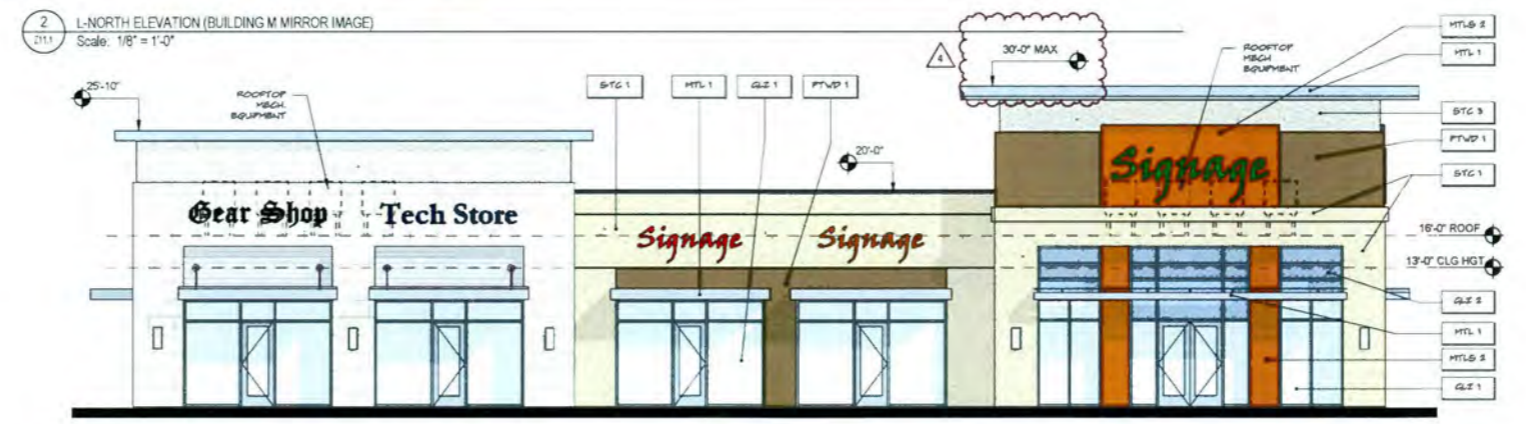
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1 L-SOUTH ELEVATION (BUILDING M MIRROR IMAGE)
Scale: 1/8" = 1'-0"



2 L-NORTH ELEVATION (BUILDING M MIRROR IMAGE)
Scale: 1/8" = 1'-0"



3 L-EAST ELEVATION (BUILDING M WEST ELEVATION)
Scale: 1/8" = 1'-0"



4 L-WEST ELEVATION (BUILDING M EAST ELEVATION)
Scale: 1/8" = 1'-0"

FACADE MATERIAL & COLOR LEGEND

- STC 1 SMOOTH STUCCO FINISH (CLASS 4) - 06-11 CLAY BRICK
- STC 2 SMOOTH STUCCO FINISH (CLASS 4) - 06-08 SAND WHITE
- STC 3 SMOOTH STUCCO FINISH (CLASS 4) - 06-10 SEAPEARL
- STC 4 SMOOTH STUCCO FINISH (CLASS 4) - 06-16 PALS CELEST
- STB 1 30" X 30" STONE VENEER
- PTVD 1 WIDE FORMAT PORCELAIN TILE WITH WOOD GRAIN PATTERN (DARK BROWN TRAK)
- MTL 1 ALUMINUM COLOR: SATIN STEEL
- MTL 2 ALUMINUM COLOR: SILVER
- MTLS 1 EXTERIOR METAL PANEL SYSTEM - SATIN STEEL
- MTLS 2 ALUMINUM, CORTEN STEEL FINISH
- GLZ 1 CLEAR GLAZING
- GLZ 2 OPAQUE SPANDREL GLAZING

NOTE: NOT ALL MATERIALS ARE USED ON ALL BUILDINGS

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Architectural Interior Design
John Glidden • AIA1538 • Seth M. Spina • AIA13479

NEW CONSTRUCTION FOR:
ALTON TOWN CENTER
BUILDING L/M (ARCHITECTURAL MIRROR IMAGE)
PALM BEACH GARDENS, FLORIDA

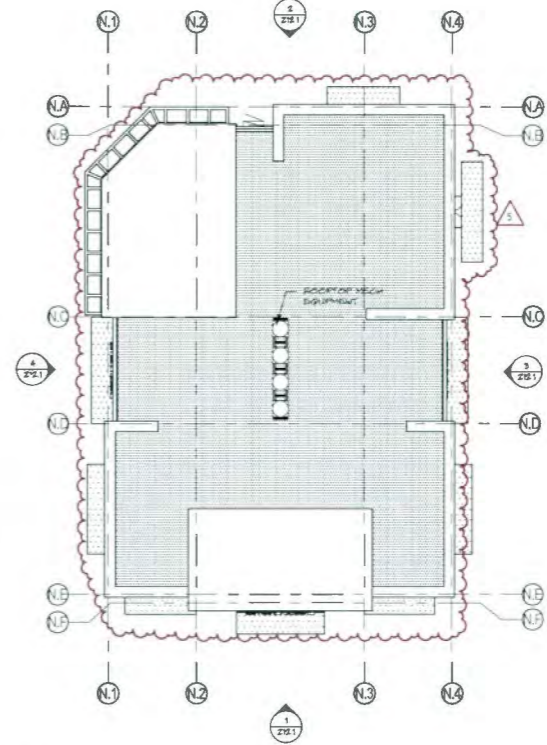
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3 REVISION TO SUBMITTAL	08.29.16
4 REVISION TO SUBMITTAL	07.20.16

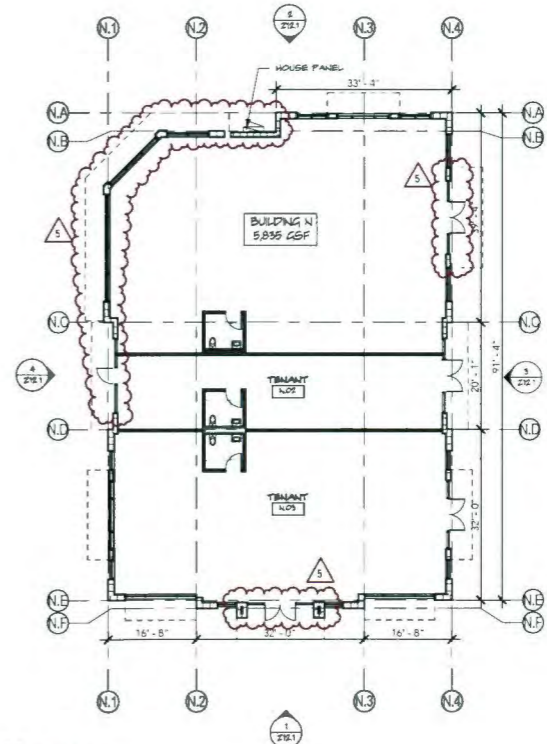
Project no: 13273
Date: 07/19/2015
Drawn by: KM/MG
Project Architect: WC
Partner: KAS

BUILDING L/M - ELEVATIONS

Z11.1
ZONING SUBMITTAL



2 ROOF PLAN
 2121 Scale: 1/16" = 1'-0"



1 FLOOR PLAN
 2122 Scale: 1/16" = 1'-0"

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Architecture/Interior Design
 John Glidden P. 03535 • Keith M. Spina P. 031379

NEW CONSTRUCTION FOR:
ALTON TOWN CENTER
 BUILDING N
 PALM BEACH GARDENS, FLORIDA

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4 REVISION TO SUBMITTAL	07.20.16
5 REVISION TO SUBMITTAL	08.06.16

Project no: 13273
 Date: 07/10/2015
 Drawn by: KM
 Project Architect: WC
 Partner: KS



Z12.0
 ZONING SUBMITTAL

BUILDING N - PLANS



1 SOUTH ELEVATION
Scale: 1/8" = 1'-0"



2 NORTH ELEVATION
Scale: 1/8" = 1'-0"



3 EAST ELEVATION
Scale: 1/8" = 1'-0"



4 WEST ELEVATION
Scale: 1/8" = 1'-0"

FACADE MATERIAL & COLOR LEGEND

- STC 1 SMOOTH STUCCO FINISH (CLASS A) - 06-11 CLAY BRICK
- STC 2 SMOOTH STUCCO FINISH (CLASS A) - 06-88 SNOW WHITE
- STC 3 SMOOTH STUCCO FINISH (CLASS A) - 06-19 SEASPEARL
- STC 4 SMOOTH STUCCO FINISH (CLASS A) - 06-10 PALE CEMENT
- STB 1 30" X 30" STONE VENEER
- PTVD 1 WDS FORMAT PORCELAN T&E WITH WOOD GRAN PATTERN (DARK BROWN TEAK)
- MTL 1 ALUMINUM, COLOR: BATH STEEL
- MTL 2 ALUMINUM, COLOR: SILVER
- MTL 3 EXTERIOR METAL PANEL SYSTEM - BATH STEEL
- MTL 4 ALUMINUM, CORTEN STEEL FINISH
- GLZ 1 CLEAR GLAZING
- GLZ 2 OPAQUE SPANDREL GLAZING

NOTE:
NOT ALL MATERIALS ARE USED ON ALL BUILDINGS

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NEW CONSTRUCTION FOR:
ALTON TOWN CENTER
BUILDING N
PALM BEACH GARDENS, FLORIDA

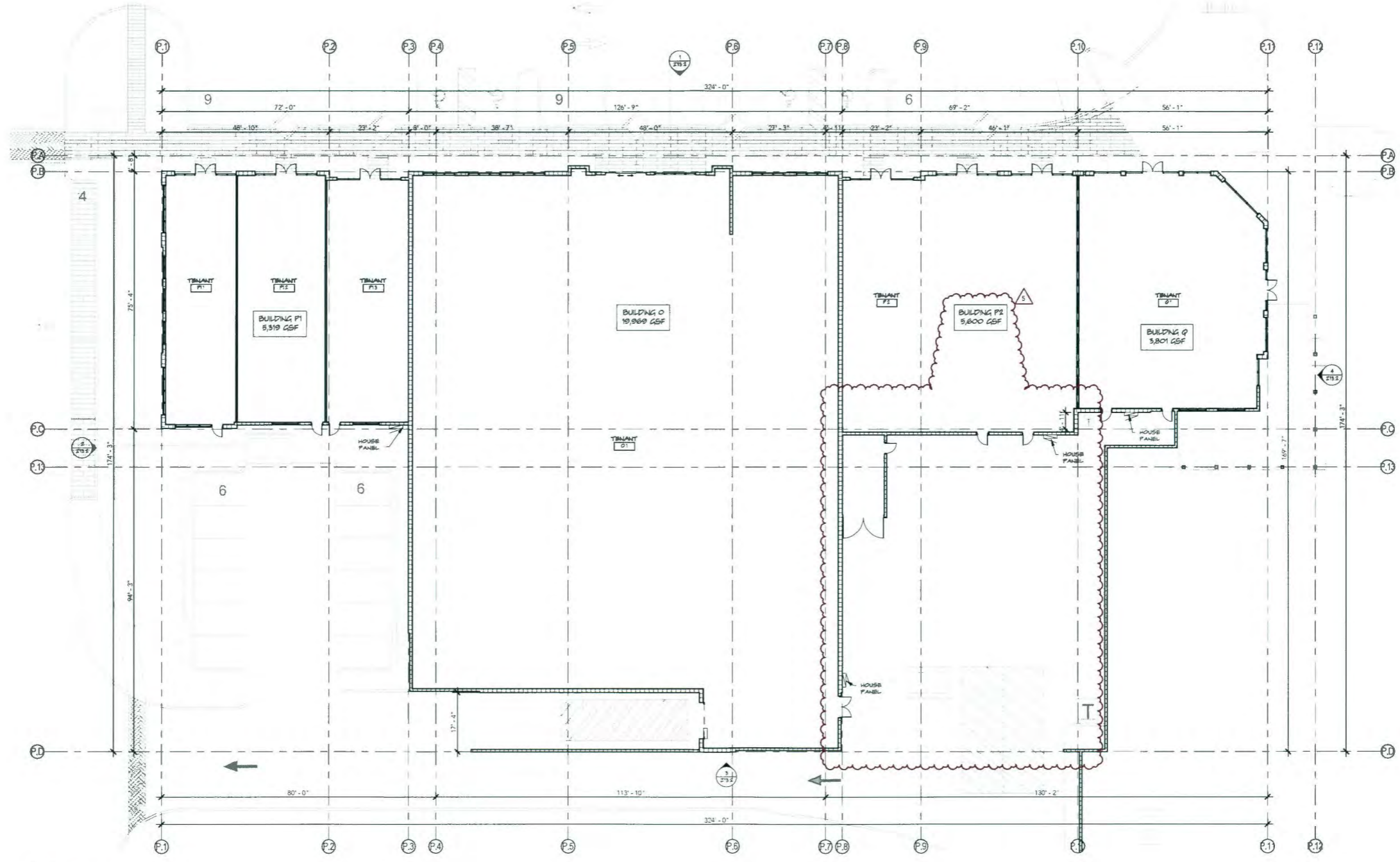
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4 REVISION TO SUBMITTAL	07.20.16
5 REVISION TO SUBMITTAL	09.08.16

Project no: 13273
Date: 07/10/2015
Drawn by: KM
Project Architect: WC
Partner: KS

BUILDING N - ELEVATIONS

Z12.1
ZONING SUBMITTAL



1 FLOOR PLAN
 Z13.0 Scale: 1/16" = 1'-0"

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Architecture+Interior Design
 John Glidden # 00335 • Keith M. Spina # 0012419

NEW CONSTRUCTION FOR:
ALTON TOWN CENTER
 BUILDING O/P/Q
 PALM BEACH GARDENS, FLORIDA

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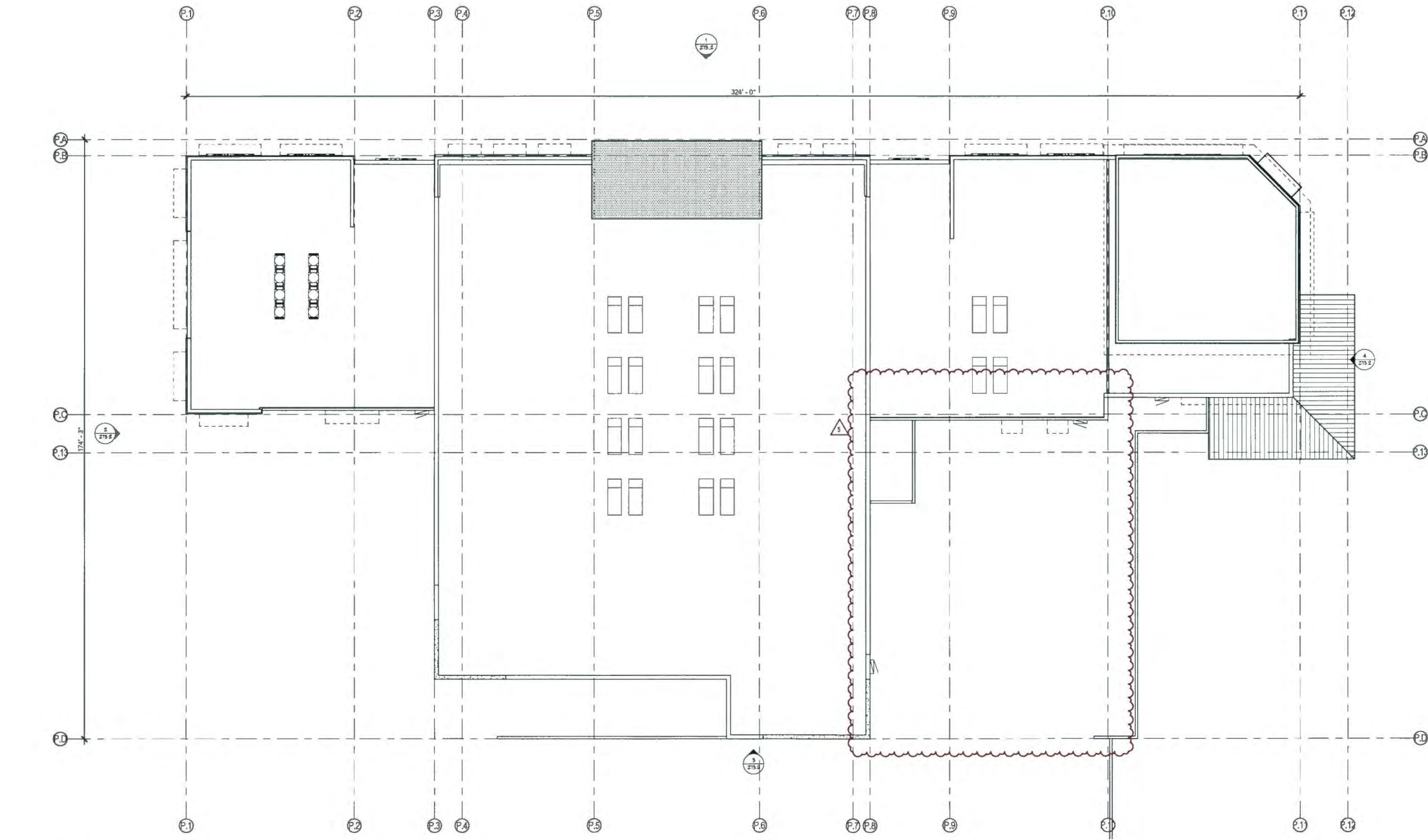
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2 REVISION TO SUBMITTAL	04.15.16
3 REVISION TO SUBMITTAL	06.29.16
4 REVISION TO SUBMITTAL	07.20.16
5 REVISION TO SUBMITTAL	09.06.16

Project no: 13273
 Date: 12/22/2015
 Drawn by: AC
 Project Architect: AC
 Partner: KAS



Z13.0
 ZONING SUBMITTAL

BUILDING O/P/Q - FLOOR PLAN



1 ROOF PLAN
 Z13.1 Scale: 1/16" = 1'-0"

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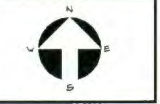
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 John Glidden # A0035 • Keith M. Spina # A01317

NEW CONSTRUCTION FOR:
ALTON TOWN CENTER
 BUILDING O/P/Q
 PALM BEACH GARDENS, FLORIDA

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4 REVISION TO SUBMITTAL	07.20.16
5 REVISION TO SUBMITTAL	09.06.16

Project no: 13273
 Date: 12/22/2015
 Drawn by: AC
 Project Architect: AC
 Partner: KAS



Z13.1
 ZONING SUBMITTAL

BUILDING O/P/Q - ROOF PLAN

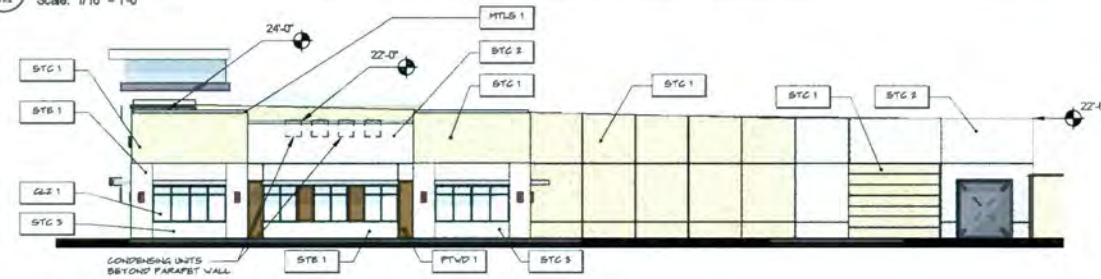
FAÇADE MATERIAL & COLOR LEGEND

-  STC 1 SMOOTH STUCCO FINISH (CLASS 4) - OC-11 CLAY BEIGE
-  STC 2 SMOOTH STUCCO FINISH (CLASS 4) - OC-08 SNOW WHITE
-  STC 3 SMOOTH STUCCO FINISH (CLASS 4) - OC-19 SEAPEARL
-  STC 4 SMOOTH STUCCO FINISH (CLASS 4) - OC-18 PALE CELERY
-  STB 1 30" X 30" STONE VENEER
-  PTVD 1 VESI FORMAT PORCELAIN TILE WITH WOOD GRAIN PATTERN
-  HTL 1 ALUMINUM, COLOR SATIN STEEL
-  HTL 2 ALUMINUM, COLOR SILVER
-  HTL 3 EXTERIOR METAL PANEL SYSTEM
-  HTL 4 ALUMINUM, CORTEN STEEL FINISH
-  GLZ 1 CLEAR GLAZING
-  GLZ 2 OPAQUE SPANDREL GLAZING

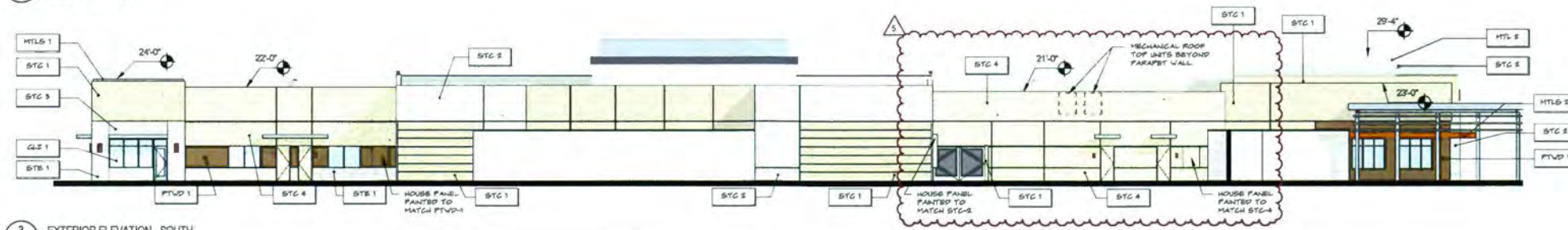
NOTE: NOT ALL MATERIALS ARE USED ON ALL BUILDINGS



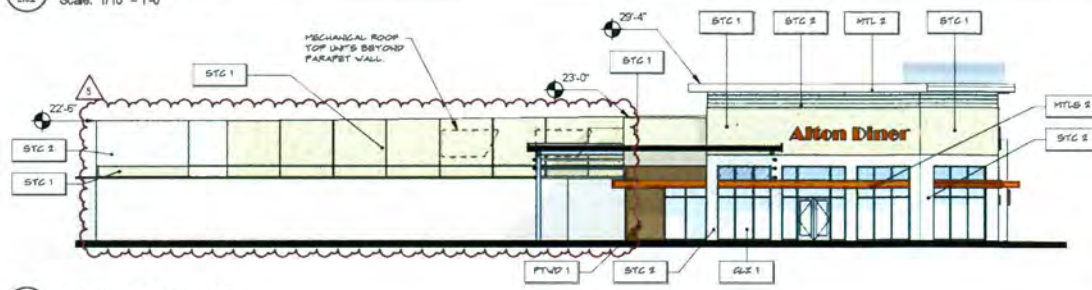
1 EXTERIOR ELEVATION - NORTH
Scale: 1/16" = 1'-0"



2 EXTERIOR ELEVATION - WEST
Scale: 1/16" = 1'-0"



3 EXTERIOR ELEVATION - SOUTH
Scale: 1/16" = 1'-0"



4 EXTERIOR ELEVATION - EAST
Scale: 1/16" = 1'-0"

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NEW CONSTRUCTION FOR:
ALTON TOWN CENTER
BUILDING O/P/Q
PALM BEACH GARDENS, FLORIDA

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5 REVISION TO SUBMITTAL	09.06.16

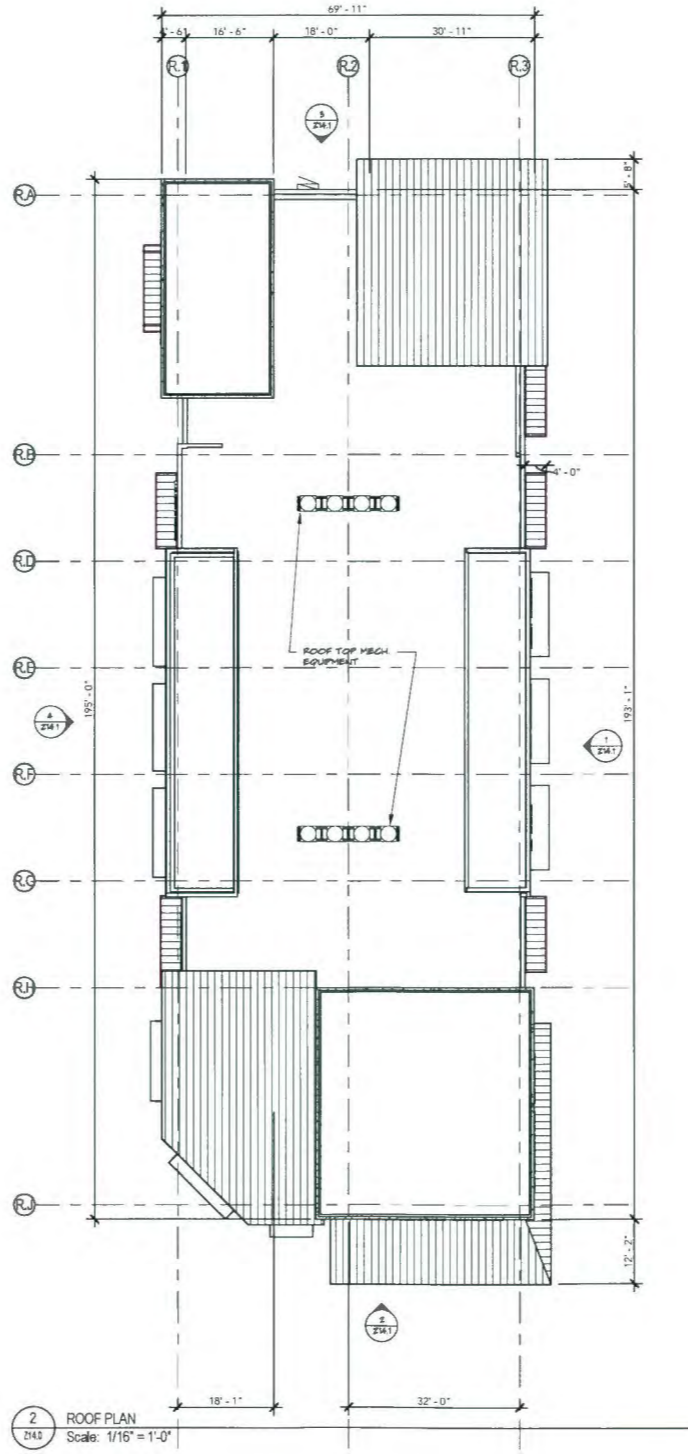
Project no: 13273
Date: 12/22/2015
Drawn by: AC
Project Architect: AC
Partner: KAS

BUILDING O/P/Q - ELEVATIONS

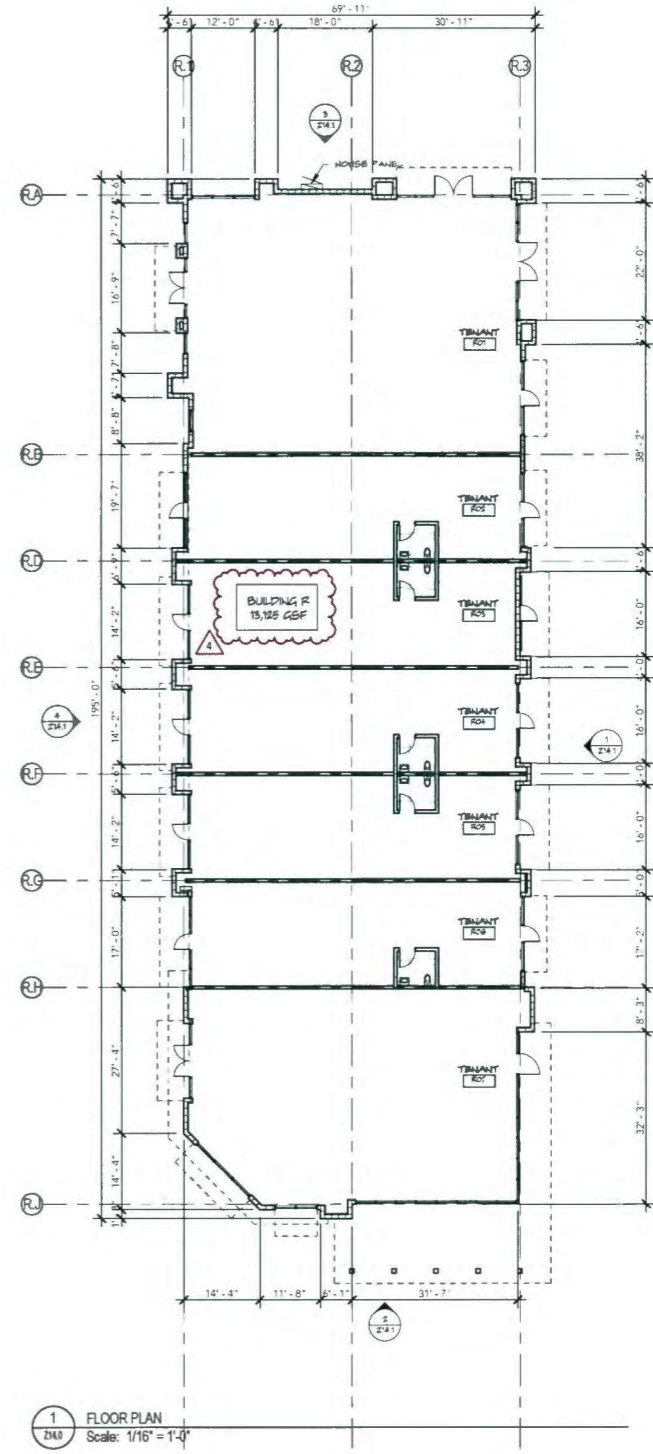


Z13.2

ZONING SUBMITTAL



2 ROOF PLAN
 Scale: 1/16" = 1'-0"



1 FLOOR PLAN
 Scale: 1/16" = 1'-0"

BUILDING R - PLANS



Z14.0
 ZONING SUBMITTAL

NEW CONSTRUCTION FOR:
 ALTON TOWN CENTER
 BUILDING R
 PALM BEACH GARDENS, FLORIDA

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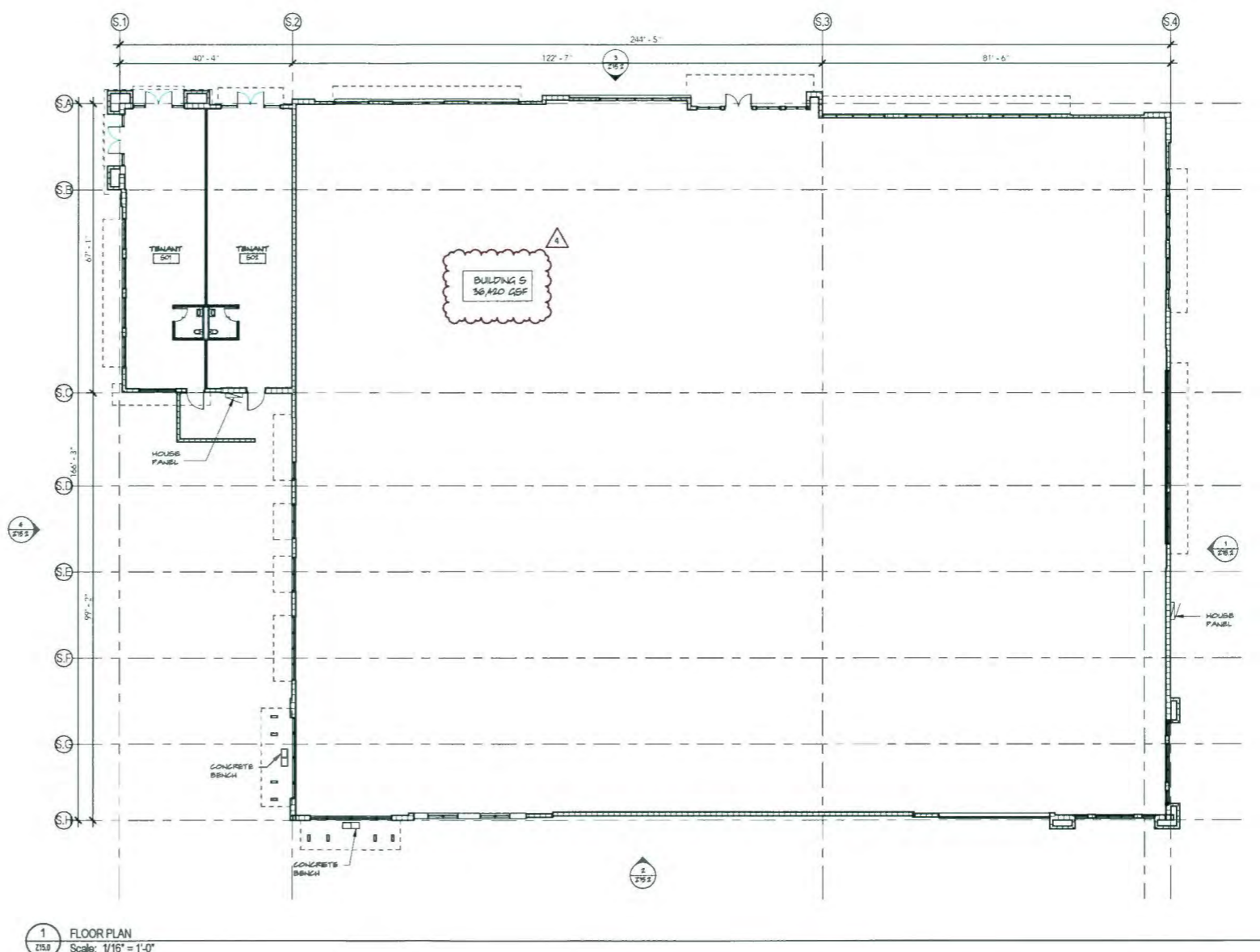
Revisions:	
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4 REVISION TO SUBMITTAL	07.20.16

Project no: 13273
 Date: 07/10/2015
 Drawn by: AC
 Project Architect: MA
 Partner: KAS



Architecture + Interior Design
 John Glidden + Adam Spina • 561.666.8538 • 561.666.8539

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1 FLOOR PLAN
 25.0 Scale: 1/16" = 1'-0"



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 John Gladden # 00033 • Keith M. Spina # 013419

NEW CONSTRUCTION FOR:
ALTON TOWN CENTER
 BUILDING S
 PALM BEACH GARDENS, FLORIDA

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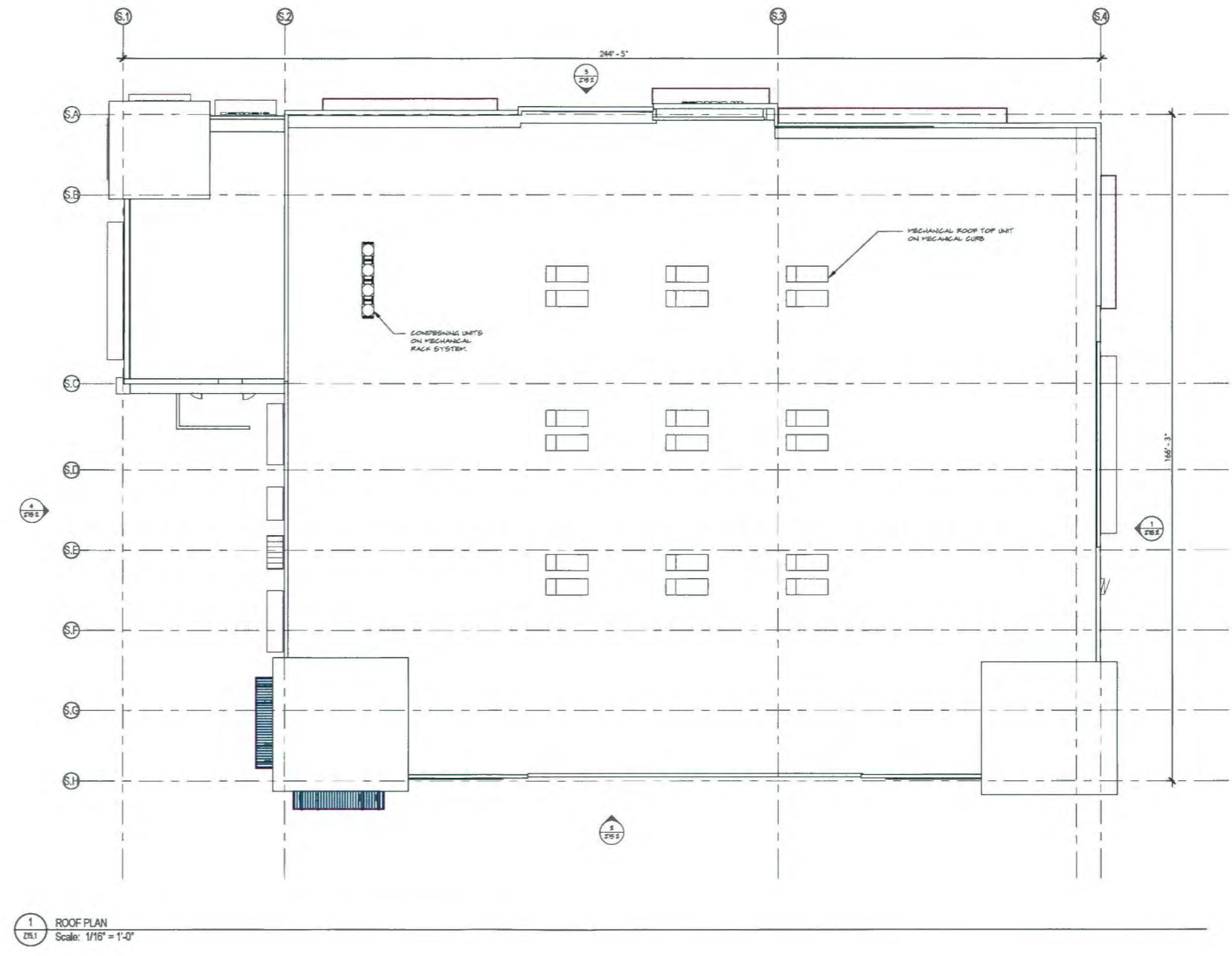
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4 REVISION TO SUBMITTAL	07.20.16

Project no: 13273
 Date: 07/10/2015
 Drawn by: AC
 Project Architect: MA
 Partner: KS



Z15.0
 ZONING SUBMITTAL

BUILDING S - FLOOR PLAN



1 ROOF PLAN
 Z15.1 Scale: 1/16" = 1'-0"

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NEW CONSTRUCTION FOR:
ALTON TOWN CENTER
 BUILDING S
 PALM BEACH GARDENS, FLORIDA

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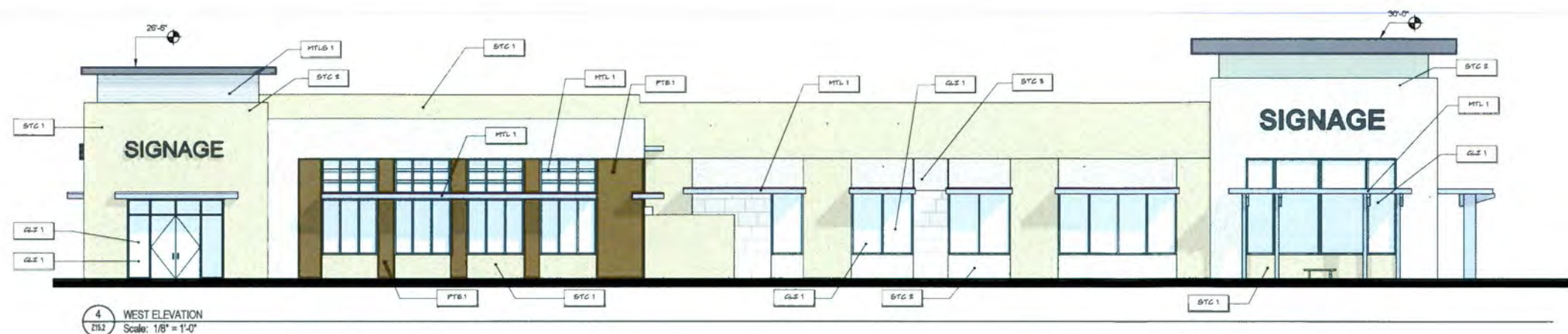
Revisions:	
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3 REVISION TO SUBMITTAL	06.29.16
4 REVISION TO SUBMITTAL	07.20.16

Project no: 13273
 Date: 07/10/2015
 Drawn by: KM
 Project Architect: WC
 Partner: KS

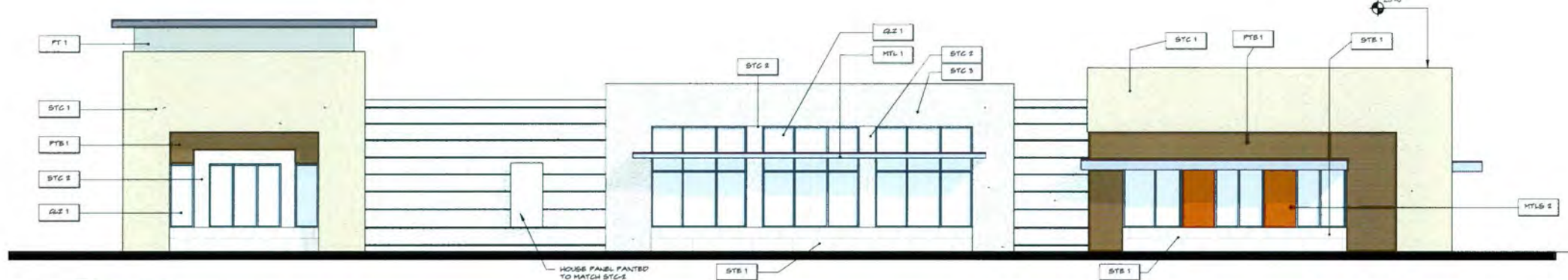


Z15.1
 ZONING SUBMITTAL

BUILDING S - ROOF PLAN



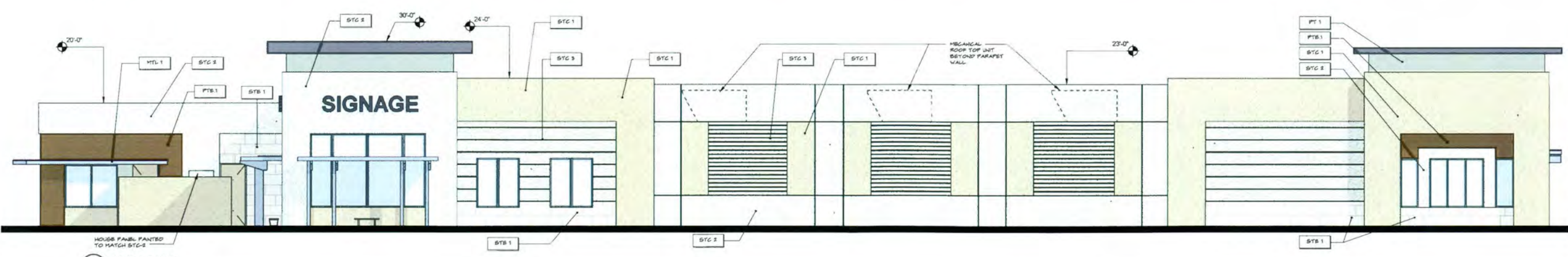
4 WEST ELEVATION
Scale: 1/8" = 1'-0"



1 EAST ELEVATION
Scale: 1/8" = 1'-0"



3 NORTH ELEVATION
Scale: 1/8" = 1'-0"



2 SOUTH ELEVATION
Scale: 1/8" = 1'-0"

FACADE MATERIAL & COLOR LEGEND

STC 1	SMOOTH STUCCO FINISH (CLASS 4) - DC-11 CLAY BRICK
STC 2	SMOOTH STUCCO FINISH (CLASS 4) - DC-66 SNOW WHITE
STC 3	SMOOTH STUCCO FINISH (CLASS 4) - DC-19 SEABEARL
STC 4	SMOOTH STUCCO FINISH (CLASS 4) - DC-19 PALM CHERYL
STB 1	30" X 20" STONE VENEER
PTB 1	WIDE FORMAT PORCELAIN TILE WITH WOOD GRAN PATTERN (DARK BROWN TEAK)
MTL 1	ALUMINUM COLOR SATIN STEEL
MTL 2	ALUMINUM COLOR SILVER
MTL 3	EXTERIOR METAL PANEL SYSTEM - SATIN STEEL
MTL 4	ALUMINUM CORTEN STEEL FINISH
GLZ 1	CLEAR GLAZING
GLZ 2	OPAQUE SPANDREL GLAZING

NOTE: NOT ALL MATERIALS ARE USED ON ALL BUILDINGS

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John Gliddens, AIA 0320 • Keith Spina, AIA 0319

NEW CONSTRUCTION FOR:
ALTON TOWN CENTER
BUILDING S
PALM BEACH GARDENS, FLORIDA

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Revisions:

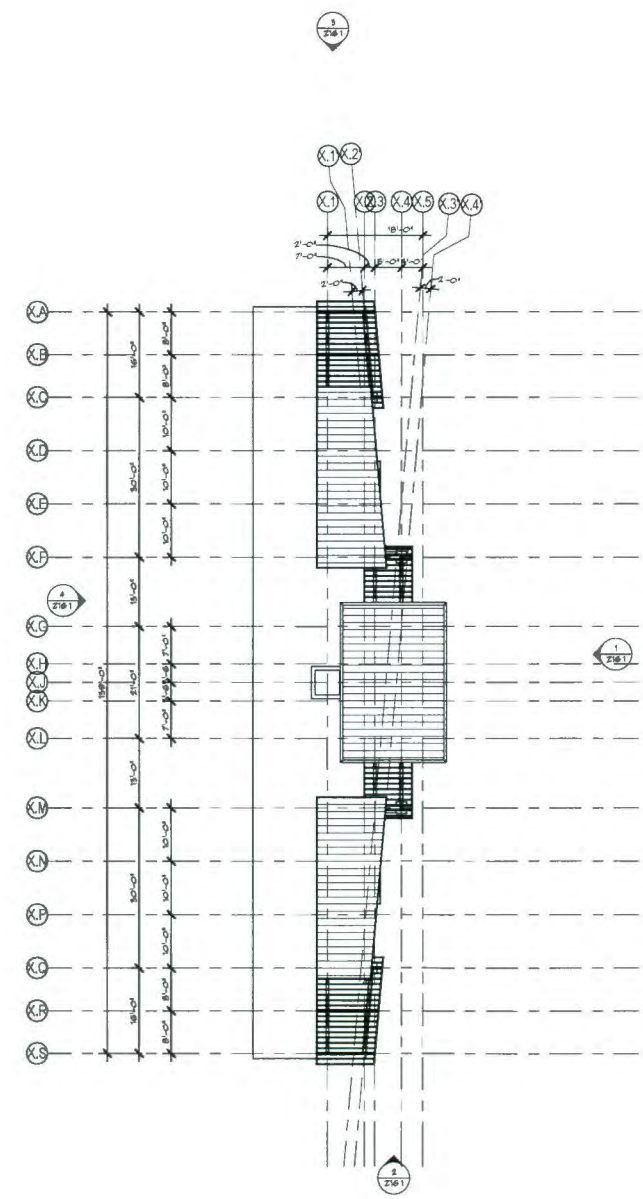
1 REVISION TO SUBMITTAL	01/08/16
2 REVISION TO SUBMITTAL	04/15/16
3 REVISION TO SUBMITTAL	08/29/16
4 REVISION TO SUBMITTAL	07/20/16

Project no: 13273
Date: 07/10/2015
Drawn by: AC
Project Architect: AC
Partner: KS

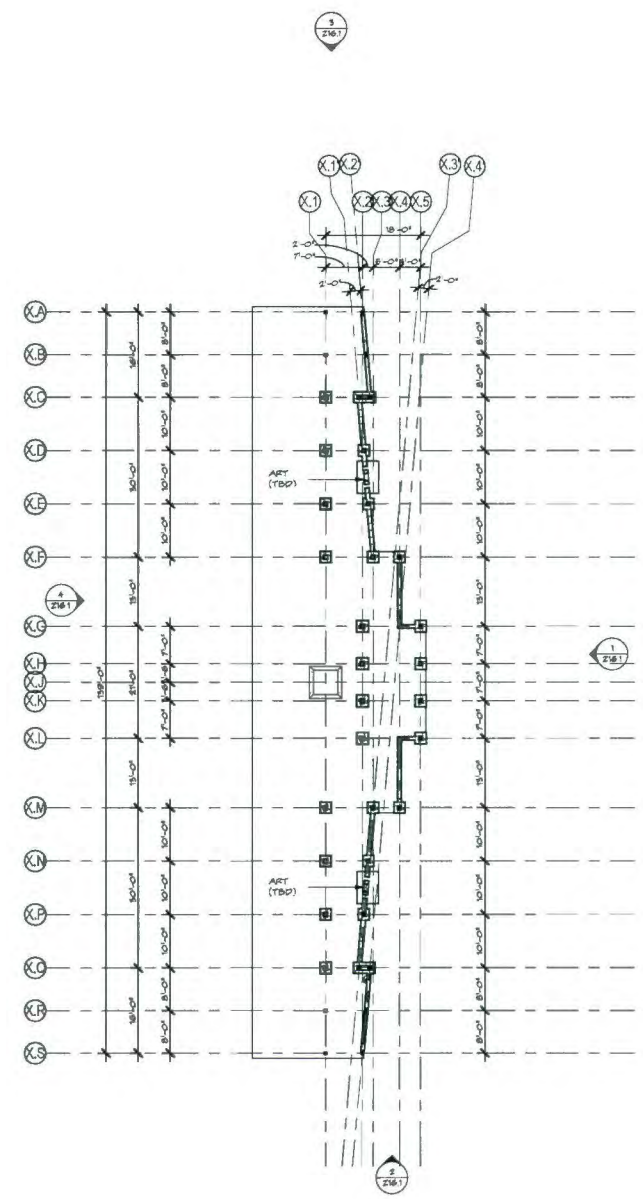
BUILDING S - ELEVATIONS

Z15.2

ZONING SUBMITTAL



2 ROOF PLAN
 216.0 Scale: 1/16" = 1'-0"



1 FLOOR PLAN
 216.0 Scale: 1/16" = 1'-0"

TRELLIS - PLANS



Z16.0

ZONING SUBMITTAL

NEW CONSTRUCTION FOR:
ALTON TOWN CENTER
 BUILDING R
 PALM BEACH GARDENS, FLORIDA

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Revisions:	
1 REVISION TO SUBMITTAL	01.06.16
3 REVISION TO SUBMITTAL	06.29.16
4 REVISION TO SUBMITTAL	07.20.16

Project no: 13273
 Date: 07/10/2015
 Drawn by: AC
 Project Architect: MA
 Planner: KAS



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 + PARTNERS
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207 SIXTH STREET
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 P.O. Box #42022789

FACADE MATERIAL & COLOR LEGEND

-  BTC 1 SMOOTH STUCCO FINISH (CLASS A) - 00-11 CLAY BEIGE
 -  BTC 2 SMOOTH STUCCO FINISH (CLASS A) - 00-88 SNOW WHITE
 -  BTC 3 SMOOTH STUCCO FINISH (CLASS A) - 00-19 SEAPEARL
 -  BTC 4 SMOOTH STUCCO FINISH (CLASS A) - 00-16 PALE CELERY
 -  STB 1 30" X 30" STONE VENEER
 -  MTL 1 WDS FORHAT PORCELAIN TILES WITH WOOD GRAN PATTERN (DARK BROWN TEAK)
 -  MTL 2 ALUMINUM COLOR BATH STEEL
 -  MTL 3 ALUMINUM COLOR SLIVER
 -  MTL 4 EXTERIOR METAL PANEL SYSTEM - BATH STEEL
 -  MTL 5 ALUMINUM CORTEN STEEL FINISH
 -  GLZ 1 CLEAR GLAZING
 -  GLZ 2 OPAQUE SPANDREL GLAZING
 -  CONC CAST IN PLACE CONCRETE
- NOTE:
NOT ALL MATERIALS ARE USED ON ALL BUILDINGS

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Architecture+Interior Design
John Glidden #80553 • Matthew Spina #131819

NEW CONSTRUCTION FOR:
ALTON TOWN CENTER
BUILDING R
PALM BEACH GARDENS, FLORIDA

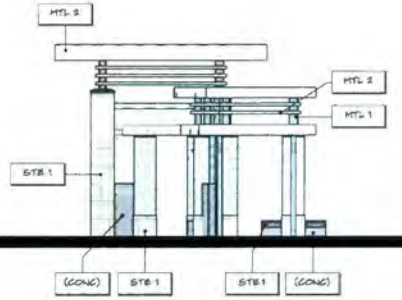
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3 REVISION TO SUBMITTAL	06.29.16
4 REVISION TO SUBMITTAL	07.20.16

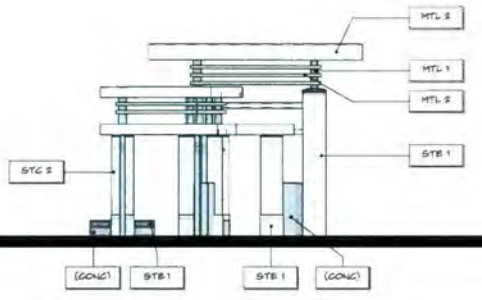
Project no: 13273
Date: 07/10/2015
Drawn by: AC
Project Architect: AC
Partner: KAS

TRELIS X - ELEVATIONS

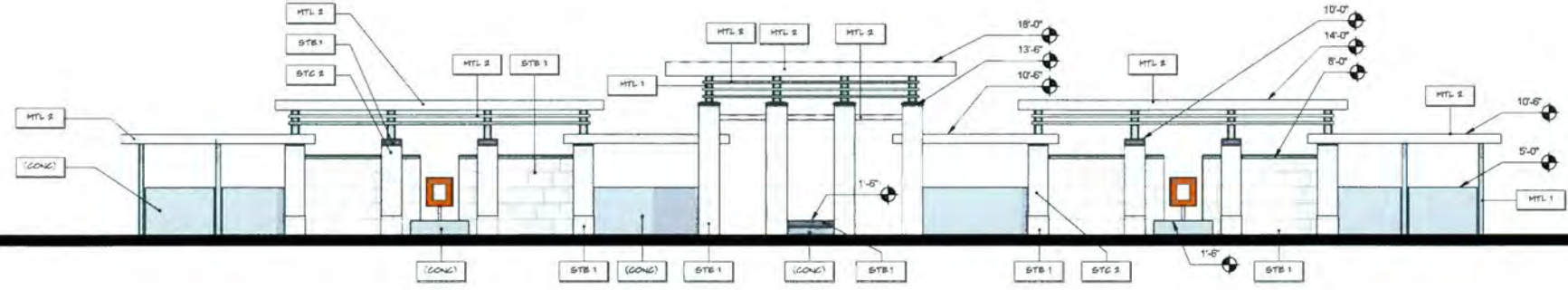
Z16.1
ZONING SUBMITTAL



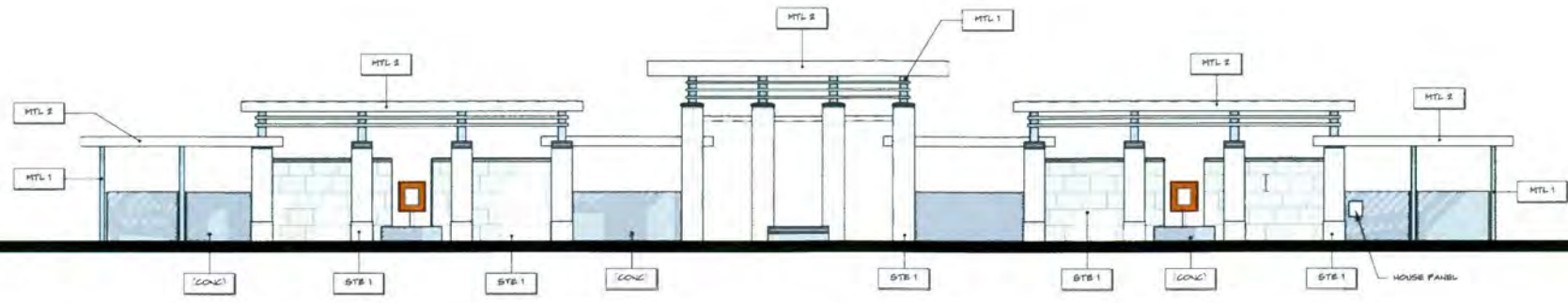
3 NORTH ELEVATION
Z16.1 Scale: 1/8" = 1'-0"



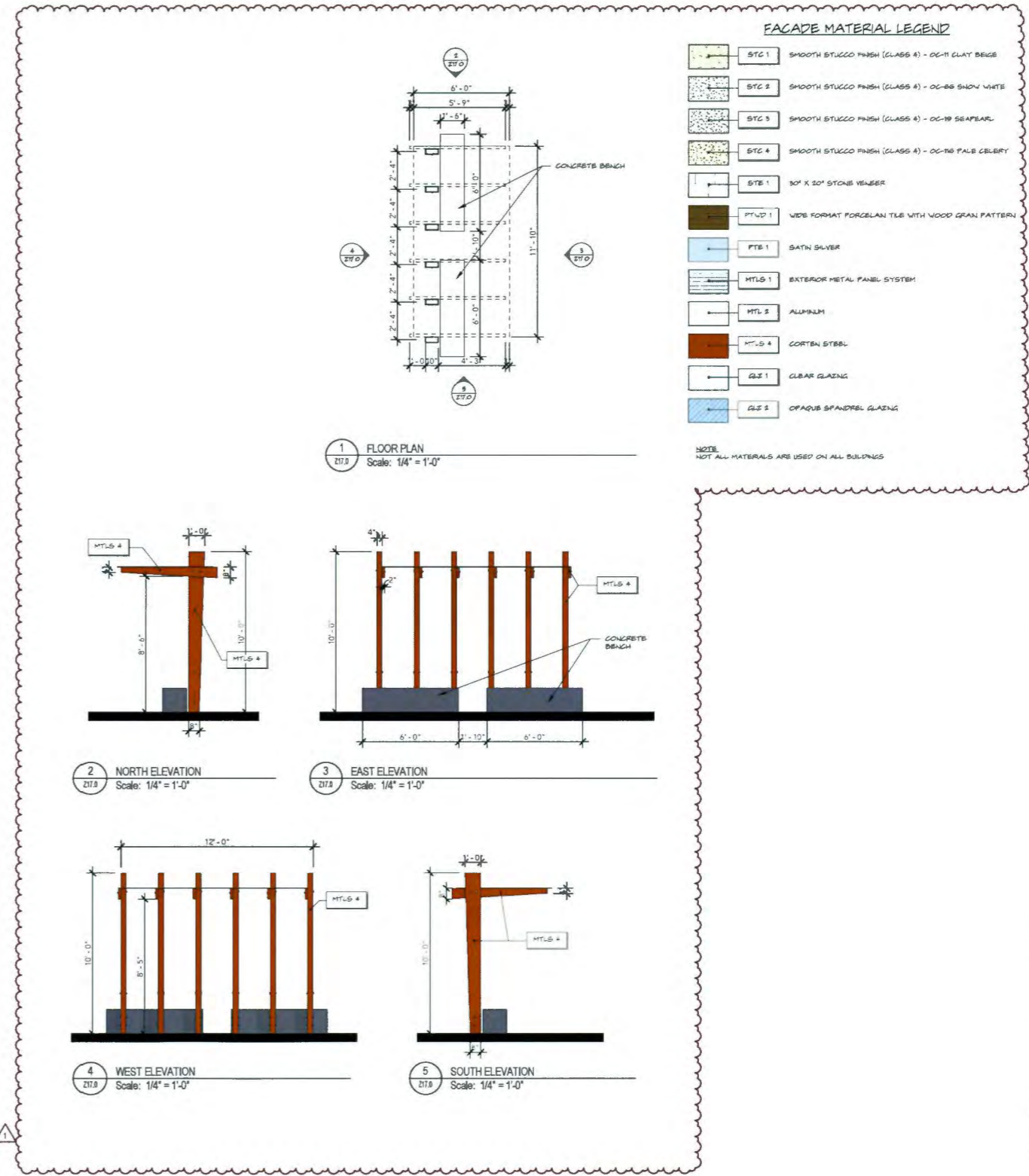
2 SOUTH ELEVATION
Z16.1 Scale: 1/8" = 1'-0"



1 EAST ELEVATION
Z16.1 Scale: 1/8" = 1'-0"



4 WEST ELEVATION
Z16.1 Scale: 1/8" = 1'-0"



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NEW CONSTRUCTION FOR:
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BUILDING N
PALM BEACH GARDENS, FLORIDA

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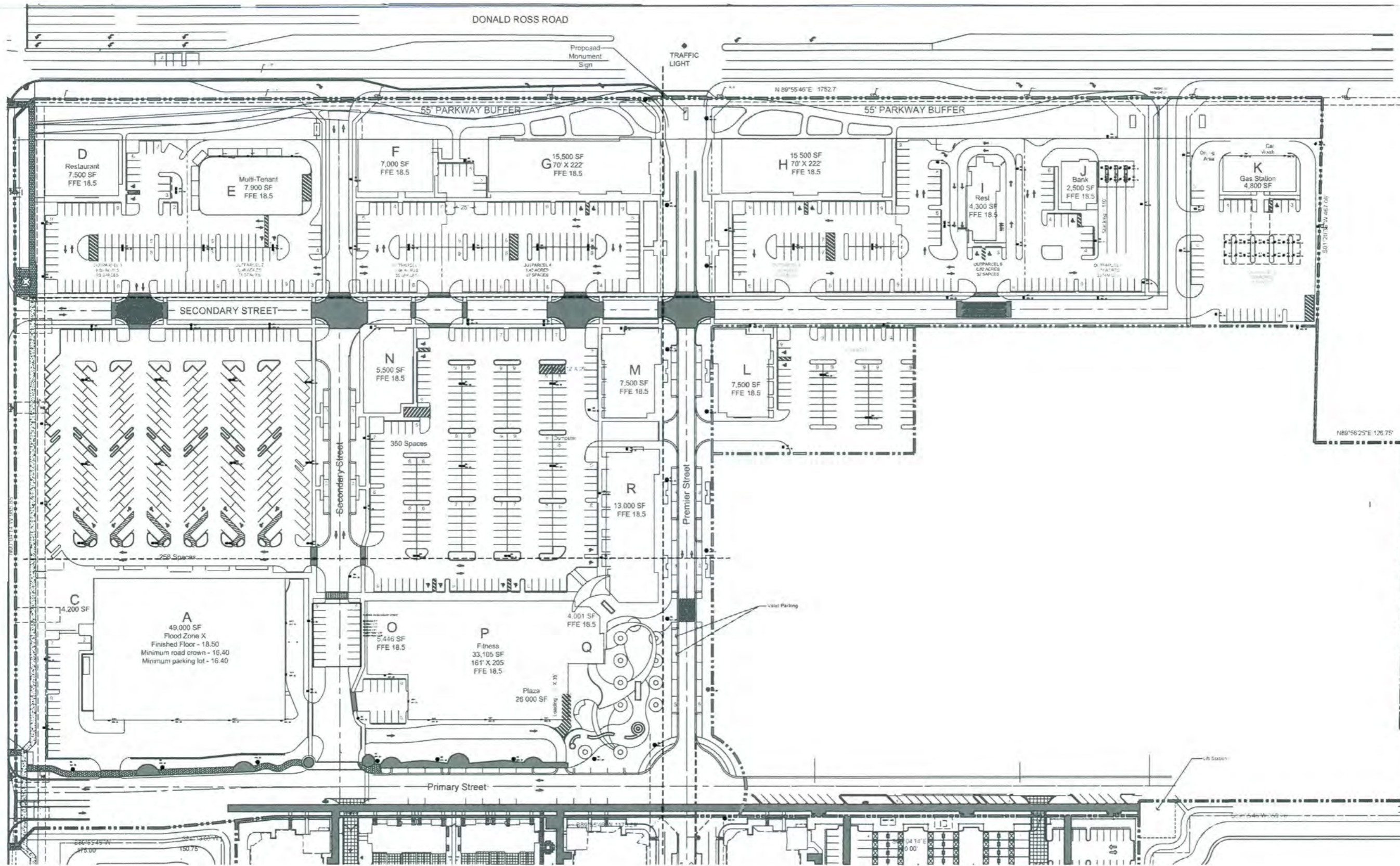
Revisions:	
1 REVISION TO SUBMITTAL	07.20.16

Project no: 13273
Date: 07/10/2015
Drawn by: KM
Project Architect: KM
Partner: KS



Z17.0
ZONING SUBMITTAL

SMALL TRELLIS - PLANS AND ELEVATIONS



Alton Town Center
Prepared for North American Development Group
Palm Beach Gardens, FL
Phase 1 Site Plan



Date: 06-26-15
Project No.: 88-039.20
Designed By: SCM
Drawn By: SCM
Checked By: KT

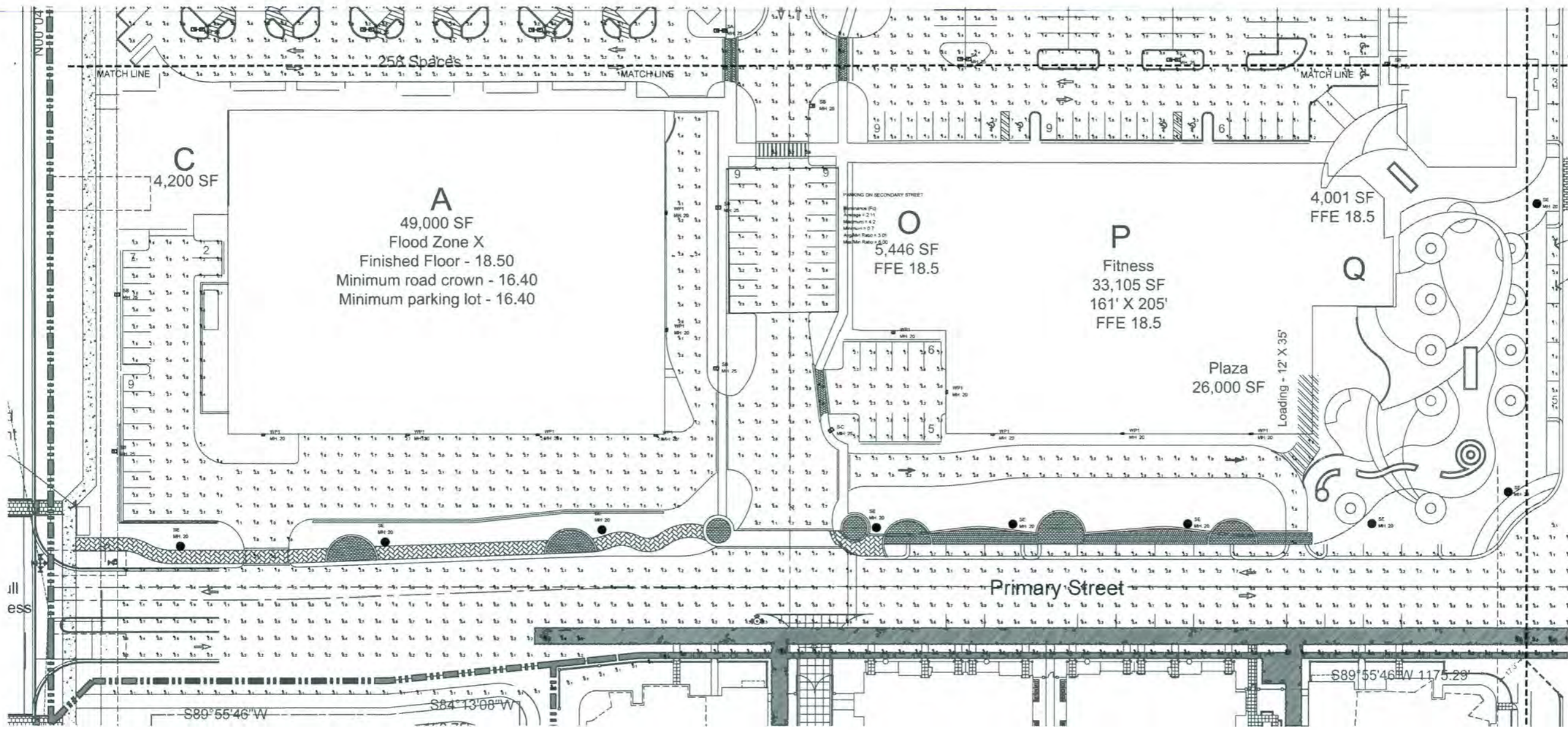
Revision Dates:
06-05-15 SCM

GENERAL VIEW
SCALE 1" = 60'-0"

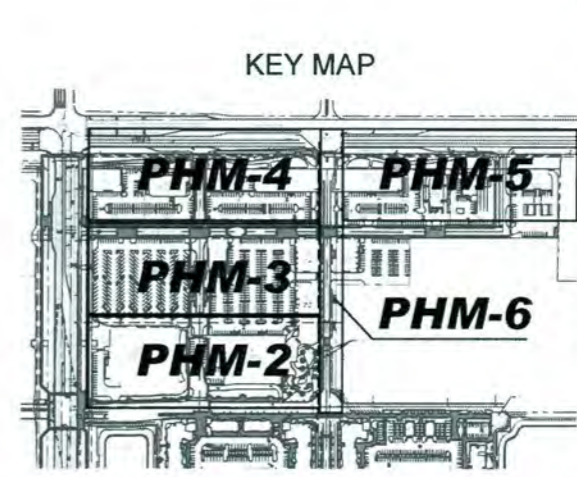
E&C Job # 15-2569			
ISSUE & REVISIONS			
#	DATE	DESCRIPTION	INL. APP.
0	7.10.15	ORIGINAL RELEASE	ESH

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Eduardo (Ed) Samour, P.E.
Registered Electrical Engineer
P.E. # 41186
Date:



N PHOTOMETRIC PLAN (PARTIAL VIEW)
SCALE 1" = 30'-0"



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Alton Town Center
Prepared for North American Development Group
Palm Beach Gardens, FL
Phase 1 Site Plan



Date: 06-26-15
Project No.: 88-039.20
Designed By: SCM
Drawn By: SCM
Checked By: KT

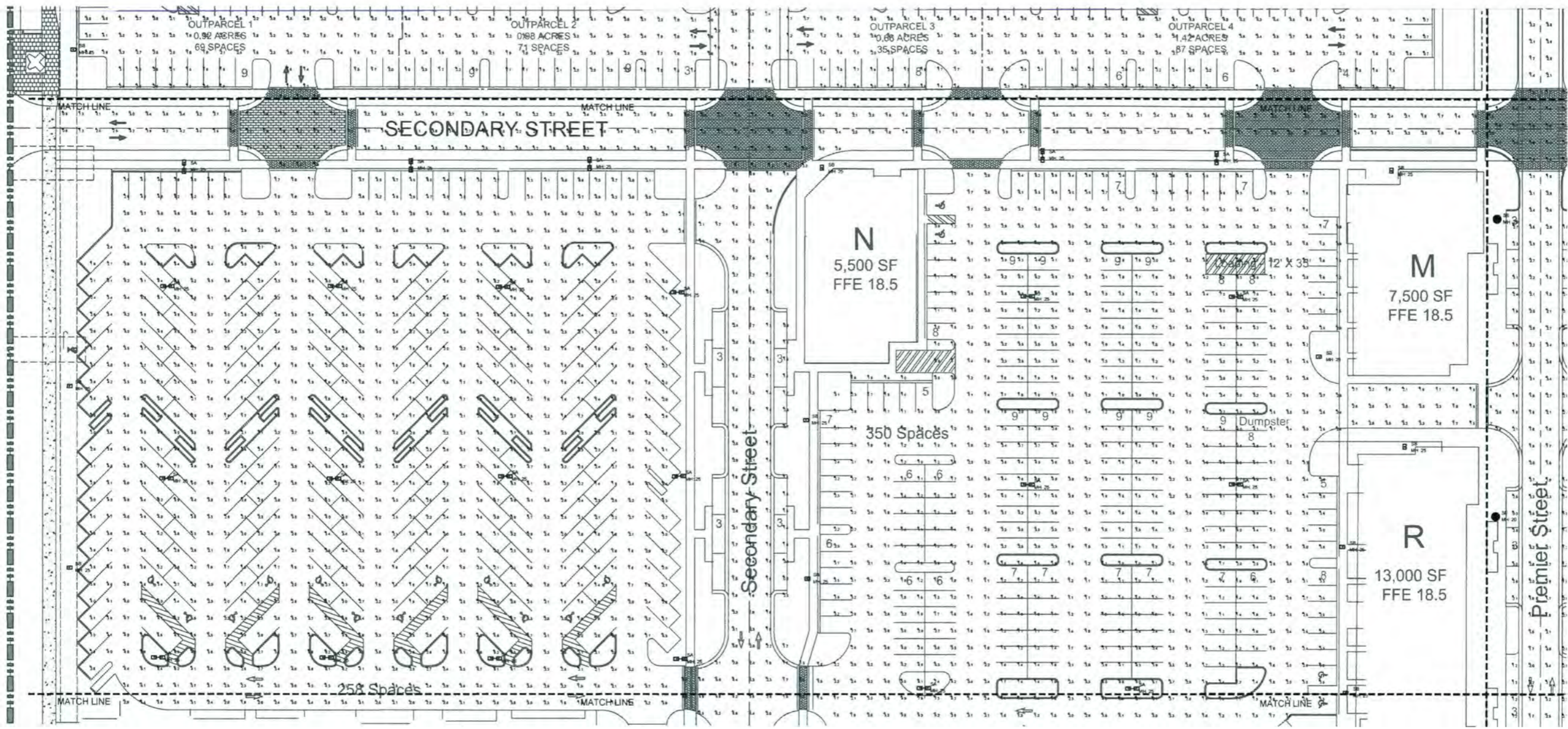
Revision Dates:
06-03-15 SCM

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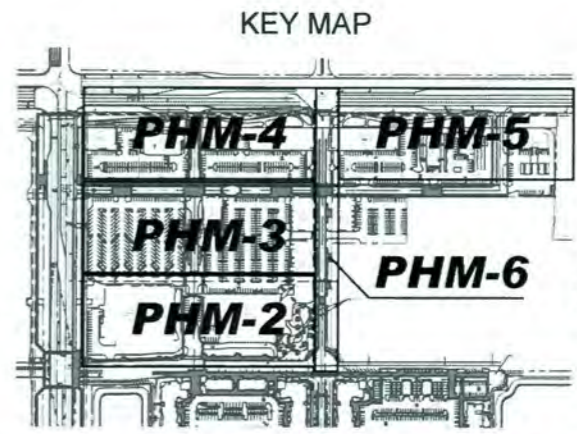
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Eduardo (Ed) Samour, P.E.
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P.E. # 41186
Date: _____

Alton Town Center
Prepared for North American Development Group
Palm Beach Gardens, FL
Phase 1 Site Plan



N PHOTOMETRIC PLAN (PARTIAL VIEW)
SCALE 1" = 30'-0"



Date: 06-26-15
Project No.: 88-039.20
Designed By: SCM
Drawn By: SCM
Checked By: KT

Revision Dates:

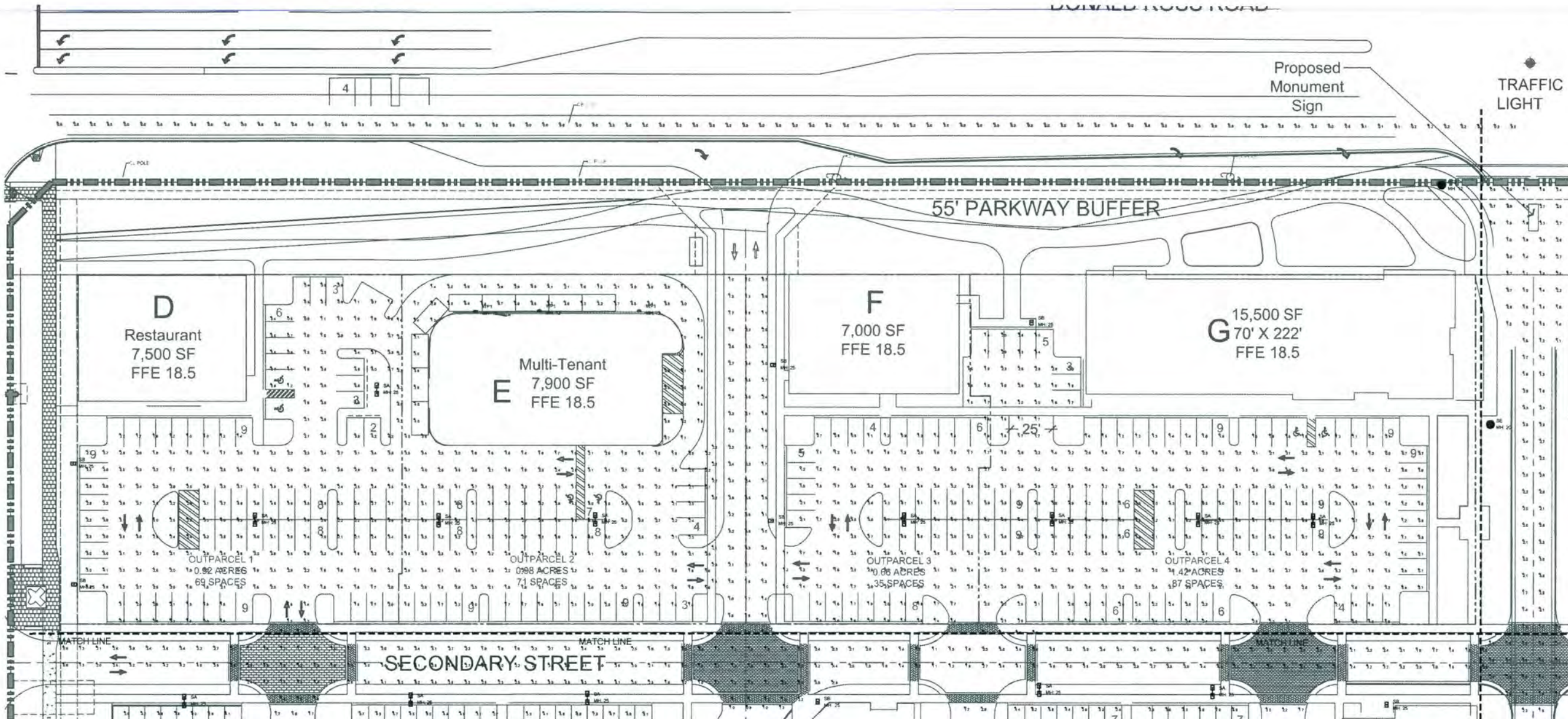
06-03-15	SCM

E&C Job # 15-2569

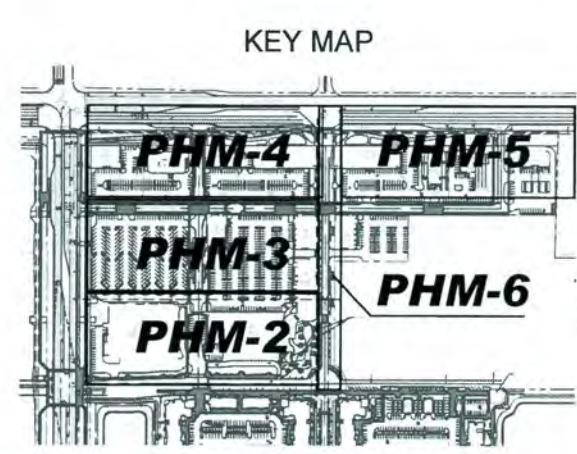
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N PHOTOMETRIC PLAN (PARTIAL VIEW)
SCALE 1" = 30'-0"



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Prepared for North American Development Group
Palm Beach Gardens, FL
Phase 1 Site Plan



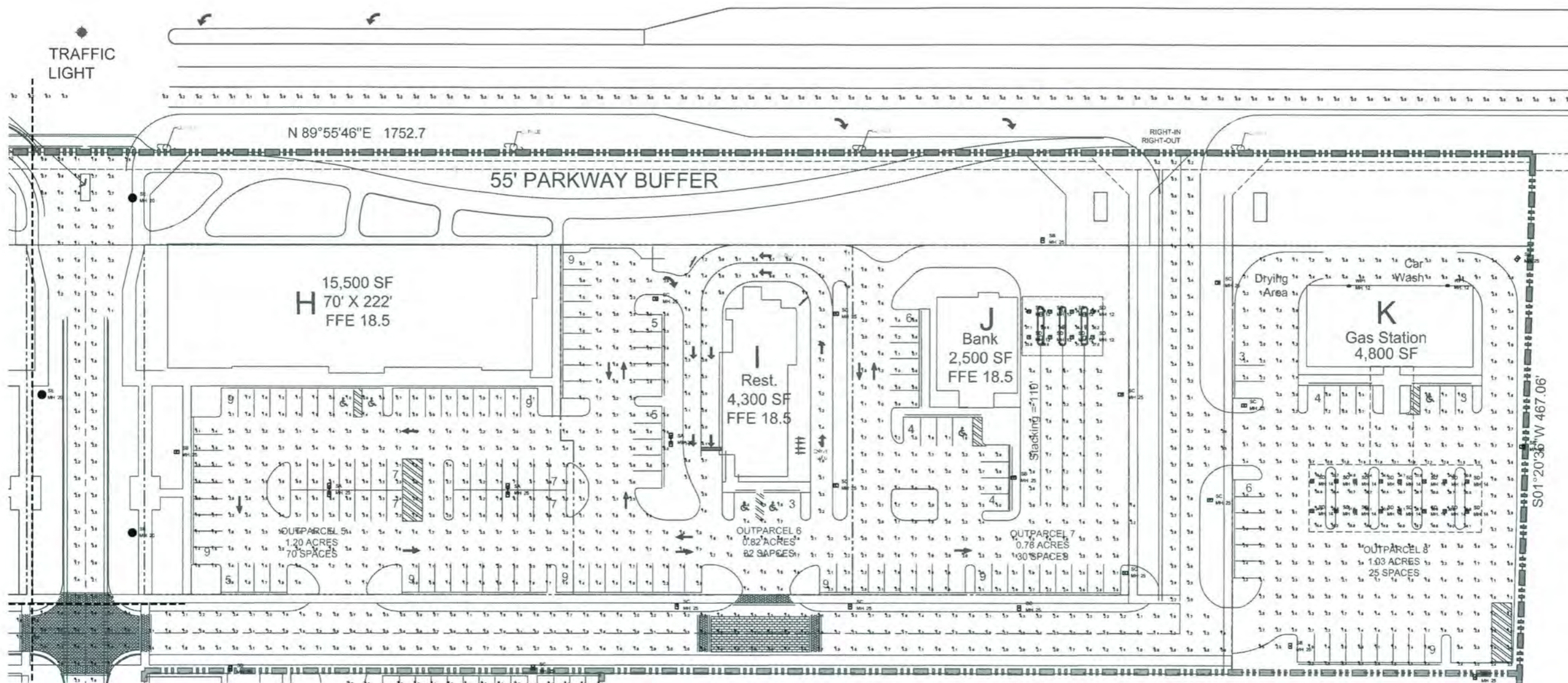
Date: 06-25-15
Project No.: 88-039.20
Designed By: SCM
Drawn By: SCM
Checked By: KT

Revision Dates:
06-03-15 SCM

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#	DATE	DESCRIPTION	INL	APP
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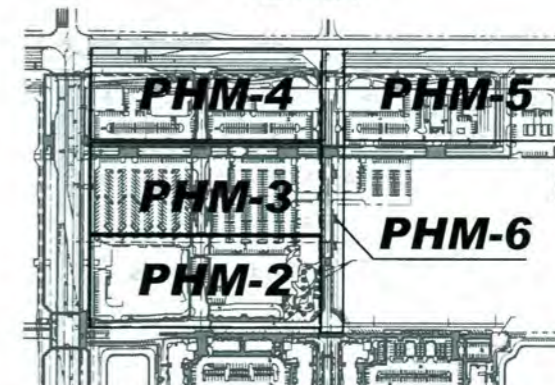
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N PHOTOMETRIC PLAN (PARTIAL VIEW)
SCALE 1" = 30'-0"

KEY MAP



Date: 06-26-15
Project No.: 88-039.20
Designed By: SCM
Drawn By: SCM
Checked By: KT

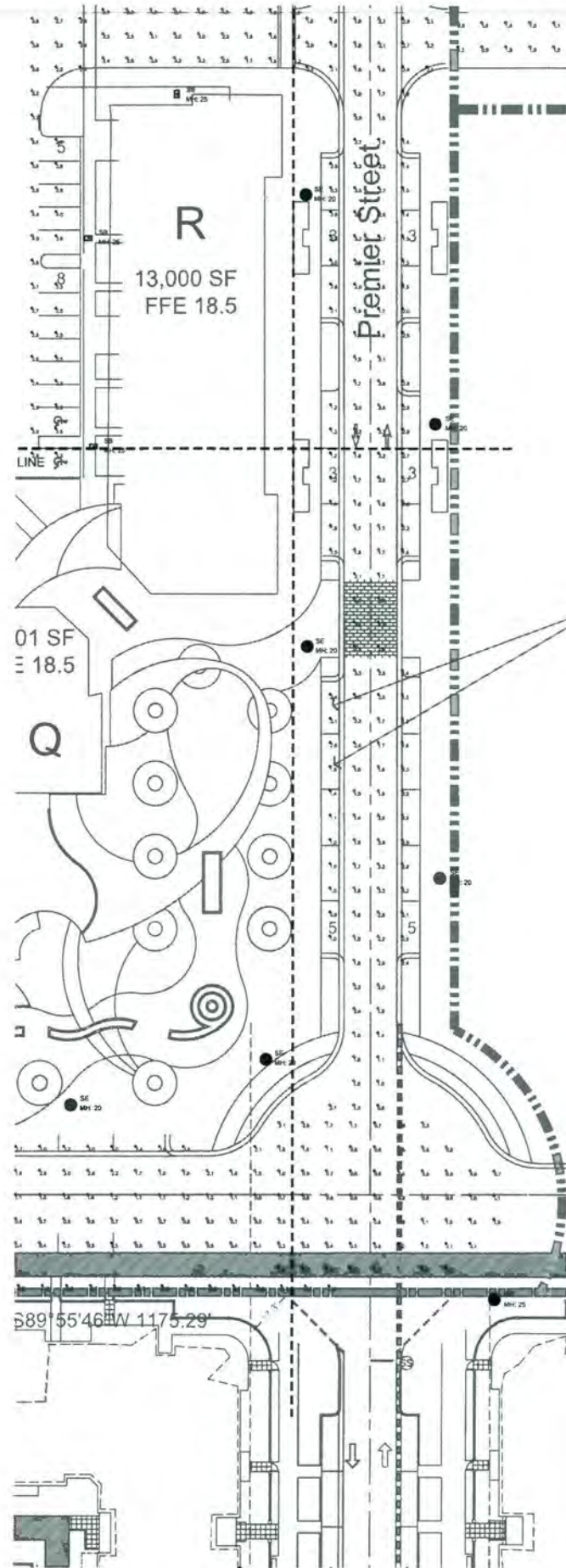
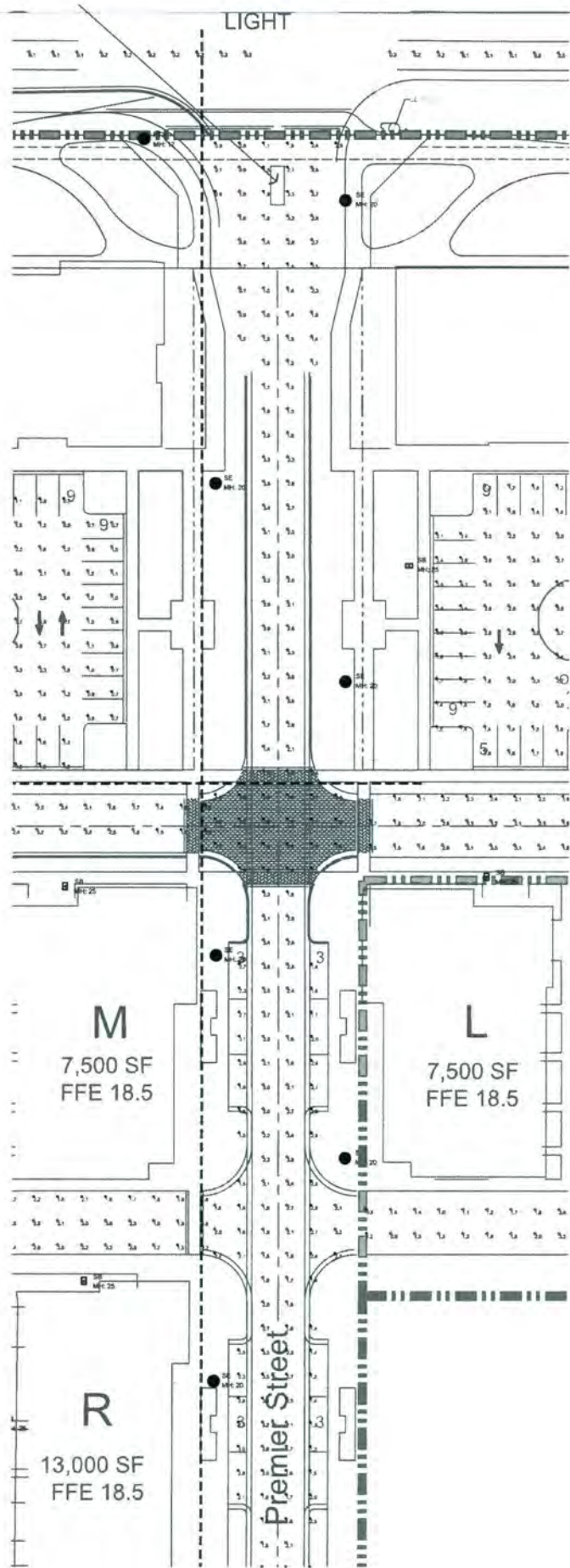
Revision Dates:
06-03-15 SCM

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Eduardo (Ed) Samour, P.E.
Registered Electrical Engineer
P.E. # 41186

Date: _____



Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Lum. Watts	AV. Watt
●	28	RFT	SINGLE	N/A	0.800	PPE-1780LED-SV1-4A18M5BRAD OR PART OF SDR PEDESTRIAN PATH	148	148
●	28	SB	SINGLE	N/A	0.800	SL742-CA-180-4514F480US	230.2	230.2
●	13	SC	SINGLE	N/A	0.800	SL742-CA-180-4514F480US	230.2	230.2
●	30	SA	BACK-BACK	N/A	0.800	SL742-CA-180-4514F480US	230.2	419.8
●	10	WPI	SINGLE	N/A	0.800	SL742-CA-180-4514F480US	81	81
●	24	SD	SINGLE	N/A	1.100	PARETO1780LED-SV1-4A18M5BRAD	81	81
●	18	SE	TWIN	N/A	0.800	CUTOFF FUTURE TO BE SELECTED BY OWNER	145.0	261.2

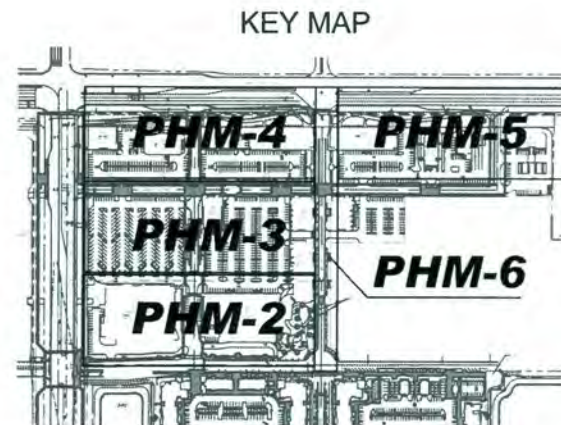
Label	Calc Type	Units	Avg	Max	Min	Avg/MW	Max/MW
ACCESS BETWEEN PARCELS M AND R	Bumance	FC	2.23	2.8	1.5	1.54	2.28
BANK DRIVE THROUGH	Bumance	FC	30.99	20.7	23.8	1.30	1.50
DONALD ROSS RD	Bumance	FC	0.52	0.3	0.0	N/A	N/A
DRIVE THROUGH BLOCK E	Bumance	FC	2.28	0.5	0.5	0.76	13.20
EAST SECONDARY ROAD	Bumance	FC	1.20	0.3	0.2	0.75	21.50
EAST WEST SECONDARY STREET	Bumance	FC	2.50	0.3	0.8	3.13	7.88
FITNESS PARKING	Bumance	FC	2.37	0.7	0.7	3.07	15.86
FITNESS REAR PARKING	Bumance	FC	2.53	1.5	2.0	1.52	1.95
FITNESS REAR PARKING 1	Bumance	FC	2.28	1.2	1.1	2.07	2.87
GAS STATION CANOPY	Bumance	FC	24.78	33.1	10.4	1.81	2.20
PARCELS DRIVE THROUGH	Bumance	FC	2.18	1.2	0.8	3.30	12.20
PARKING PARCELS E AND D	Bumance	FC	2.71	0.2	0.4	0.78	23.50
PARKING PARCELS F AND G	Bumance	FC	2.80	0.1	0.7	4.00	13.50
PARKING PARCELS I AND J	Bumance	FC	2.27	0.1	0.8	4.20	14.00
PARKING PARCELS K AND L	Bumance	FC	1.35	0.2	0.5	1.38	12.40
PARKING PARCELS M	Bumance	FC	2.08	10.8	0.3	0.87	42.30
PARKING PARCELS N	Bumance	FC	2.25	0.5	0.4	0.83	21.25
PREMIER STREET	Bumance	FC	2.07	1.9	0.3	4.00	12.81
PRIMARY STREET	Bumance	FC	1.17	1.7	0.1	11.70	37.50
PUBLIC EAST ALLEYWAY	Bumance	FC	2.53	4.5	1.2	2.11	3.75
PUBLIC PARKING	Bumance	FC	1.22	0.9	1.4	2.30	0.97
PUBLIC REAR LOADING AREA	Bumance	FC	1.70	1.2	0.8	2.15	4.20
PUBLIC REAR PARKING	Bumance	FC	2.08	1.7	0.6	1.48	8.17
RECREATIONAL PROPERTY LINE	Bumance	FC	2.11	0.5	0.0	N/A	N/A
SECONDARY STREET	Bumance	FC	2.18	0.9	0.8	1.80	11.20
SECONDARY STREET 1	Bumance	FC	2.19	3.5	0.7	3.13	5.00
PARKING ON SECONDARY STREET	Bumance	FC	2.11	4.2	0.7	3.01	8.00

PHOTOMETRIC PLAN (PARTIAL VIEW)
SCALE 1" = 30'-0"

E&C Job # 15-2569			
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Eduardo (Ed) Samour, P.E.
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 Palm Beach Gardens, FL
 Phase 1 Site Plan

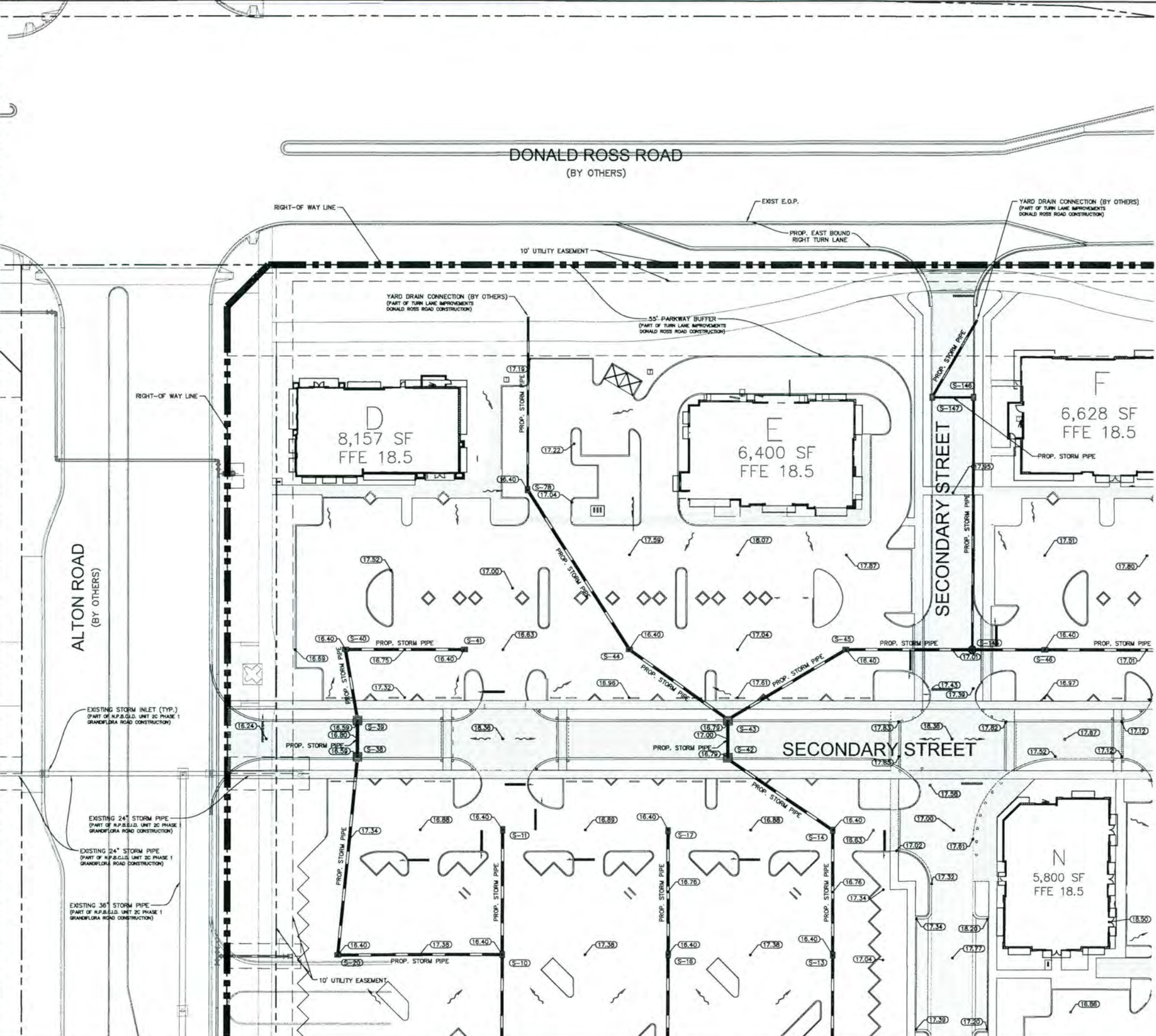


Date: 06-26-15
 Project No.: 88-039.20
 Designed By: SCM
 Drawn By: SCM
 Checked By: KT

Revision Dates:
 06-03-15 SCM

PHM-6
 of 7

Plotted By: Howard, Daniel - Sheet: Sct. Alton Town Center - Layout: C2.00 PAVING, GRADING AND DRAINAGE PLAN - September 19, 2016 - 02:32:00pm - K:\bocd_cad\144981000 - dlt\ton_loan_center\ACADD\discosheets\C2.00 PAVING, GRADING AND DRAINAGE PLAN.dwg
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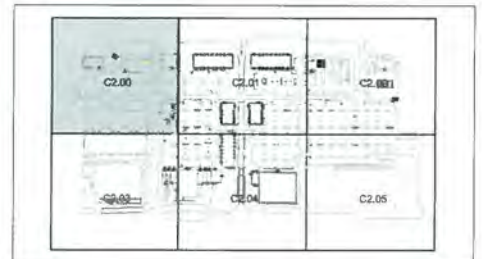


PAVING, GRADING, AND DRAINAGE NOTES:

1. DRAINAGE STRUCTURES SHALL BE CONSTRUCTED USING U.S. PRECAST (USP), U.S. FOUNDRY (USF), OR FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD (FDOT) PRODUCTS AS SPECIFIED, OR APPROVED EQUAL.
2. ALL STORM STRUCTURES SHALL HAVE A MINIMUM 18" SUMP.
3. ALL STORM PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP) OR HIGH DENSITY POLY-ETHYLENE (HDPE) PIPE.
4. ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURES UNLESS OTHERWISE NOTED.
5. THE CROSS SLOPE ON ADA ACCESSIBLE ROUTES SHALL NOT EXCEED 2.0%. THE LONGITUDINAL SLOPE ON ADA ACCESSIBLE ROUTES (NOT INCLUDING RAMPS) SHALL NOT EXCEED 5.0%. THE LONGITUDINAL SLOPE FOR RAMPS SHALL NOT EXCEED 12:1 (8.3%).
6. PROPOSED ELEVATIONS IN ALL PERVIOUS AREAS REPRESENT FINISHED TOP OF SOG/GRASS OR ANY OTHER LANDSCAPING MATERIAL.
7. ALL ROOF LEADERS SHALL BE PVC SDR-35 AND SHALL HAVE A MINIMUM OF 1% SLOPE, UNLESS OTHERWISE NOTED.
8. CONTRACTOR SHALL PROVIDE ALL FITTINGS, COUPLINGS, OR ADAPTERS NECESSARY TO CONNECT TO THE BUILDING PLUMBING AND TO CONNECT ROOF LEADERS TO THE MAIN STORM LINES.
9. CONTRACTOR SHALL SUPPORT AND PROTECT ALL EXISTING AND PROPOSED UTILITIES WHEN CONSTRUCTING NEW DRAINAGE STRUCTURES AND PIPES.

LEGEND

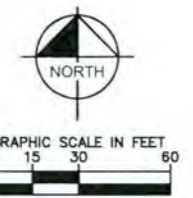
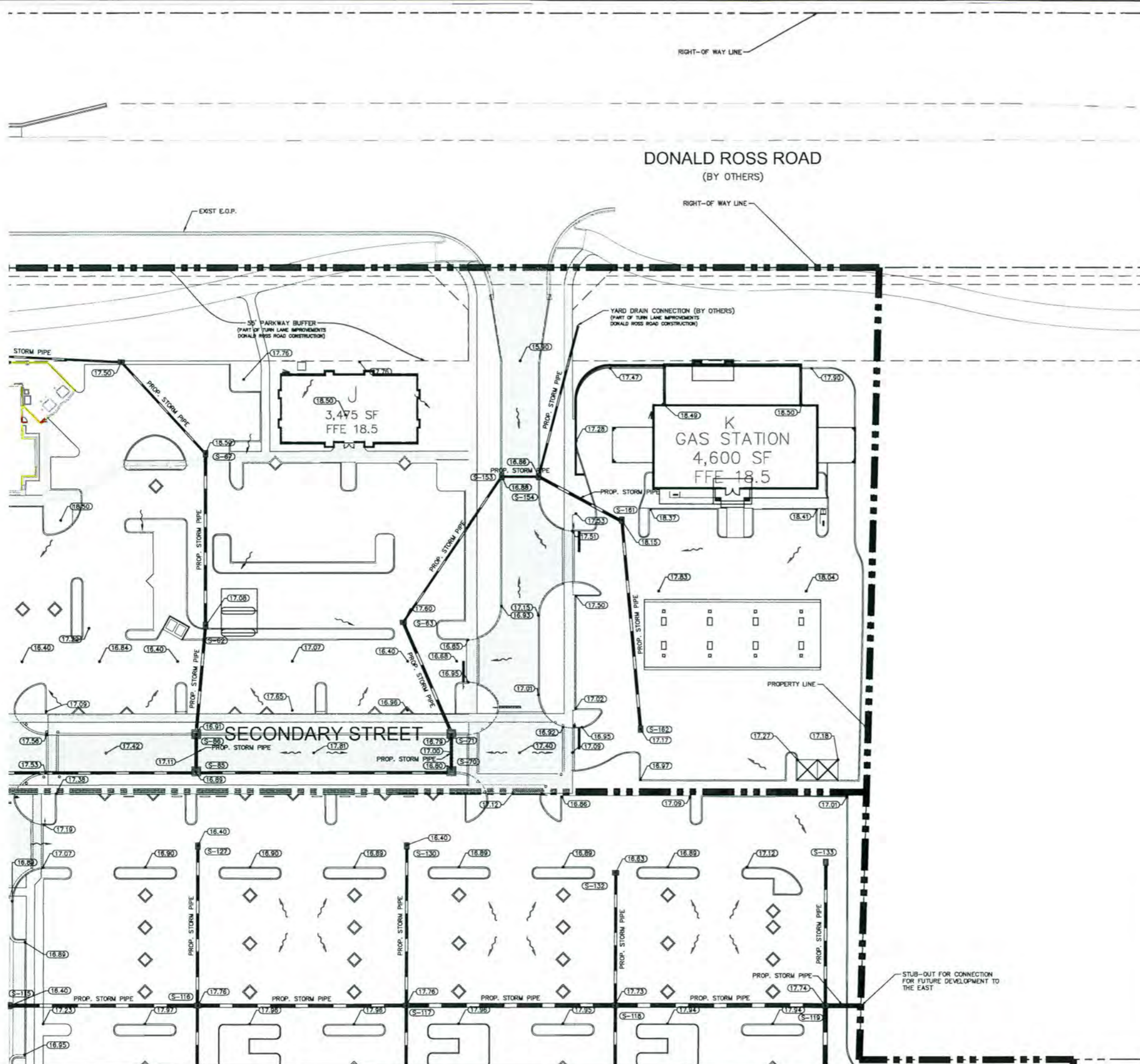
- — — — — PROPERTY LINE AND/OR RIGHT-OF-WAY LINE
- - - - - PROPOSED BUILDING OUTLINE
- ▭ PROP. ASPHALT PAVEMENT AND DRIVE CONSTRUCTION
- ▭ PROP. SIDEWALK
- EXIST. GRADE ELEVATION (NAVD)
- PROP. GRADE ELEVATION (NAVD)
- PROP. FLOW/SLOPE ARROW
- S-1 STRUCTURE NUMBER



SHEET MAP
N.T.S.

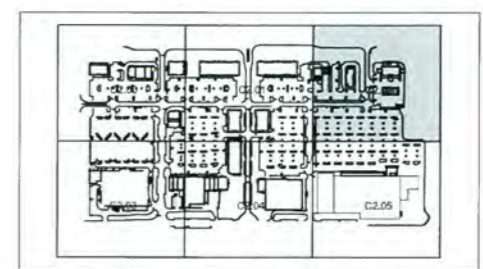
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		PROJECT: ALTON TOWN CENTER PREPARED FOR: NORTH AMERICAN DEVELOPMENT GROUP PALM BEACH GARDENS, FL	
PAVING GRADING AND DRAINAGE PLAN		SHEET NUMBER C2.00	
REVISIONS No. _____ DATE _____		DATE _____	

Printed By: Howard, Donal - Sheet: Sal Alton Town Center - Layout: C2 02 PAVING, GRADING, AND DRAINAGE PLAN - September 19, 2016 02:13:03pm - c:\p\d\alton\144981000 - alton_low_center\cadd\plotsheets\C2 02 PAVING, GRADING, AND DRAINAGE PLAN.dwg
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 7. ALL ROOF LEADERS SHALL BE PVC SDR-35 AND SHALL HAVE A MINIMUM OF 1% SLOPE, UNLESS OTHERWISE NOTED.
 8. CONTRACTOR SHALL PROVIDE ALL FITTINGS, COUPLINGS, OR ADAPTERS NECESSARY TO CONNECT TO THE BUILDING PLUMBING AND TO CONNECT ROOF LEADERS TO THE MAIN STORM LINES.
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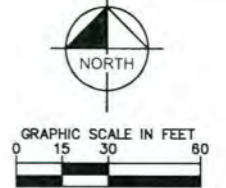
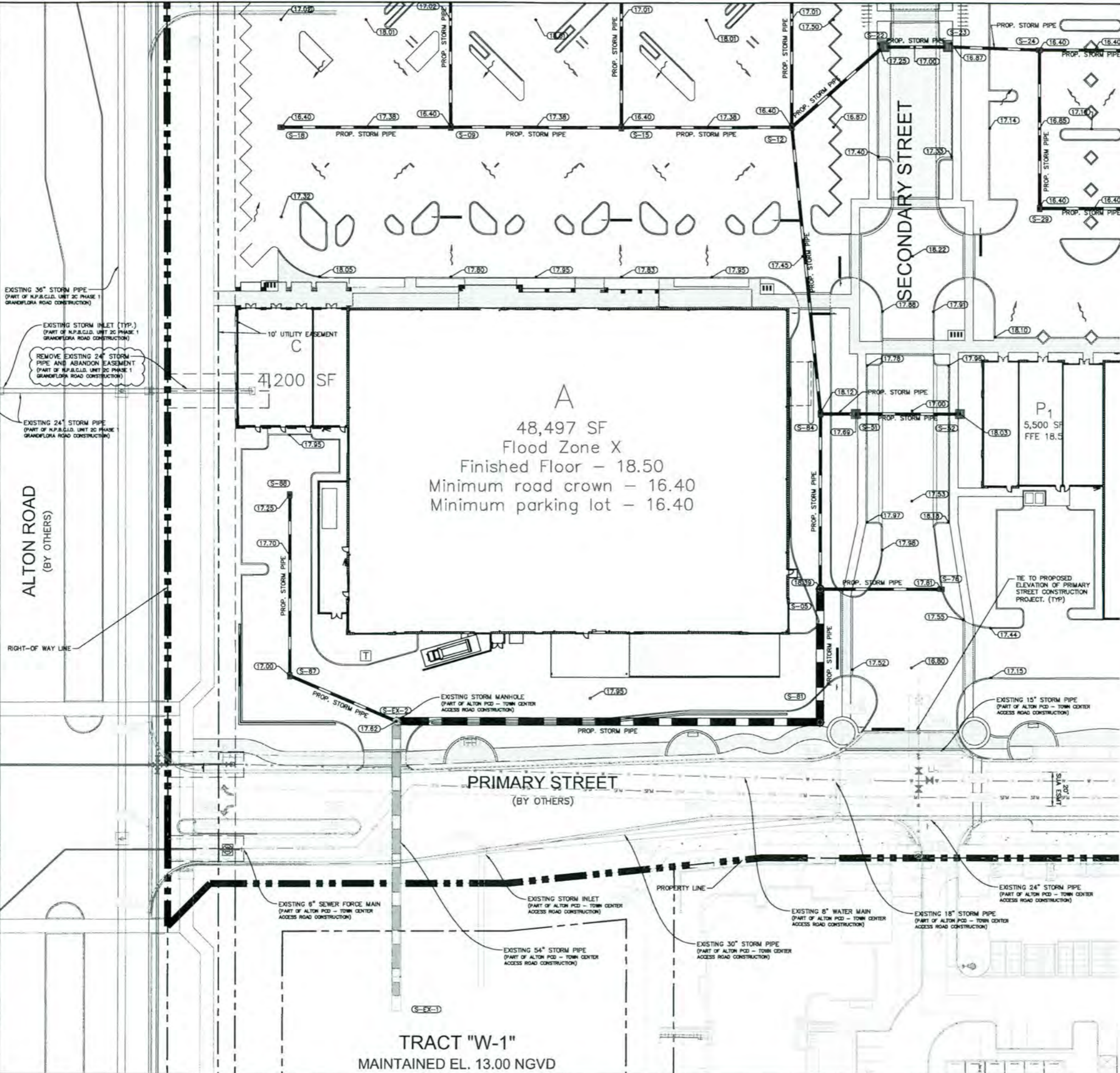
- LEGEND**
- — — — — PROPERTY LINE AND/OR RIGHT-OF-WAY LINE
 - - - - - PROPOSED BUILDING OUTLINE
 - [Hatched Box] PROP. ASPHALT PAVEMENT AND DRIVE CONSTRUCTION
 - [Dotted Box] PROP. SIDEWALK
 - [Wavy Line] EXIST. GRADE ELEVATION (NAVD)
 - [Number in Circle] PROP. GRADE ELEVATION (NAVD)
 - [Arrow] PROP. FLOW/SLOPE ARROW
 - [S-1] STRUCTURE NUMBER



SHEET MAP
N.T.S.

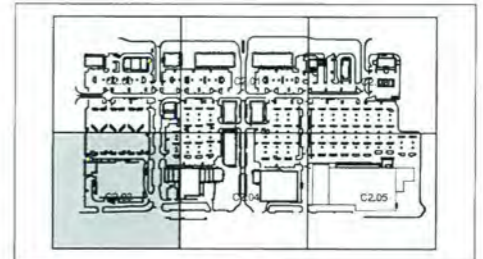
<p>ALTON TOWN CENTER PREPARED FOR NORTH AMERICAN DEVELOPMENT GROUP PALM BEACH GARDENS, FL</p>	<p style="text-align: center;">Kimley»Horn</p> <p style="text-align: center;">MICHAEL J. SCHWARTZ, P.E. Professional Engineer No. 56200 Date: 9-19-16</p> <p style="text-align: center;">KIMLEY-HORN AND ASSOCIATES, INC. 1890 S. CONGRESS AVE., SUITE 100, DELRAY BEACH, FL 33445 TEL: 561-330-2345 FAX: 561-863-8175 WWW.KIMLEY-HORN.COM CA 00000696</p>						
<p>PAVING GRADING AND DRAINAGE PLAN</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">KHA PROJECT 144981000</td> <td style="width: 50%;">DATE SEPT. 2016</td> </tr> <tr> <td>SCALE AS SHOWN</td> <td>DESIGNED BY JRE</td> </tr> <tr> <td>DRAWN BY JRE</td> <td>CHECKED BY MFS</td> </tr> </table>	KHA PROJECT 144981000	DATE SEPT. 2016	SCALE AS SHOWN	DESIGNED BY JRE	DRAWN BY JRE	CHECKED BY MFS
KHA PROJECT 144981000	DATE SEPT. 2016						
SCALE AS SHOWN	DESIGNED BY JRE						
DRAWN BY JRE	CHECKED BY MFS						
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- PROPERTY LINE AND/OR RIGHT-OF-WAY
 - - - PROPOSED BUILDING OUTLINE
 - PROP. ASPHALT PAVEMENT AND DRIVE CONSTRUCTION
 - PROP. SIDEWALK
 - EXIST. GRADE ELEVATION (NAVD)
 - PROP. GRADE ELEVATION (NAVD)
 - PROP. FLOW/SLOPE ARROW
 - S-1 STRUCTURE NUMBER



NO.	REVISIONS	DATE

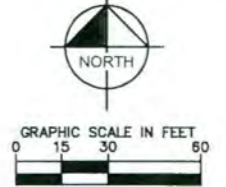
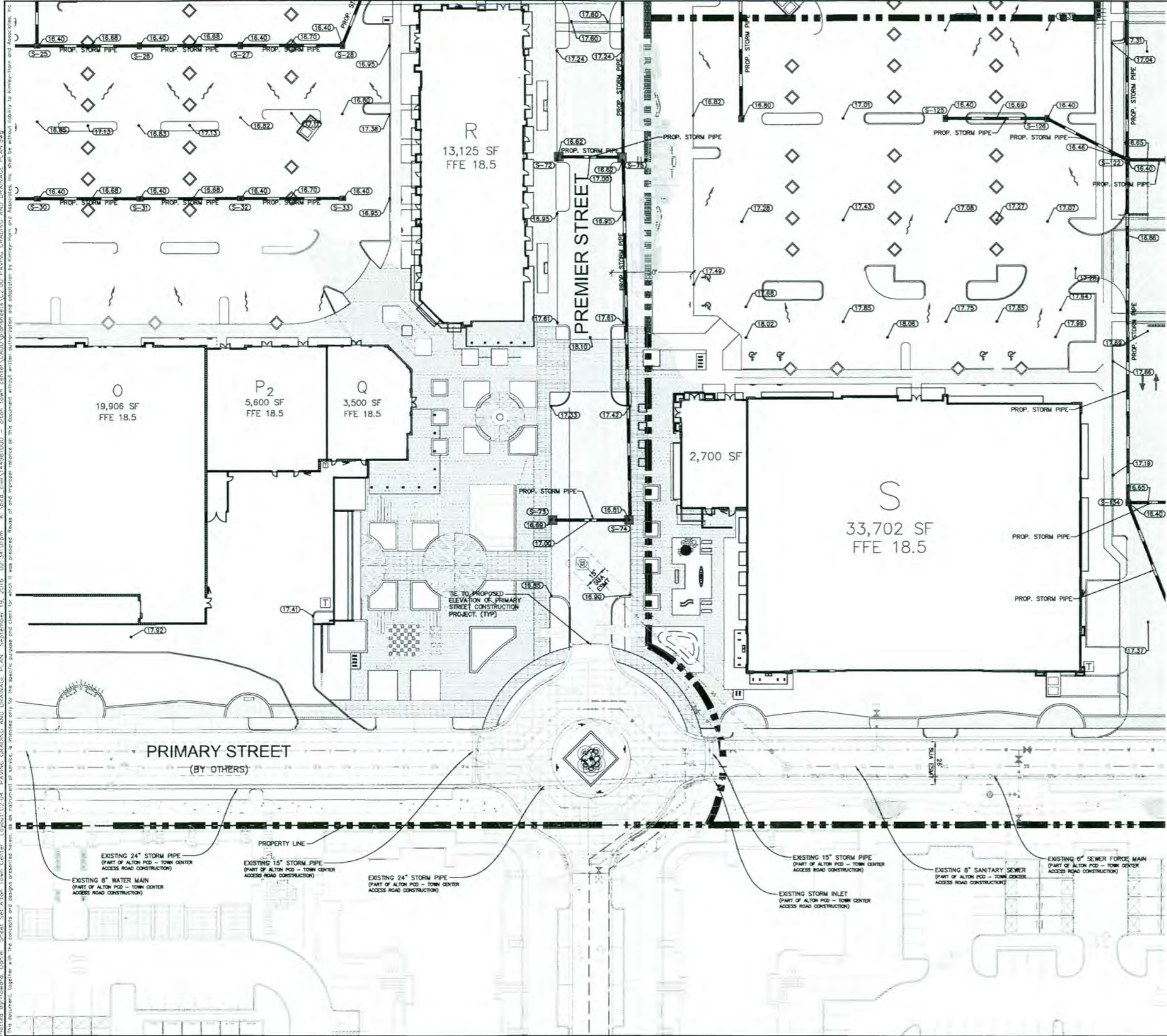
Kimley»Horn
 LICENSED PROFESSIONAL ENGINEER
 MICHAEL SCHWARTZ, P.E.
 PROJECT NO. 144981000
 DATE: SEPT. 2016
 SCALE: AS SHOWN
 DESIGNED BY: [Signature]
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 1680 W. DELRAY BEACH, FL 33445
 56200
 9-19-16

ALTON TOWN CENTER
 PREPARED FOR
NORTH AMERICAN DEVELOPMENT GROUP
 PALM BEACH GARDENS, FL

PAVING GRADING AND DRAINAGE PLAN

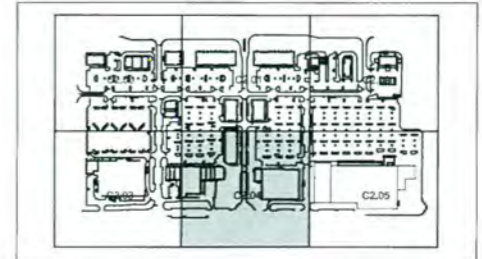
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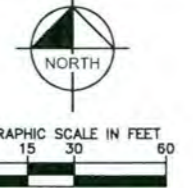
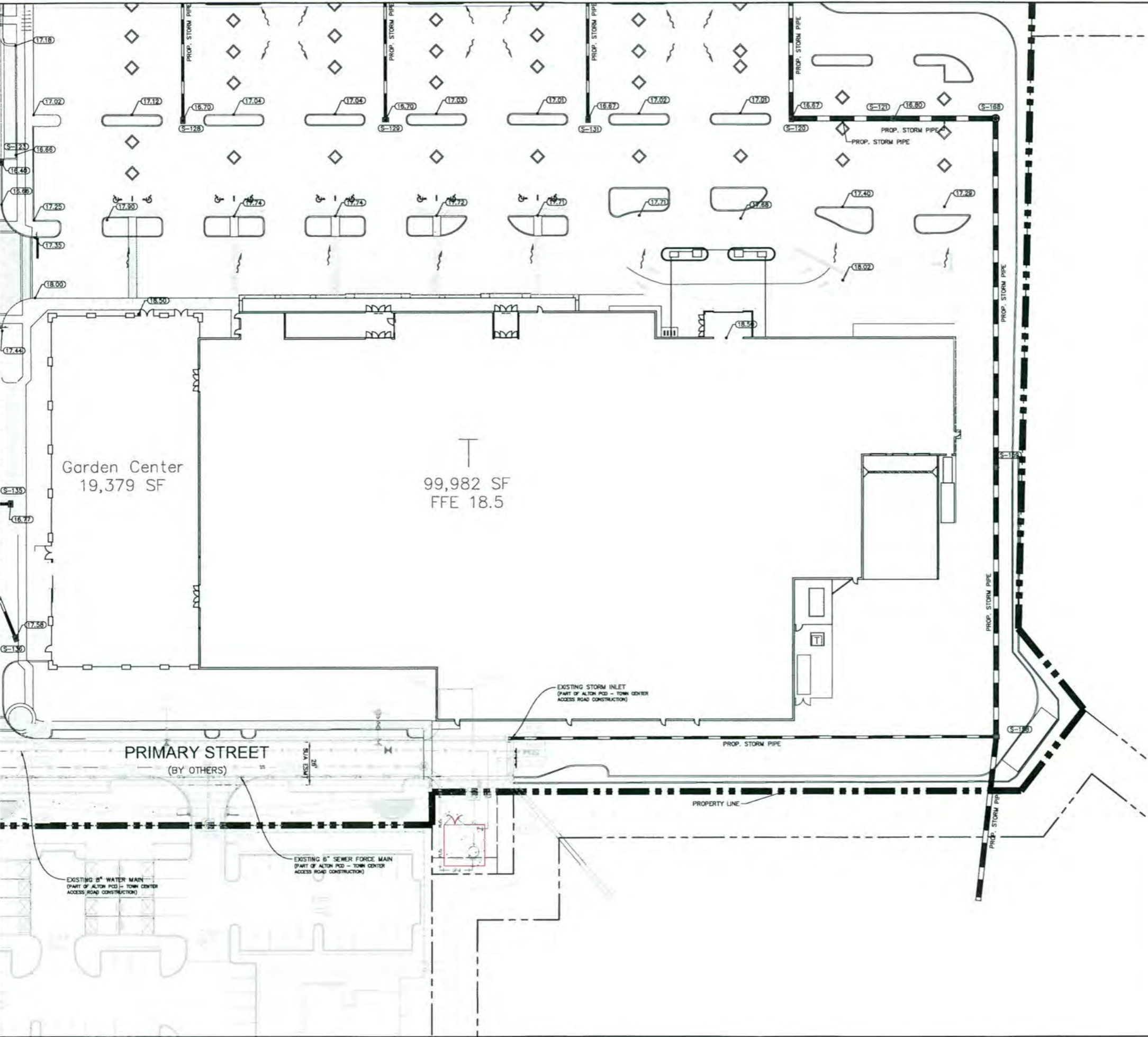
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- — — — — PROPERTY LINE AND/OR RIGHT-OF-WAY
 - - - - - PROPOSED BUILDING OUTLINE
 - ▭ PROP. ASPHALT PAVEMENT AND DRIVE CONSTRUCTION
 - ▭ PROP. SIDEWALK
 - — — — — EXIST. GRADE ELEVATION (NAVD)
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 - S-1 STRUCTURE NUMBER



SHEET MAP
N.T.S.

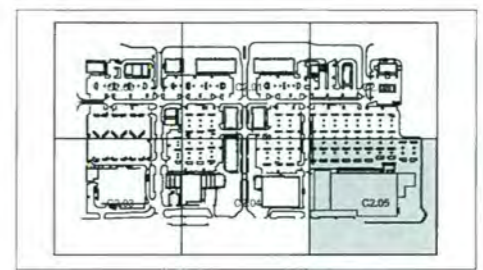
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	REVISIONS
	No.
<p> <small> 2016 KIMLEY-HORN AND ASSOCIATES, INC. 1690 S GRADY AVENUE, SUITE 100, DELRAY BEACH, FL 33445 PHONE: 561-330-2345 FAX: 561-863-8175 WWW.KIMLEY-HORN.COM CA 00008986 </small> </p>	
<p> PAVING GRADING AND DRAINAGE PLAN </p>	
<p> ALTON TOWN CENTER PREPARED FOR NORTH AMERICAN DEVELOPMENT GROUP PALM BEACH GARDENS, FL </p>	
<p> SHEET NUMBER C2.04 </p>	

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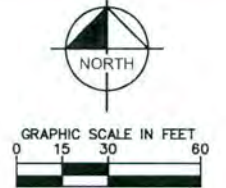
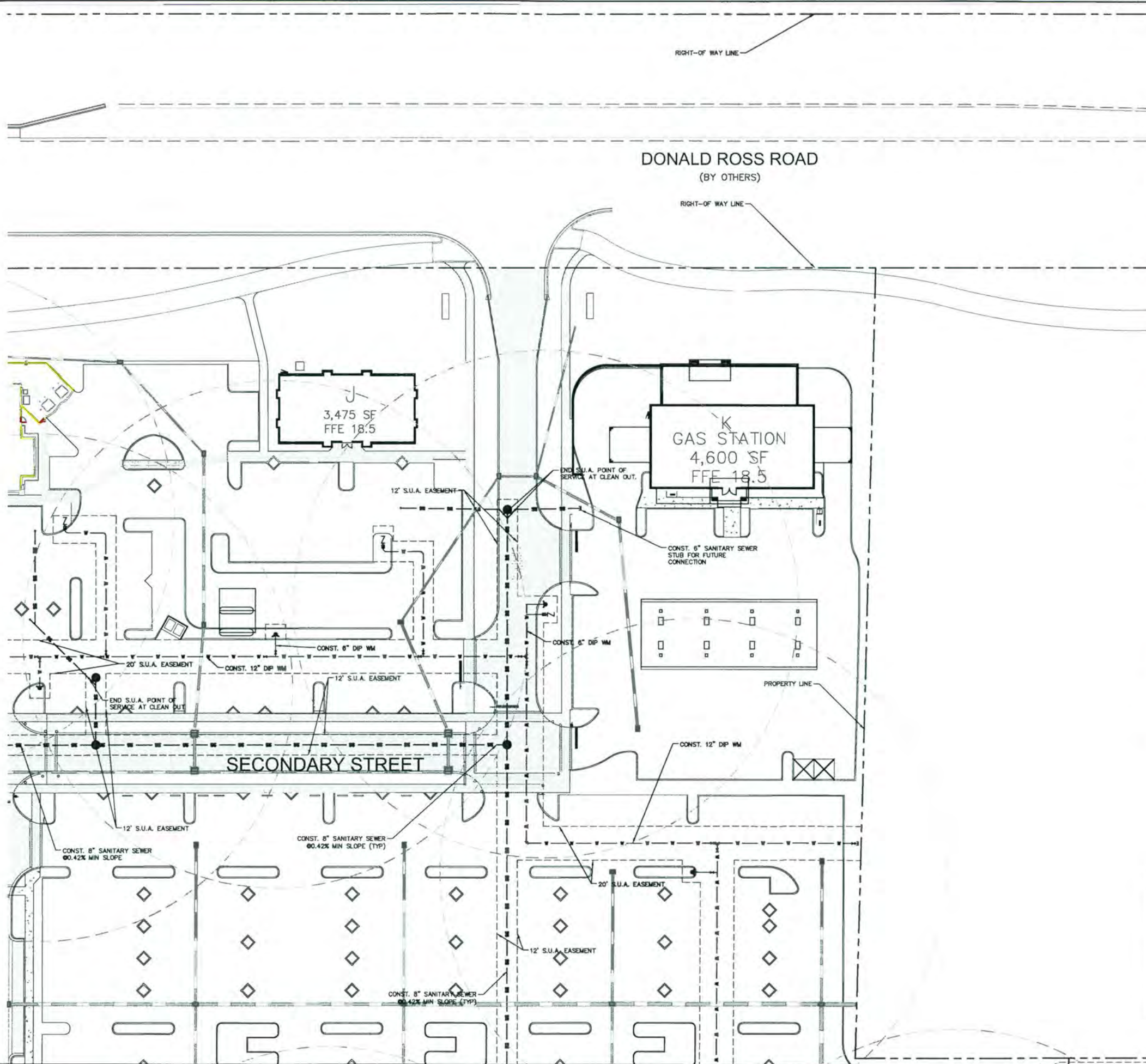
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 - PROP. GRADE ELEVATION (NAVD)
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SHEET MAP
N.T.S.

<p>Kimley»Horn</p> <p>2086 KIMLEY-HORN AND ASSOCIATES, INC. 1680 S. PALM BEACH BLVD., SUITE 200 PALM BEACH, FL 33440 PHONE: 561-853-2145 FAX: 561-853-8175 WWW.KIMLEY-HORN.COM CA 00000696</p> <p>PROJECT: ALTON TOWN CENTER DATE: SEP. 1, 2016 SCALE: AS SHOWN DESIGNED BY: MICHAEL F. SCHWARZ, P.E. DRAWN BY: JPH CHECKED BY: MFS</p> <p>56201 E OF 9-19-16</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>REVISIONS</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	REVISIONS	DATE									
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<p>ALTON TOWN CENTER PREPARED FOR NORTH AMERICAN DEVELOPMENT GROUP PALM BEACH GARDENS</p>													
<p>SHEET NUMBER C2.05</p>													

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DONALD ROSS ROAD
(BY OTHERS)

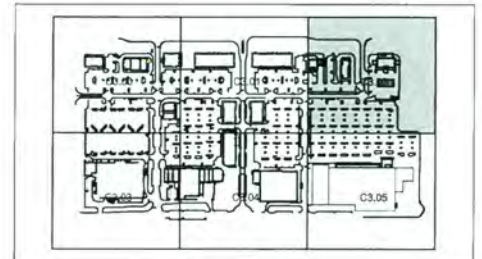
SECONDARY STREET

K
GAS STATION
4,600 SF
FFE 18.5

J
3,475 SF
FFE 18.5

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 3. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH FPL ON ANY WORK IN THE VICINITY OF OVERHEAD OR UNDERGROUND POWER LINES.
 4. CONTRACTOR SHALL VERIFY PROPERTY CLEARANCE BELOW EXISTING OVERHEAD POWER LINES PRIOR TO WORKING WITHIN THE VICINITY OF THE POWER LINES.
 5. ALL WATER MAIN (WM) SHALL BE DIP UNLESS OTHERWISE NOTED.
 6. ALL FIRE MAIN (FM) SHALL BE DIP UNLESS OTHERWISE NOTED. RESTRAIN ALL JOINTS. ALL FIRE MAIN SHALL BE INSTALLED BY A CERTIFIED FIRE SPRINKLER CONTRACTOR.
 7. ALL DUCTILE IRON PIPE (DIP) SHALL BE CLASS 51 UNLESS OTHERWISE NOTED. ALL DIP SHALL BE MARKED PER FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) STANDARDS.
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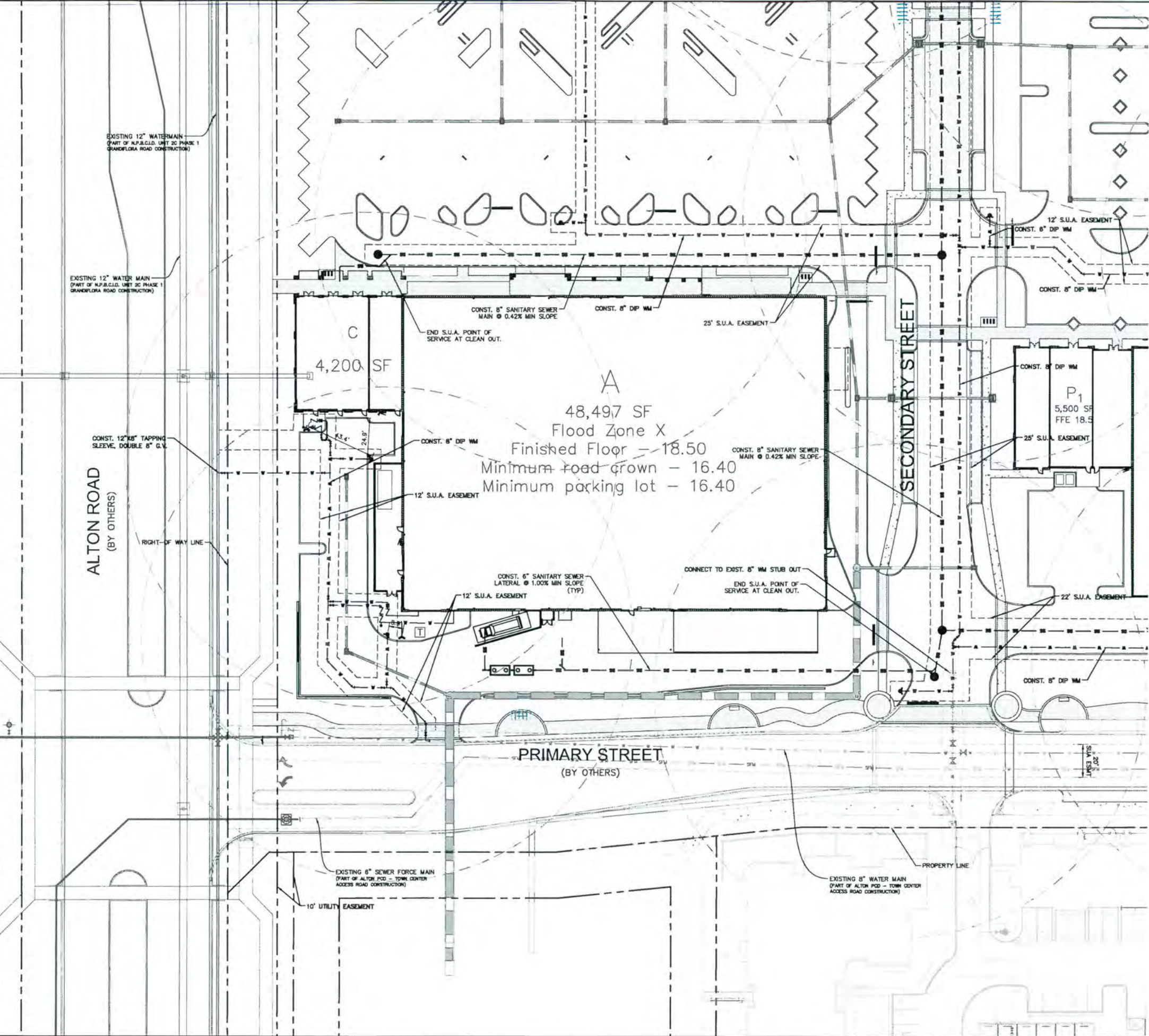
- LEGEND**
- ▲ GATE VALVE
 - ▲ FIRE HYDRANT ASSEMBLY
 - W WATER METER AND RPZ
 - ▨ WATER METER BANK
 - W DDCV, PIV AND FDC
 - SAN. SEWER MANHOLE
 - 1,250 GAL. GREASE TRAP



SHEET MAP
N.T.S.

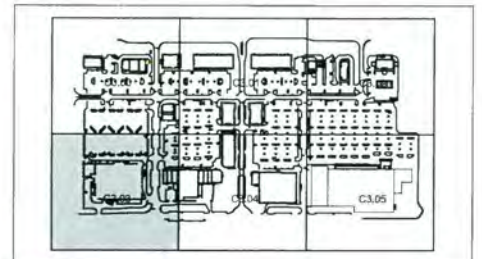
<p>Kimley»Horn</p> <p>2016 KIMBLEY-HORN AND ASSOCIATES, INC. 100 DELRAY BEACH, FL 33445 TEL: 561-350-3333 FAX: 561-350-8175 WWW.KIMBLEY-HORN.COM CA 0000896</p> <p>PROJECT: ALTON TOWN CENTER DATE: SEPT. 2016 SCALE: AS SHOWN DESIGNED BY: MICHAEL V. SCHWAB, P.E. DRAWN BY: JEFFREY L. SCHWAB, P.E. CHECKED BY: W.P. BICE</p> <p>FL LICENSE NUMBER: 9799-16</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>REVISIONS</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> <p style="text-align: center;">WATER AND SEWER PLAN</p> <p>ALTON TOWN CENTER PREPARED FOR NORTH AMERICAN DEVELOPMENT GROUP PALM BEACH GARDENS FL</p> <p>SHEET NUMBER C3.02</p>	NO.	REVISIONS	DATE			
NO.	REVISIONS	DATE					

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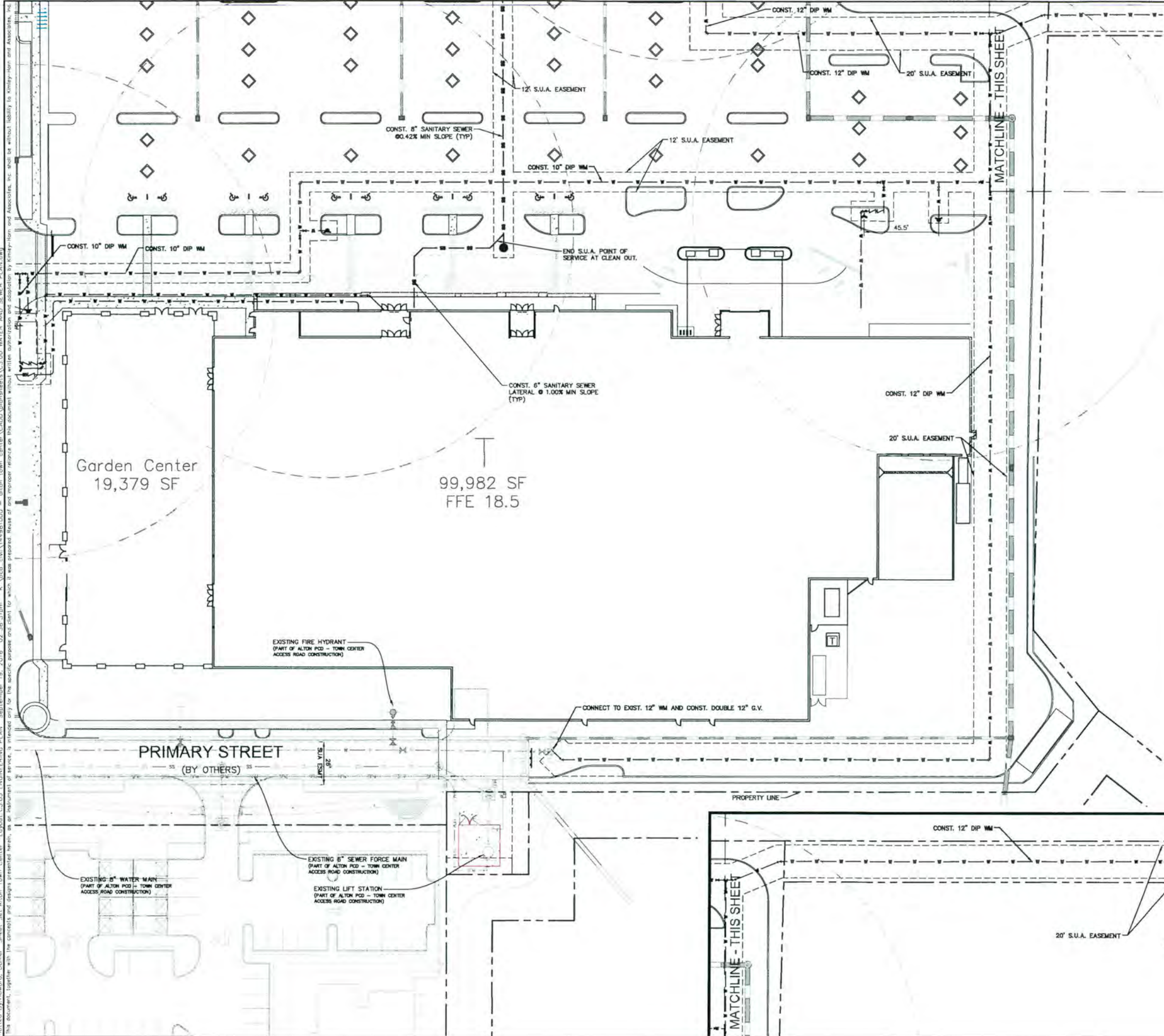
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 - WATER METER BANK
 - DOCV, PIV AND FDC
 - SAN. SEWER MANHOLE
 - 1,250 GAL. GREASE TRAP



SHEET MAP
N.T.S.

<p>Kimley»Horn 2005 W. PALM BEACH BLVD., SUITE 300 BOCA RATON, FL 33445 TEL: 561-991-2345 FAX: 561-991-8175 WWW.KIMLEY-HORN.COM CA 00000998</p>	<p>FLORIDA PROFESSIONAL ENGINEER MICHAEL SCHWARZ LICENSE NO. 56200 DATE: SEPT. 2016 SCALE: AS SHOWN DESIGNED BY: JRH DRAWN BY: JRP CHECKED BY: JRP</p>
<p>WATER AND SEWER PLAN</p>	
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<p>REVISIONS</p>	<p>DATE</p>

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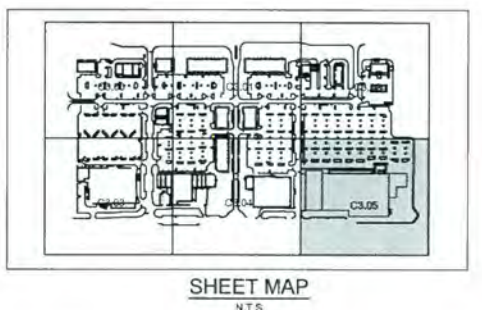
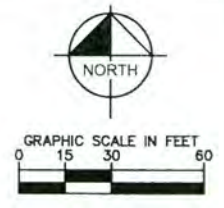


LEGEND

- GATE VALVE
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UTILITY NOTES:

- CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH FPL ON ANY WORK IN THE VICINITY OF OVERHEAD OR UNDERGROUND POWER LINES.
- CONTRACTOR SHALL VERIFY PROPERTY CLEARANCE BELOW EXISTING OVERHEAD POWER LINES PRIOR TO WORKING WITHIN THE VICINITY OF THE POWER LINES.
- ALL WATER MAIN (WM) SHALL BE DIP UNLESS OTHERWISE NOTED.
- ALL FIRE MAIN (FM) SHALL BE DIP UNLESS OTHERWISE NOTED. RESTRAIN ALL JOINTS. ALL FIRE MAIN SHALL BE INSTALLED BY A CERTIFIED FIRE SPRINKLER CONTRACTOR.
- ALL DUCTILE IRON PIPE (DIP) SHALL BE CLASS 51 UNLESS OTHERWISE NOTED. ALL DIP SHALL BE MARKED PER FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) STANDARDS.
- ALL WATER MAIN, FIRE MAIN, AND FORCE MAIN SHALL HAVE A MINIMUM 30" COVER OVER THE TOP OF THE PIPE UNLESS OTHERWISE NOTED.
- ALL FITTINGS FOR WATER MAIN AND FIRE MAIN SHALL BE DUCTILE IRON MECHANICAL JOINT FITTINGS UNLESS OTHERWISE NOTED.
- ALL GRAVITY SEWER MAIN (SS) AND LATERALS SHALL BE PVC SDR-26 UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL SUPPORT AND PROTECT ALL EXISTING AND PROPOSED UTILITIES WHEN CONSTRUCTING NEW UTILITIES.
- CONTRACTOR SHALL FURNISH AND INSTALL NECESSARY PIPE AND FITTINGS TO TRANSITION PIPE MATERIALS WHEN REQUIRED AND TO CONNECT TO BUILDING PLUMBING.
- ALL MANHOLES, VALVES, CLEANOUTS AND OTHER SUCH BOXES IN PAVEMENT OR SIDEWALKS SHALL BE SET FLUSH WITH PAVEMENT TO MATCH THE PROPOSED SLOPE AND SHALL BE H-20 TRAFFIC RATED.
- BLUE REFLECTIVE HYDRANT LOCATION MARKERS SHALL BE PLACED ON THE ACCESS ROADS IN FRONT OF ALL FIRE HYDRANTS. MARKERS SHALL BE PLACED IN THE MIDDLE OF THE DRIVE LANE ON THE SIDE OF THE ROAD CLOSEST TO THE FIRE HYDRANTS.



<p>Kimley»Horn</p> <p>1000 KIMLEY-HORN AND ASSOCIATES, INC. CONGRESS AVE., SUITE 100, DELRAY BEACH, FL 33445 PHONE: 561-330-2345 FAX: 561-862-8175 WWW.KIMLEY-HORN.COM CA 00000986</p> <p>MICHAEL F. SCHWARTZ, P.E., F.D.E.P. FL LICENSE NUMBER: 56200 DATE: 9/19/16</p> <p>KHA PROJECT: 144981000 DATE: SEPT. 2016 SCALE: AS SHOWN DESIGNED BY: JRM DRAWN BY: JRM CHECKED BY: MFS</p>	<p>ALTON TOWN CENTER</p> <p>PREPARED FOR NORTH AMERICAN DEVELOPMENT GROUP PALM BEACH GARDENS, FL</p> <p>SHEET NUMBER C3.05</p>
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