



PALM BEACH GARDENS
"A unique place to live, learn, work & play"

City of Palm Beach Gardens
10500 North Military Trail
Palm Beach Gardens, FL 33410

PUBLIC NOTICE – RECOMMENDATION TO AWARD

DATE: January 22, 2016
SOLICITATION NO.: RFP2015-024GF
TITLE: Design Build of New Golf Clubhouse

Notice is hereby given that the City of Palm Beach Gardens has completed its evaluation of proposals received for the above-mentioned Solicitation. The City Manager or designee has recommended award of the contract to the following Proposer:

NAME OF VENDOR: Sisca Construction Services, LLC.

DETAILS:

Year One:	\$4,500,000 (Four Million Five Hundred Thousand Dollars)
Year Two:	N/A
Year Three:	N/A
Total Contract Value:	\$4,500,000 (Four Million Five Hundred Thousand Dollars)
Options to Renew:	None

NOTES: The estimated construction schedule is sixteen (16) months.

Per:

Km! Ra, CPPO, CPPB, CPSM, C.P.M., CAP-OM, CPCP
Purchasing and Contracts Director

c: **Patty Snider, CMC**
City Clerk



PALM BEACH GARDENS
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The City of Palm Beach Gardens
 10500 North Military Trail
 Palm Beach Gardens, FL 33410

PURCHASING DEPARTMENT

REQUEST FOR PROPOSALS TOTAL SCORES AND RANKING

RFP No.: RFP2015-024GF

RFP Title: DESIGN BUILD OF NEW GOLF CLUBHOUSE

SELECTION COMMITTEE MEMBERS/EVALUATORS TOTAL SCORES

	PROPOSERS	Evaluator 1	Evaluator 2	Evaluator 3	Evaluator 4	Evaluator 5	TOTAL	RANKING
1	Hedrick Brothers Construction Co., Inc.	97	85	95	88	95	460	1
2	Sisca Construction Services, LLC	94	90	94	91	89	458	2
3	Trillium Construction, Inc.	87	53	86	75	78	379	4
4	Anatom Construction Company	85	90	85	85	78	423	3
5	Emerald Construction Corporation	86	50	68	73	59	336	5

SELECTION COMMITTEE MEMBERS/EVALUATORS

SIGNATURES

DATE

Km! Ra, Purchasing and Contracts Director, Chairperson (No Vote)

Elicia Sanders, Assistant to the City Manager

Ansley Marr, P.E., Director of Unified Services

Allan Owens, Finance Administrator

Todd Engle, P.E., City Engineer

Natalie Crowley, Planning and Zoning Director

[Handwritten signatures in blue ink over horizontal lines]

10.30.2015
10-30-2015
10.30.2015
10/30/15
10/30/15
10/30/15



City of Palm Beach Gardens
10500 North Military Trail
Palm Beach Gardens, FL 33410



**NEGOTIATION MEETING
(Sisca Construction)**

SIGN-IN SHEET

DATE: JANUARY 21, 2016

SOLICITATION: RFP2015-024GF, DESIGN BUILD OF NEW GOLF CLUBHOUSE

NAME	ORGANIZATION	TELEPHONE	EMAIL
Kurt Ra	PBG, Purchasing	361.799.4192	kura@pbgfl.com
Jack Edwards	Comp	569 4714	vedwards@pbgfl.com
Allan Owens	PBG Fin	799.4163	awens@pbgfl.com
Todd Engle	PBG Engineer	804-7012	tengle@pbgfl.com
Charlotte Presensky	PBG CS	804-7042	cpresensky@pbgfl.com
Andley Mari	PBG United	799-4275	amari@pbgfl.com
Charlie Sisca	Sisca Const.	686-5545	Charlie@SiscaConstruction.com
Chuck Hollander			Chuck@SiscaConstruction.com
ROGER LOUVOY			roger@SiscaConstruction.com
Rick Gonzalez	REG Architects		



City of Palm Beach Gardens
 10500 North Military Trail
 Palm Beach Gardens, FL 33410

**NEGOTIATION MEETING
 (Sisca Construction)**

SIGN-IN SHEET

DATE: JANUARY 11, 2016

SOLICITATION: RFP2015-024GF, DESIGN BUILD OF NEW GOLF CLUBHOUSE

NAME	ORGANIZATION	TELEPHONE	EMAIL
Km! Ra	PBG, Purchasing	561 799 4197	kmra@pbgfl.com
Charlotte Presensky	PBG	561.804-7042	cpresensky@pbgfl.com
J. Deussen	City of PBG Admin	799-344 4114	jdeussen@pbgfl.com
Allan Owens	PBG FINANCE	561-799-4163	aowens@pbgfl.com
Ansley Marr	PBG	561 799 4275	amarr@pbgfl.com
Roger Lovejoy	Sisca Construction	561 228 2506	roger@siscaconstruction.com
Chuck Hollans	Sisca Construction	561 248 9035	Chuck@SiscaConstruction.com
Charlie Sisca	" "	" " 9538	Charlie " " "
Todd Engle	Palm Beach Gardens	561-804-7092	tengle@pbgfl.com

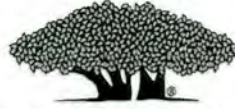
**NEGOTIATION MEETING
 (Hedrick Brothers)**

SIGN-IN SHEET

DATE: DECEMBER 11, 2015

SOLICITATION: RFP2015-024GF, DESIGN BUILD OF NEW GOLF CLUBHOUSE

NAME	ORGANIZATION	TELEPHONE	EMAIL
KM. RA	PBG, Purchasing	561.799.4197	KMRA@pbgf.com
Allan Owens	PBG Finance	561.799-4163	aothers@pbgf.com
J E Dolansky	PBG DoCom,	561-799-4114	JEDOLANSKY@PBGFL.COM
Charlotte Presensky	PBG Project Director	561-804-7072	cpresensky@pbgf.com
Todd Engle	PBG Engineer	561-804-7012	tengle@pbgf.com
Amey Marr	PBG Unified Services	561 799 4275	amarr@pbgf.com
Jerry Sevin	PBG	561-242-4303	JSevin@HedrickBrothers.com
FERNANDA DELONGO	LEO & Daugh	561-688-2111	FDELONGO@LEOandDaugh.com
Cher Pavlik	" " "	561.688.2111	CPAVLIK@LEOandDaugh.com
Don Jones	Hedrick Brothers	561-308-6934	djones@hedrickbrothers.com



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SELECTION COMMITTEE MEETING

SIGN-IN SHEET

DATE: OCTOBER 30, 2015

SOLICITATION: RFP2015-024GF, DESIGN BUILD OF NEW GOLF CLUBHOUSE

NAME	ORGANIZATION	TELEPHONE	EMAIL
Kul. Ra	PBG, Purchasing	561.799.4197	KMKA@PBGFL.COM
Alan Owens	PBG, Finance	561-799-4163	awens@pbgfl.com
Charlotte Presensky	PBG	561-804-7042	cpresensk@pbgfl.com
Todd Engle	PBG Engineering	561-804-7022	tengle@pbgfl.com
Ainsley Marr	PBG	561 799 4275	amarr@pbgfl.com
Elicia Sanders	PBG Admin	561-799-4238	esanders@pbgfl.com
Natalie Crowley	PBG	561-799-4243	ncrowley@pbgfl.com
Manuel Ayala	REG ARCHITECTS/SISCA	561-659 2383	Manuel@regarchitects.com
Allen Birse	BIRSE THOMAS	561-849-4001	ALLEN@BIRSETHOMAS.COM
JOE THOMAS	BIRSE THOMAS	561-249-4001	Joe@birse-thomas.com
ANGEL CASTILLO	" "	" "	Angel@birse-thomas.com
Charlie Sison	Sisca Contr		



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PURCHASING DEPARTMENT

REQUEST FOR PROPOSALS EVALUATION SCORING WORKSHEET

RFP NO.: RFP2015-024GF, DESIGN BUILD OF NEW GOLF CLUBHOUSE

		EVALUATION CRITERIA	Organization, structure, and philosophy.	References, experience, and past performance on golf clubhouse projects.	Adequacy and qualifications of professional staff assigned to Project.	Design and approach to constructing the golf clubhouse.	Guaranteed Maximum Price	TOTAL SCORE
PROPOSERS	MAX SCORE		10	25	25	20	20	100
		Hedrick Brothers Construction, Co, Inc.	10	25	24	20	18	97
		Sisca Construction Services, LLC	9	24	24	18	19	94
		Trillium Construction, Inc.	8	24	23	14	16	87
		Anatom Construction Company	9	21	22	16	17	85
		Emerald Construction Corporation	8	22	20	16	20	86

Elicia K. Sanders
 EVALUATOR'S NAME

[Signature]
 SIGNATURE

Oct. 30, 2015
 DATE



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PURCHASING DEPARTMENT

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PROPOSERS	MAX SCORE		10	25	25	20	20	100
	Hedrick Brothers Construction, Co, Inc. <i>Palm Beach</i>	8	23	22	17	18	88	
	Sisca Construction Services, LLC	9	23	23	18	18	91	
	Trillium Construction, Inc. <i>Tree house</i>	8	21	20	11	15	75	
	Anatom Construction Company <i>Living well</i>	8	22	21	17	17	85	
	Emerald Construction Corporation <i>No concept</i>	7	20	18	18	20	73	

Todo Engle
 EVALUATOR'S NAME

[Signature]
 SIGNATURE

10/30/2015
 DATE



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RFP NO.: RFP2015-024GF, DESIGN BUILD OF NEW GOLF CLUBHOUSE

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		MAX SCORE	10	25	25	20	20	100
PROPOSERS 2.0% 1% 1% 0% 8%	1%	Hedrick Brothers Construction, Co, Inc.	10	25	25	10	15	85
	1%	Sisca Construction Services, LLC	10	25	25	15	15	90
	-	Trillium Construction, Inc.	3	15	25	10	0	53
	0% + 2% + 1% = 3%	Anatom Construction Company	10	20	25	20	15	90
	8%	Emerald Construction Corporation	5	10	15	5	15	50

Anslay Marx
 EVALUATOR'S NAME

[Signature]
 SIGNATURE

10/30/15
 DATE



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REQUEST FOR PROPOSALS EVALUATION SCORING WORKSHEET

RFP NO.: RFP2015-024GF, DESIGN BUILD OF NEW GOLF CLUBHOUSE

		EVALUATION CRITERIA	Organization, structure, and philosophy.	References, experience, and past performance on <u>golf clubhouse projects.</u>	Adequacy and qualifications of professional staff assigned to Project.	Design and approach to constructing the golf clubhouse.	Guaranteed Maximum Price	TOTAL SCORE
PROPOSERS	MAX SCORE		10	25	25	20	20	100
		Hedrick Brothers Construction, Co, Inc.	10	25	25	17	18	95
		Sisca Construction Services, LLC	9	24	24	19	18	94
		Trillium Construction, Inc.	9	24	24	14	15	86
		Anatom Construction Company	9	20	24	15	17	85
		Emerald Construction Corporation	5	18	15	10	20	68

Allan Owens
 EVALUATOR'S NAME

[Signature]
 SIGNATURE

10/30/15
 DATE



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PURCHASING DEPARTMENT

Oct. 30th
 9am

REQUEST FOR PROPOSALS EVALUATION SCORING WORKSHEET

RFP NO.: RFP2015-024GF, DESIGN BUILD OF NEW GOLF CLUBHOUSE

		EVALUATION CRITERIA	Organization, structure, and philosophy.	References, experience, and past performance on <u>golf clubhouse projects.</u>	Adequacy and qualifications of professional staff assigned to Project.	Design and approach to constructing the golf clubhouse.	Guaranteed Maximum Price	TOTAL SCORE
PROPOSERS	MAX SCORE	10	25	25	20	20	100	
	Hedrick Brothers Construction, Co, Inc.	8	25	24	20	18	1 95	
	Sisca Construction Services, LLC	8	23	24	16	18	2 89	
	Trillium Construction, Inc.	8	22	23	10	15	4 78	
	Anatom Construction Company	5	20	22	14	17	3 78	
	Emerald Construction Corporation	2	13	17	9	18	5 59	

Natalie Crowley
 EVALUATOR'S NAME

[Signature]
 SIGNATURE

10/30/15
 DATE



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City of Palm Beach Gardens
10500 North Military Trail
Palm Beach Gardens, FL 33410

SELECTION COMMITTEE MEETING

SIGN-IN SHEET

DATE: OCTOBER 23, 2015

SOLICITATION: RFP2015-024GF, DESIGN BUILD OF NEW GOLF CLUBHOUSE

NAME	ORGANIZATION	TELEPHONE	EMAIL
Km! Ra	PBG, Purchasing	561-799-4197	KMRA@PBGFL.COM
Charlotte Presensky	PBL	804-7042	C.Presensky; corp
LUIS VALDERRAMA	ANATOM	561 221 0225	LRV@ANATOMCONSTRUCTION.COM
JOE THOMAS	BIRSE THOMAS	561-249-4001	joe@birsethomas.com
JEFF HINER	BIRSE THOMAS	561-249-4001	jeff@birsethomas.com
GARY KRUEGER	TLC ENGINEERING	321 636 0274	gary.krueger@tlc-eng.com
ALLEH BIRSE	BIRSE THOMAS	561-249-4001	ALLEH@BIRSETHOMAS.COM
Allan Owens	PBG, FINANCE	561-799-4163	awens@pbgfl.com
Amy Marr	PBG, Unaffiliated	561-799-4275	amarr@pbgfl.com
Elicia Sanders	PBG Admin	561-799-4238	esanders@pbgfl.com
Natalie Cowley	PBG	799.4243	ncowley@pbgfl.com
Don Wilkin	ACAI	954 484 4000	dwilkin@decworld.com
Denise A Castro	Emerald Construction	954-241-2583	denise@emeraldconstruction
Gilda Perda	Emerald Construction	954-241 2583-	gilda@emeraldconstructioncorp.com
Franco Gance			

NAME	ORGANIZATION	TELEPHONE	EMAIL
Ramiro Gomez	Emerald Construction	954-241-2583	ramiro@emeraldconstructioncorp.com
Tom VAGELINE	ACAI	954-484-4000	
ADOLFO COTILLA	ACAI	954.484.4000	adolfo@acaiworld.com
Stefano Viola	Kimley-Horn	954-535-5700	stefanoviola@kimley-horn.com
HARRY RAGAN	JLRD	561-689-2303	HRAGAN@JLRDINC.COM
HARRY PELTON	HBC	561-689-880	HPELTON@HEDRICKBROTHERS.COM
Jerry Jimiga	Hedrick	561-242-4303	JJimiga@HedrickBrothers.com
Dow Jones	HB	561-308-6934	djones@hedrickbrothers.com
Jaclyn Tranchesi	RGD	561-743-0165	Jaclyn.tranchesi@rgdensineers.com
Bob Davenport	RGD	561-743-0165	Bob@rgdensineers.com
Nate Davenport	RGD	561-743-0165	Nate.davenport@rgdensineers.com
Bill Hansen	LAD	561-685-0704	whansen@leadaily.com
Charlie Sisca	Sisca	561-248-9338	charlie@siscaconstruction.com
Sherrrie Sisca	Sisca	561-248-9043	Sherrrie "
Chris Tarabea	Sisca	561-402-0778	Chris "
Beau Sisca	Sisca	561-719-3800	Beau "
Doreen Hair	Sisca	561-228-7503	Doreen "
Jeffrey Marend	Sisca	561-228-7524	Jeffrey "
DOU HEARING	COTLEUR & HEARING	561-718-6010	DHEARING@COTLEUR-HEARING.COM
TAD ROWE	SIMMONS WHITE	561-478-7845	tad@simmonsandwhite.com
JEFF REY CONLEY	SEQUI SYSTEMS INC	561-921-0900	jconley@sequi.com
MANUEL AYALA	REG ARCHITECTS	561-659-2323	MAYALA@REGARCHITECTS.COM
Ursula Iafrate	FAE Consulting	561-391-9292	uafrate@faeconsulting.com

NAME	ORGANIZATION	TELEPHONE	EMAIL
Brian Terry	WGI	561 478 8501	brian.terry@waukmangroup.com
Jim Guerrero	LEO & DALY	561 688-2111	JAGUERRERO@LEODALY.COM
Cheer Parlik	Leo A Daly	561 600 2111	cnparlik@leoadaly.com
Rudy Hernandez	Leo A Daly	305 461 9480	rjhernandez@leoadaly.com
JOE KEATING	HEBRICK BROTHERS	561-689-8880	JKEATING@HEBRICKBROTHERS.COM
MARIA MARINO	PBG. PARKS & REC	561. 906-8222	mjgmarino@aol.com
Erik Cooper	SIMMONS AND WHITE	478-7848	Erik@SIMMONSANDWHITE.COM
Rick Gonzalez	REG	561 659-2983	Rick@REGARCHITECTS.COM
Philip J. Rizzo	ONM&T	561 835 9994	prizzo@onmj.net
Xavier Salas	Stephen Boruff AIA	239 80 1706	xsalas@sta-arch.com
Stephen Boruff	"	561-471-8520	sboruff@sta-arch.com
ED MEININGER	TRILLIUM CONST	561 296 0700	EMEININGER@TRILLIUMCONST.COM



PALM BEACH GARDENS

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City of Palm Beach Gardens
10500 North Military Trail
Palm Beach Gardens, FL 33410

**PUBLIC NOTICE - SELECTION COMMITTEE MEETING
4th MEETING**

Date: October 26, 2015
Solicitation No.: RFP2015-024GF
Title: Design Build of New Golf Clubhouse

Pursuant to Florida Statutes 286.011, the City of Palm Beach Gardens gives public notice that a meeting of the Selection Committee Members for the above-referenced RFP will be held as follows:

Friday, October 30, 2015
9:00AM
City Hall
Council Chambers
10500 N Military Trail
Palm Beach Gardens, FL 33410

As required by Florida Statutes, a recording of the meeting will be created and made available to anyone requesting a copy through the Office of the City Clerk.

Per:

Km! Ra, CPPO, CPPB, CPSM, C.P.M., CAP-OM, CPCP
Purchasing and Contracts Director

c: Patty Snider, CMC
City Clerk

Kenthia White

From: Km Ra
Sent: Monday, October 12, 2015 10:40 AM
To: drh@hedrickbrothers.com; charlie@siscaconstruction.com; emeinzinger@trillium-const.com; lrv@anatomconstruction.com; gilda@emeraldconstructioncorp.com
Cc: Charlotte Presensky; Patty Snider; Kenthia White; Ray Ellis
Subject: RFP2015-024GF - Presentations and Interviews for October 23

Good morning,

At this morning's Selection Committee meeting, the Committee has requested that each proposer specifically address the following areas in their presentation.

1. Vision
2. Functionality, use, and operability
3. Architecture
4. Relationship of the proposed design to the operations of the golf course and how that design will improve the current operations/functions at the golf course.
5. Relationship of the building to the natural environmental preserve setting of the property.
6. The relevant experience of the primary members of the design-build team, specific to previous golf clubhouse projects.
7. The level of oversight the principals will have of the actual designers.
8. Flexibility of design and pricing - amount of changes allowed before impacting the Guaranteed Maximum Price.
9. How the Proposer will address and prevent disruptions to the ongoing operations of the golf course during the expected 16 months of construction.
10. How the members of the design-build team worked together on previous golf clubhouse projects.
11. Define clearly the total project team and whether interior designers and other professional services are included in the GMP.

Each Proposer shall have 20 minutes to make its presentation to the Selection Committee. The Committee will have 10 – 15 minutes to ask the Proposer questions specific to its Proposal and presentation.

Presentations are scheduled as follows:

Anatom Construction:	2:05PM
Emerald Construction	2:45PM
Hedrick Brothers	3:25PM
Sisca Construction	4:05PM
Trillium Construction	4:45PM

We look forward to seeing you on October 23.

Regards,

Km! Ra, CPSM, CPPO, CPPB, C.P.M., CAP-OM, CPCP
Purchasing and Contracts Director
CITY OF PALM BEACH GARDENS, FL

From: Km Ra

Sent: Friday, October 02, 2015 2:07 PM

To: 'drh@hedrickbrothers.com' <drh@hedrickbrothers.com>; 'charlie@siscaconstruction.com' <charlie@siscaconstruction.com>; 'emeinzing@trillium-const.com' <emeinzing@trillium-const.com>; 'lrv@anatomconstruction.com' <lrv@anatomconstruction.com>; 'gilda@emeraldconstructioncorp.com' <gilda@emeraldconstructioncorp.com>

Cc: Charlotte Presensky <CPresensky@pbgfl.com>; David Reyes <dreyes@pbgfl.com>; Patty Snider <psnider@pbgfl.com>; Kenthia White <KWhite@pbgfl.com>; Ray Ellis <rellis@pbgfl.com>

Subject: RFP2015-024GF - List of Proposers

Good afternoon,

At today's Selection Committee Meeting, the Selection Committee requested that I notify each of you to be available to present additional information (a PowerPoint presentation or similar) and answer questions from the Committee on Friday, October 23, 2015 in the Council Chambers at City Hall. Each Proposer will be allowed 15 minutes to present certain specific information to support its Proposal, and the Selection Committee will have 15 minutes of questions for that Proposer.

Proposers will be scheduled alphabetically, and the first presentation will begin at 2:00PM.

By October 13, 2015, I will send a follow-up email with the specific areas you will need to address in your presentations, and the time schedule for each Proposer.

Thank you.

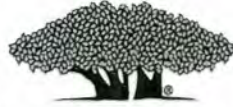
Km! Ra, CPSM, CPPO, CPPB, C.P.M., CAP-OM, CPCP

Purchasing and Contracts Director

CITY OF PALM BEACH GARDENS, FL

561.799.4197 | www.pbgfl.com

2013 – 2016 NIGP OA4 Accreditation | 2015 UPPCC Excellence in Procurement Award | 2015 NPI Achievement of Excellence in Procurement Award



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SELECTION COMMITTEE MEETING

SIGN-IN SHEET

DATE: OCTOBER 12, 2015

SOLICITATION: RFP2015-024GF, DESIGN BUILD OF NEW GOLF CLUBHOUSE

NAME	ORGANIZATION	TELEPHONE	EMAIL
KM. KA	PBG, Purchasing	34. 799. 4192	KMKA@PBGFL.COM
Charlotte Presensky	PBG	561-804-7042	Lpresensky.com
Allan Owens	PBG FINANCE	" 799-4163	aowens@pbgfl.com
JOE THOMAS	BIRSE THOMAS ARCHITECTS	561.249.4001	joe@birsethomas.com
ALEX BITEL	BTA	"	ALEX@BIRSETHOMAS.COM
ANGEL CASTILLO	" "	" "	ANGE@BIRSETHOMAS.COM
Todd Engle	PBG Engineering	561-804-7012	tengle@pbgfl.com
Elicia Sanders	PBG Admin	799-4238	ESanders@pbgfl.com
Amslaymarr	PBG United	799-4275	amarr@pbgfl.com



CITY OF PALM BEACH GARDENS, FLORIDA

EVALUATOR'S STATEMENT OF INDEPENDENCE AND NON-CONFLICT OF INTEREST

SOLICITATION NUMBER: RFP2015-024GF

PROJECT TITLE: DESIGN BUILD OF NEW GOLF CLUBHOUSE

I, ELICIA SANDERS, a Selection Committee Member for Solicitation No. RFP2015-024GF, do hereby attest and certify that, to the best of my knowledge, I do not have a conflict of interest* as a result of any personal, financial, or other interest on my part or that of any member of my immediate family, or of my partner(s). Further, I certify that I am not employed by nor do I have any arrangement for future employment with any vendor, proposer, or organization under consideration, nor will I solicit or accept gratuities, favors, or anything of monetary value from any company or organization associated with this Solicitation.

I will independently score each proposal and have no communication or contact with any proposers regarding the proposals.

I agree to evaluate the proposals in an unbiased, fair, and equitable manner, and am not unfairly prejudiced in regard to any of the proposals.

Elicia Kay Sanders
Selection Committee Member Name (print)

[Handwritten Signature]
Selection Committee Member Signature

10-9-15
Date

*A conflict of interest is defined as a situation in which a Selection Committee Member has, or appears to have, a financial relationship with a responding proposer, or has a family relationship with any responding proposer.

A financial relationship includes involvement of the Selection Committee Member and the proposer in a current partnership, joint venture, company, or corporation, and any other relationship that could make it appear that the Member would obtain a monetary benefit if a favorable evaluation was given.



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 Palm Beach Gardens, FL 33410

SELECTION COMMITTEE MEETING

SIGN-IN SHEET

DATE: OCTOBER 2, 2015

SOLICITATION: RFP2015-024GF, DESIGN BUILD OF NEW GOLF CLUBHOUSE

NAME	ORGANIZATION	TELEPHONE	EMAIL
KH. RA	Itb - Purchasing	561-799-4197	khra@pbgr.com
Allan Owens	PBG - Finance	561-799-4163	ao Owens@pbgrfl.com
J. DOUGHERTY	City manager	561-799-4114	JDOUGHERTY@PBGFL.COM
Todd Engle	PBG - Engineering	561-804-7012	tengle@pbgrfl.com
David Reyes	Public Services - PBC	561-804-7015	dreyes@pbgrfl.com
Natalie Crowley	PBG	799-4243	ncrowley@pbgrfl.com
Charlotte Presensky	PBC	804-7043	cpresensky@pbgrfl.com



CITY OF PALM BEACH GARDENS, FLORIDA

EVALUATOR'S STATEMENT OF INDEPENDENCE AND NON-CONFLICT OF INTEREST

SOLICITATION NUMBER: RFP2015-024GF

PROJECT TITLE: DESIGN BUILD OF NEW GOLF CLUBHOUSE

I, NATALIE CROWLEY, a Selection Committee Member for Solicitation No. RFP2015-024GF, do hereby attest and certify that, to the best of my knowledge, I do not have a conflict of interest* as a result of any personal, financial, or other interest on my part or that of any member of my immediate family, or of my partner(s). Further, I certify that I am not employed by nor do I have any arrangement for future employment with any vendor, proposer, or organization under consideration, nor will I solicit or accept gratuities, favors, or anything of monetary value from any company or organization associated with this Solicitation.

I will independently score each proposal and have no communication or contact with any proposers regarding the proposals.

I agree to evaluate the proposals in an unbiased, fair, and equitable manner, and am not unfairly prejudiced in regard to any of the proposals.

Natalie Crowley
Selection Committee Member Name (print)

[Signature]
Selection Committee Member Signature

10/2/15
Date

*A conflict of interest is defined as a situation in which a Selection Committee Member has, or appears to have, a financial relationship with a responding proposer, or has a family relationship with any responding proposer.

A financial relationship includes involvement of the Selection Committee Member and the proposer in a current partnership, joint venture, company, or corporation, and any other relationship that could make it appear that the Member would obtain a monetary benefit if a favorable evaluation was given.



CITY OF PALM BEACH GARDENS, FLORIDA

EVALUATOR'S STATEMENT OF INDEPENDENCE AND NON-CONFLICT OF INTEREST

SOLICITATION NUMBER: RFP2015-024GF

PROJECT TITLE: DESIGN BUILD OF NEW GOLF CLUBHOUSE

I, ANSLEY MARR, a Selection Committee Member for Solicitation No. RFP2015-024GF, do hereby attest and certify that, to the best of my knowledge, I do not have a conflict of interest* as a result of any personal, financial, or other interest on my part or that of any member of my immediate family, or of my partner(s). Further, I certify that I am not employed by nor do I have any arrangement for future employment with any vendor, proposer, or organization under consideration, nor will I solicit or accept gratuities, favors, or anything of monetary value from any company or organization associated with this Solicitation.

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I agree to evaluate the proposals in an unbiased, fair, and equitable manner, and am not unfairly prejudiced in regard to any of the proposals.

Ansley Marr
Selection Committee Member Name (print)

[Signature]
Selection Committee Member Signature

10/1/15
Date

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CITY OF PALM BEACH GARDENS, FLORIDA

EVALUATOR'S STATEMENT OF INDEPENDENCE AND NON-CONFLICT OF INTEREST

SOLICITATION NUMBER: RFP2015-024GF

PROJECT TITLE: DESIGN BUILD OF NEW GOLF CLUBHOUSE

I, TODD ENGLE, a Selection Committee Member for Solicitation No. RFP2015-024GF, do hereby attest and certify that, to the best of my knowledge, I do not have a conflict of interest* as a result of any personal, financial, or other interest on my part or that of any member of my immediate family, or of my partner(s). Further, I certify that I am not employed by nor do I have any arrangement for future employment with any vendor, proposer, or organization under consideration, nor will I solicit or accept gratuities, favors, or anything of monetary value from any company or organization associated with this Solicitation.

I will independently score each proposal and have no communication or contact with any proposers regarding the proposals.

I agree to evaluate the proposals in an unbiased, fair, and equitable manner, and am not unfairly prejudiced in regard to any of the proposals.

Todd Engle

Selection Committee Member Name (print)

Todd Engle

Selection Committee Member Signature

10/2/2015

Date

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A financial relationship includes involvement of the Selection Committee Member and the proposer in a current partnership, joint venture, company, or corporation, and any other relationship that could make it appear that the Member would obtain a monetary benefit if a favorable evaluation was given.



CITY OF PALM BEACH GARDENS, FLORIDA

EVALUATOR'S STATEMENT OF INDEPENDENCE AND NON-CONFLICT OF INTEREST

SOLICITATION NUMBER: RFP2015-024GF

PROJECT TITLE: DESIGN BUILD OF NEW GOLF CLUBHOUSE

I, J. E. DOUGHNEY III, a Selection Committee Member for Solicitation No. RFP2015-024GF, do hereby attest and certify that, to the best of my knowledge, I do not have a conflict of interest* as a result of any personal, financial, or other interest on my part or that of any member of my immediate family, or of my partner(s). Further, I certify that I am not employed by nor do I have any arrangement for future employment with any vendor, proposer, or organization under consideration, nor will I solicit or accept gratuities, favors, or anything of monetary value from any company or organization associated with this Solicitation.

I will independently score each proposal and have no communication or contact with any proposers regarding the proposals.

I agree to evaluate the proposals in an unbiased, fair, and equitable manner, and am not unfairly prejudiced in regard to any of the proposals.

J. E. DOUGHNEY III

Selection Committee Member Name (print)


Selection Committee Member Signature

10/02/15
Date

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A financial relationship includes involvement of the Selection Committee Member and the proposer in a current partnership, joint venture, company, or corporation, and any other relationship that could make it appear that the Member would obtain a monetary benefit if a favorable evaluation was given.



CITY OF PALM BEACH GARDENS, FLORIDA

EVALUATOR'S STATEMENT OF INDEPENDENCE AND NON-CONFLICT OF INTEREST

SOLICITATION NUMBER: RFP2015-024GF

PROJECT TITLE: DESIGN BUILD OF NEW GOLF CLUBHOUSE

I, ALLAN OWENS, a Selection Committee Member for Solicitation No. RFP2015-024GF, do hereby attest and certify that, to the best of my knowledge, I do not have a conflict of interest* as a result of any personal, financial, or other interest on my part or that of any member of my immediate family, or of my partner(s). Further, I certify that I am not employed by nor do I have any arrangement for future employment with any vendor, proposer, or organization under consideration, nor will I solicit or accept gratuities, favors, or anything of monetary value from any company or organization associated with this Solicitation.

I will independently score each proposal and have no communication or contact with any proposers regarding the proposals.

I agree to evaluate the proposals in an unbiased, fair, and equitable manner, and am not unfairly prejudiced in regard to any of the proposals.

Allan Owens
Selection Committee Member Name (print)

[Signature]
Selection Committee Member Signature

10/2/15
Date

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A financial relationship includes involvement of the Selection Committee Member and the proposer in a current partnership, joint venture, company, or corporation, and any other relationship that could make it appear that the Member would obtain a monetary benefit if a favorable evaluation was given.



PALM BEACH GARDENS

"A unique place to live, learn, work & play"

City of Palm Beach Gardens
10500 North Military Trail
Palm Beach Gardens, FL 33410

**PUBLIC NOTICE - SELECTION COMMITTEE MEETING
3RD MEETING**

Date: October 2, 2015
Solicitation No.: RFP2015-024GF
Title: Design Build of New Golf Clubhouse

Pursuant to Florida Statutes 286.011, the City of Palm Beach Gardens gives public notice that a meeting of the Selection Committee Members for the above-referenced RFP will be held as follows:

Friday, October 23, 2015
2:00PM
City Hall
Council Chambers
10500 N Military Trail
Palm Beach Gardens, FL 33410

As required by Florida Statutes, a recording of the meeting will be created and made available to anyone requesting a copy through the Office of the City Clerk.

Per:

Km! Ra, CPPO, CPPB, CPSM, C.P.M., CAP-OM, CPCP
Purchasing and Contracts Director

c: Patty Snider, CMC
City Clerk



PALM BEACH GARDENS

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City of Palm Beach Gardens
10500 North Military Trail
Palm Beach Gardens, FL 33410

**PUBLIC NOTICE - SELECTION COMMITTEE MEETING
2ND MEETING**

Date: October 2, 2015
Solicitation No.: RFP2015-024GF
Title: Design Build of New Golf Clubhouse

Pursuant to Florida Statutes 286.011, the City of Palm Beach Gardens gives public notice that a meeting of the Selection Committee Members for the above-referenced RFP will be held as follows:

Monday, October 12, 2015
10:00AM
City Hall
Council Chambers
10500 N Military Trail
Palm Beach Gardens, FL 33410

As required by Florida Statutes, a recording of the meeting will be created and made available to anyone requesting a copy through the Office of the City Clerk.

Per:

***Km! Ra*, CPPO, CPPB, CPSM, C.P.M., CAP-OM, CPCP
Purchasing and Contracts Director**

**c: Patty Snider, CMC
City Clerk**



PALM BEACH GARDENS

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City of Palm Beach Gardens
10500 North Military Trail
Palm Beach Gardens, FL 33410

PUBLIC NOTICE - SELECTION COMMITTEE MEETING (KICK-OFF)

Date: September 28, 2015
Solicitation No.: RFP2015-024GF
Title: Design Build of New Golf Clubhouse

Pursuant to Florida Statutes 286.011, the City of Palm Beach Gardens gives public notice that a meeting of the Selection Committee Members for the above-referenced RFP will be held as follows:

Friday, October 2, 2015
11:30AM
City Hall
Council Chambers
10500 N Military Trail
Palm Beach Gardens, FL 33410

As required by Florida Statutes, a recording of the meeting will be created and made available to anyone requesting a copy through the Office of the City Clerk.

Per:

Km! Ra, CPPO, CPPB, CPSM, C.P.M., CAP-OM, CPCP
Purchasing and Contracts Director

c: Patty Snider, CMC
City Clerk



CITY OF PALM BEACH GARDENS
PURCHASING DEPARTMENT
SOLICITATION ADDENDUM

Addendum No. 6

DATE: September 22, 2015

TO: All Potential Proposers
SOLICITATION NO.: RFP2015-024GF
TITLE: Design Build of New Golf Clubhouse
OPENING DATE: Friday, September 25, 2015 @ 3:00PM

This Addendum is and does become a part of the above-mentioned Solicitation.

The following questions were received from a potential Proposer, and the responses are provided as shown below:

Question 1: Who is responsible for re-platting and site plan approval, and associated design services? Assuming that PBG is handling the platting and site plan approval, what design services are required from the Design Build Team and what would be the timing of the re-plat and site plan approval so we may incorporate that in our schedule.

Response: *Any re-platting necessary will be performed by the City. Site Plan approval requirements are identified within the Design Narrative. The City will present for site plan approval if presentation is necessary. However, design services are to be provided by the DBT for the items NOT listed as "To be provided by the City, if required". 3 meetings may be required for the DBT to attend in support of City presentation.*

All other terms, covenants and conditions of the subject solicitation and any addenda issued thereto shall apply, except to the extent herein amended.

Km! Ra, CPPO, CPPB, CPSM, C.P.M., CAP-OM, CPCP
Purchasing and Contracts Director



CITY OF PALM BEACH GARDENS
PURCHASING DEPARTMENT
SOLICITATION ADDENDUM

Addendum No. 5

DATE: September 11, 2015

TO: All Potential Proposers
SOLICITATION NO.: RFP2015-024GF
TITLE: Design Build of New Golf Clubhouse
OPENING DATE: Friday, September 25, 2015 @ 3:00PM

This Addendum is and does become a part of the above-mentioned Solicitation.

The following questions were received from a potential Proposer, and the responses are provided as shown below:

Question 1: We would like to request that an extension on the bid date can be given so that we can provide a comprehensive and thorough package.
Response: *Because of the time-sensitive nature of this project, and the many other activities that are dependent on a timely evaluation and award, the decision is to not extend the due date for proposals.*

Question 2: Can the Golf Club manager authorize access to the site and the use of a small drone to create a short 2-3 minute max video views from the location of the Clubhouse?
Response: *Yes. Please email Charlotte Presensky at cpresensky@pbqfl.com to make arrangements.*

All other terms, covenants and conditions of the subject solicitation and any addenda issued thereto shall apply, except to the extent herein amended.

Km! Ra, CPPO, CPPB, CPSM, C.P.M., CAP-OM, CPCP
Purchasing and Contracts Director



CITY OF PALM BEACH GARDENS
PURCHASING DEPARTMENT
SOLICITATION ADDENDUM

Addendum No. 4

DATE: September 9, 2015

TO: All Potential Proposers
SOLICITATION NO.: RFP2015-024GF
TITLE: Design Build of New Golf Clubhouse
OPENING DATE: Friday, September 25, 2015 @ 3:00PM

This Addendum is and does become a part of the above-mentioned Solicitation.

The following clarification is provided for all potential Proposers:

- a. There is a typographical error in Section 4.6, Liquidated Damages for Incomplete Projects or Late Delivery. The first sentence of the clause is corrected to read (revisions underlined):

"Failure to complete the Project or delivery the work in accordance with the specifications and to the satisfaction of the City within the time stated shall cause the selected Proposer to be subject to charges for liquidated damages in the amount of 0.1% of the Guaranteed Maximum Price for each and every calendar day the Selected Proposer fails to timely achieve substantial completion and/or final completion."

This amount correctly approximates the average daily revenues for the current golf course operations.

All other terms, covenants and conditions of the subject solicitation and any addenda issued thereto shall apply, except to the extent herein amended.

Km! Ra, CPPO, CPPB, CPSM, C.P.M., CAP-OM, CPCP
Purchasing and Contracts Director



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CITY OF PALM BEACH GARDENS
PURCHASING DEPARTMENT
SOLICITATION ADDENDUM

Addendum No. 3

DATE: September 3, 2015

TO: All Potential Proposers
SOLICITATION NO.: RFP2015-024GF
TITLE: Design Build of New Golf Clubhouse
OPENING DATE: Friday, September 25, 2015 @ 3:00PM

This Addendum is and does become a part of the above-mentioned Solicitation.

The following question was received from a potential proposer and the answer is provided as shown.

- a. Please provide West Architecture's Conceptual Budget/Cost Estimate Breakdown.
Response: Please see attached.

All other terms, covenants and conditions of the subject solicitation and any addenda issued thereto shall apply, except to the extent herein amended.

Km! Ra, CPPO, CPPB, CPSM, C.P.M., CAP-OM, CPCP
Purchasing and Contracts Director

Attachment



April 06, 2015

Ansley M. Marr, P.E.
Unified Services Director
City of Palm Beach Gardens
10500 N. Military Trail
Palm Beach Gardens, FL 33410

RE: Palm Beach Gardens
Municipal Golf Clubhouse
11401 North Lake Boulevard
Palm Beach Gardens, FL

Conceptual Budget - Revised

Ansley,

Attached is the 2nd¹ draft of the Conceptual Budget for the project. As was discussed, the Conceptual Budget is based on square feet take off's of the preliminary design by West Architecture + Design, dated 02/18/15 and the budget review telephone conference on March 25, 2015.

Qualifications of this Estimate:

1. This estimate was prepared for budget purposes, due to the absent of complete specifications and complete plans this estimate is conceptual by design.
2. Permit Fees are excluded (By Owner)
3. Parking Lot modifications, Audio/Video equipment, Communications equipment, Security equipment, FF&E are (by owner) and are excluded in this estimate.
4. Allowances were included for Fire Alarm, Lockers, Benches, Fire Sprinkler Riser, Utilities Connections, Door hardware, Reception and Bar millwork.

Sincerely,

Peter Ganci
Principal



Palm Beach Gardens /
Municipal Golf Clubhouse
Conceptual Budget - Revised

Date: 04/06/15

<i>CSI Description</i>		<i>Total</i>	<i>\$ / SF</i>
010000	General Conditions	278,763	14.00
021130	Building Demolition	51,820	2.60
021140	Site Prep & Erosion Control	64,460	3.24
021160	Landscape/Irrigation	47,975	2.41
030000	Concrete	555,235	27.88
030001	Stucco	79,032	3.97
040000	Masonry	149,316	7.50
051200	Structural Steel	4,059	.20
055000	Misc Metals	4,280	.21
061000	Rough Carpentry	47,070	2.36
062000	Finish Carpentry	28,262	1.42
064000	Architectural Woodwork	195,625	9.82
072000	Thermal Insulation	22,091	1.11
072001	Trusses	39,857	2.00
073000	Metal Roof	75,529	3.79
081000	Metal Doors & Frames	13,207	.66
083000	Wood Doors and Hardware	52,512	2.64
088000	Glazing	100,548	5.05
092000	Plaster & Drywall	125,805	6.32
093000	Tile	107,702	5.41
095000	Acoustical Panel Ceilings	12,930	.65
096000	Resilient Flooring & Carpet	19,984	1.00
099000	Paint	31,633	1.59
102800	Toilet & Bath Accessories	5,652	.28
114000	Food Service Equipment	185,622	9.32
142100	Elevators	164,335	8.25
210000	FIRE PROTECTION	53,227	2.67
220000	PLUMBING	79,230	3.98
221119	HVAC	82,553	4.15
260000	ELECTRICAL	252,739	12.69
270000	Audio/Video	0	0.00
283123	Fire Alarm System	25,000	1.26
321216	Paving & Surfacing	17,025	.86
330000	Utilities	24,195	1.22
340000	Specialties	247,990	12.45

Sub- Total of CSI Sections: 3,245,263 \$/SF 162.98

Sub-Total

Design Fees 8%	259,621
Liability Insurance 2%	70,097
GC Overhead and Fee 15%	536,247
Contingency 6%	194,715

Grand Total:	4,305,943
Square Feet:	19,912
\$ / SF	216

West Architecture + Design, LLC.

318 South Dixie Highway / Suite 4-5 / Lake Worth, Florida 33460 / Phone: 561-588-2027 / Fax: 561-582-9419
 License No. AA26001503 / www.west-arch.com



CITY OF PALM BEACH GARDENS
PURCHASING DEPARTMENT
SOLICITATION ADDENDUM

Addendum No. 2

DATE: September 1, 2015

TO: All Potential Proposers
SOLICITATION NO.: RFP2015-024GF
TITLE: Design Build of New Golf Clubhouse
OPENING DATE: Friday, September 25, 2015 @ 3:00PM

This Addendum is and does become a part of the above-mentioned Solicitation.

The following questions were received from a potential proposer and the answers are provided as shown.

- a. What level of architectural drawings are you expecting for the RFP submittal?
Response: Please refer to Page 5 of Exhibit A, Design Narrative, which shows the level of plan completion that will be required from the selected Design Build Team. Therefore, City expects that Proposers will submit less than 25% schematics/concept design with their Proposals, but with enough information to allow the Selection Committee to make an informed evaluation.
- b. The schedule states 16 months for construction with very heavy LD's. Does the City have an anticipated amount of time it will take for site plan approval and permitting? If so, can you share how much time that should take so we can include it in our schedule? If it takes longer than the City's estimate, will a time extension be given? OR is the 16 months just for design and construction with the time for site plan approval and permitting being in addition to the 16 months? (since we can't really control approval/permitting timeframes)
Response: Please see Total Performance Period on Page 5 of Exhibit A, Design Narrative.
- c. Is West Construction and West Architecture precluded from submitting on the D/B since West Architecture was the design criteria architect?
Response: Yes.

- d. Are any of the subconsultants that worked as part of the design criteria architect team allowed to team with design builders for this RFP? (i.e., MEP, civil, etc...)

Response: Any subcontractors who worked with West Architecture to develop the Design Criteria Package is not allowed to be part of the Design Build Team for this project.

- e. When will the demolition and clearing of the site be completed by the City?

Response: The City anticipates that the demolition of the existing structure will be completed no later than mid-December 2015.

All other terms, covenants and conditions of the subject solicitation and any addenda issued thereto shall apply, except to the extent herein amended.

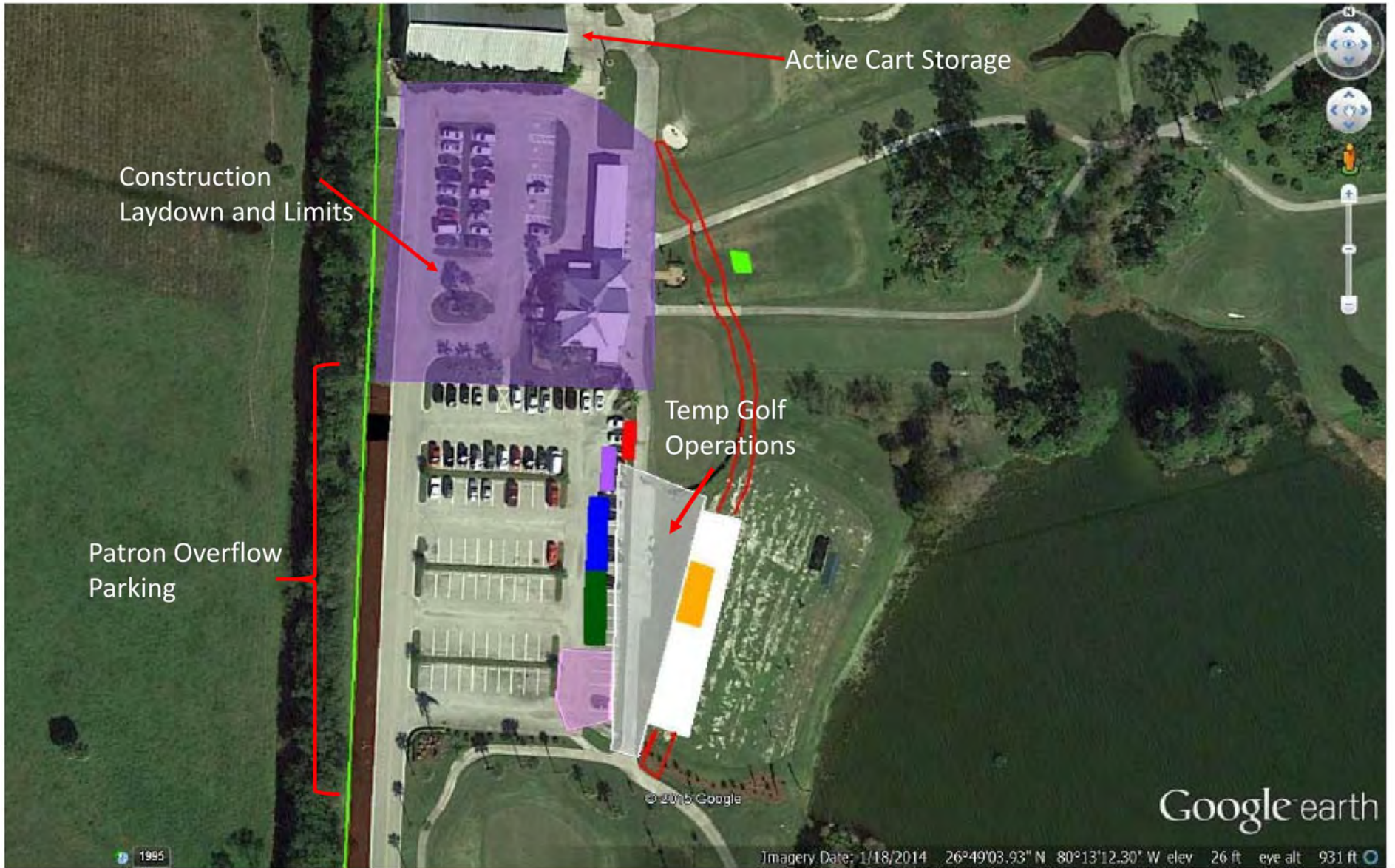
Km! Ra, CPPO, CPPB, CPSM, C.P.M., CAP-OM, CPCP
Purchasing and Contracts Director

PBG Golf Clubhouse

Pre-Proposal Meeting

RFP2015-024GF





Construction Laydown and Limits

Active Cart Storage

Temp Golf Operations

Patron Overflow Parking

1995

Imagery Date: 1/18/2014 26°49'03.93" N 80°13'12.30" W elev 26 ft eye alt 931 ft

© 2015 Google

Google earth

Utilities

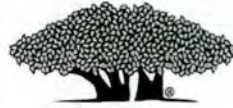
- FPL : Extending 3 \emptyset power adding a transformer. Electrical design/data needed by FPL to continue.
 - Site plan with location of new building/addition
 - Riser diagram
 - Number of sets of wires
 - City procures the additional service independent of this contract
- Sanitary: Contract to provide new service/connection to WPB and remove old septic system is let. ECD: NOV 2015
- Water: Service is present and runs into existing facility close to front of building. Shown on San. drawings included as an exhibit in the solicitation.

Miscellaneous

- Golf operations must continue throughout construction.
 - Golf facilities are for patrons only.
- Parking for contractor staff is limited, but available close to the maintenance building at the South end of the main entry road.
- Separately Price Options:
 - Interior Design Services
 - Golf Design Consultant
 - Generator

Design

- Solicitation provides quality and quantity minimums
- Concept drawings within package represent programmatic thoughts and are not intended to inhibit creative design to optimize layout



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City of Palm Beach Gardens
 10500 North Military Trail
 Palm Beach Gardens, FL 33410

PRE-PROPOSAL CONFERENCE

SIGN-IN SHEET

DATE: AUGUST 27, 2015

SOLICITATION: RFP2015-024GF, DESIGN BUILD OF NEW GOLF CLUBHOUSE

NAME	ORGANIZATION	TELEPHONE	EMAIL
Ku! Ra	Purchasing, Palm Beach Gardens	761-799-4197	kmaae@pbgr.com
JOE THOMAS	BIRSE THOMAS ARCHITECTS	561-249-4001	Joe@birsethomas.com
Cindy Drake	Song & ASSOC.	561-655-2425	Cdrake@songandassociates.com
Ryan Ackner	Ibis Building Corp.	561-318-8402	Ryan@ibisbuild.com
LISA KING	VERDEX CONS.	561-284-2559	lisa.king@verdex.com
Brad Still	Verdex Cons	561-508-0160	Brad.Still@Verdex.com
Dave Demay	Kast Construction	561-402-8625	ddenay@kastbuild.com
Steve Napier	Woolams Inc	561-254-8590	SNAPIER@WOOLAMSLINC.COM
LARRY HETTON	HEDRICK BROTHERS	561-689-8880	HETTON@HEDRICKBROTHERS.COM
Lisa D'Addio	TFC WW ENGINEERING	954-540-2692	ldaddio@tfcww.com
Todd Engle	P.B.G. Engineering	561-804-7012	tengle@pbgfl.com
STEPHAN CLAREN	CLAREN ARCHITECTURE + DESIGN	561-961-4884	STEPHAN@CLARENARCHITECTURE.COM
LUIS VALDERRAMA	ANATOM CONSTRUCTION CO.	561-221-0226	LRV@ANATOMCONSTRUCTION.COM

CITY OF PALM BEACH GARDENS, FLORIDA

CITIZEN PARTICIPANT STATEMENT OF INDEPENDENCE AND NON-CONFLICT OF INTEREST

PROJECT NUMBER: RFP2014-024GF⁵

TITLE: DESIGN BUILD OF NEW GOLF CLUBHOUSE

I, JOEL PAIGE, a Citizen Participant on the Design Team for the Project referenced above, do hereby attest and certify that, to the best of my knowledge, I do not have a conflict of interest* as a result of any personal, financial, or other interest on my part or that of any member of my immediate family, or of my partner(s). Further, I certify that I am not employed by nor do I have any arrangement for future employment with any vendor, proposer, or organization under consideration, nor will I solicit or accept gratuities, favors, or anything of monetary value from any company or organization associated with this Project.

I also commit to provide my professional and independent expertise to the City and will have no communication or contact with any potential proposers regarding this project. I acknowledge that I am aware of and will abide by all applicable laws and regulations that govern this project, including, but not limited to, State of Florida Sunshine Laws, the Cone of Silence, and all City Ordinances that may govern this project.

I agree to be unbiased, fair, and equitable, and state that I am not unfairly prejudiced in regard to any matter relating to this project.

Joel Paige
Name of Citizen Participant (print)

[Signature]
Signature of Citizen Participant

7-21-2015
Date

*A conflict of interest is defined as a situation in which a Citizen Participant has, or appears to have, a financial or business relationship with a responding Proposer, or has a family relationship with any responding Proposer.

A financial relationship includes involvement of the Citizen Participant and the Proposer in a current partnership, joint venture, company, or corporation, and any other relationship that could make it appear that the Citizen Participant would obtain a benefit of value if a favorable evaluation was given or certain non-public information was shared.

CITY OF PALM BEACH GARDENS, FLORIDA

CITIZEN PARTICIPANT STATEMENT OF INDEPENDENCE AND NON-CONFLICT OF INTEREST

PROJECT NUMBER: RFP2015-024GF

TITLE: DESIGN BUILD OF NEW GOLF CLUBHOUSE

I, MARIA MARINO, a Citizen Participant on the Design Team for the Project referenced above, do hereby attest and certify that, to the best of my knowledge, I do not have a conflict of interest* as a result of any personal, financial, or other interest on my part or that of any member of my immediate family, or of my partner(s). Further, I certify that I am not employed by nor do I have any arrangement for future employment with any vendor, proposer, or organization under consideration, nor will I solicit or accept gratuities, favors, or anything of monetary value from any company or organization associated with this Project.

I also commit to provide my professional and independent expertise to the City and will have no communication or contact with any potential proposers regarding this project. I acknowledge that I am aware of and will abide by all applicable laws and regulations that govern this project, including, but not limited to, State of Florida Sunshine Laws, the Cone of Silence, and all City Ordinances that may govern this project.

I agree to be unbiased, fair, and equitable, and state that I am not unfairly prejudiced in regard to any matter relating to this project.

MARIA G. MARINO
Name of Citizen Participant (print)

Maria G. Marino
Signature of Citizen Participant

7/21/2015
Date

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A financial relationship includes involvement of the Citizen Participant and the Proposer in a current partnership, joint venture, company, or corporation, and any other relationship that could make it appear that the Citizen Participant would obtain a benefit

CITY OF PALM BEACH GARDENS, FLORIDA

CITIZEN PARTICIPANT STATEMENT OF INDEPENDENCE AND NON-CONFLICT OF INTEREST

PROJECT NUMBER: RFP2014-024GF

TITLE: DESIGN BUILD OF NEW GOLF CLUBHOUSE

I, KENNETH KENNERLY, a Citizen Participant on the Design Team for the Project referenced above, do hereby attest and certify that, to the best of my knowledge, I do not have a conflict of interest* as a result of any personal, financial, or other interest on my part or that of any member of my immediate family, or of my partner(s). Further, I certify that I am not employed by nor do I have any arrangement for future employment with any vendor, proposer, or organization under consideration, nor will I solicit or accept gratuities, favors, or anything of monetary value from any company or organization associated with this Project.

I also commit to provide my professional and independent expertise to the City and will have no communication or contact with any potential proposers regarding this project. I acknowledge that I am aware of and will abide by all applicable laws and regulations that govern this project, including, but not limited to, State of Florida Sunshine Laws, the Cone of Silence, and all City Ordinances that may govern this project.

I agree to be unbiased, fair, and equitable, and state that I am not unfairly prejudiced in regard to any matter relating to this project.

Kenneth R. Kennerly
Name of Citizen Participant (print)


Signature of Citizen Participant

7-21-15
Date

*A conflict of interest is defined as a situation in which a Citizen Participant has, or appears to have, a financial or business relationship with a responding Proposer, or has a family relationship with any responding Proposer.

A financial relationship includes involvement of the Citizen Participant and the Proposer in a current partnership, joint venture, company, or corporation, and any other relationship that could make it appear that the Citizen Participant would obtain a benefit



PALM BEACH GARDENS
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City of Palm Beach Gardens
10500 North Military Trail
Palm Beach Gardens, FL 33410

PUBLIC NOTICE - PRE-PROPOSAL CONFERENCE

Date: August 21, 2015
Solicitation No.: RFP2015-024GF
Title: Design Build of New Golf Clubhouse

The City of Palm Beach Gardens gives public notice that a Pre-Proposal Conference for the above-referenced Request for Proposals will be held as follows:

Thursday, August 27, 2015
10:00AM
City Hall
Council Chambers
10500 N Military Trail
Palm Beach Gardens, FL 33410

After the Pre-Proposal Conference, a Site Visit will be held at the Golf Course Clubhouse.

As required by Florida Statutes, a recording of the meeting will be created and made available to anyone requesting a copy through the Office of the City Clerk.

Per:

Km! Ra, CPPO, CPPB, CPSM, C.P.M., CAP-OM, CPCP
Purchasing and Contracts Director

c: Patty Snider, CMC
City Clerk



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Palm Beach Gardens, FL 33410

PURCHASING DEPARTMENT

REQUEST FOR PROPOSALS

RFP NO.: RFP2015-024GF

TITLE: DESIGN BUILD OF NEW GOLF CLUBHOUSE

DUE DATE AND TIME: FRIDAY, SEPTMEBER 25, 2015 @ 3:00PM (Local Time)

INSTRUCTIONS

Sealed Proposals must be received on or before the due date and time (local time) at the office of the City Clerk, 10500 North Military Trail, Palm Beach Gardens, Florida 33410. Normal City business hours are 8:00 a.m. to 5:00 p.m., Monday through Friday, except holidays.

All Proposals will be publicly opened at City Hall. Each Proposal submitted to the City Clerk shall have the following information clearly marked on the face of the envelope: the Proposer's name, return address, RFP number, due date for Proposals, and the title of the RFP. Included in the envelope shall be **one (1) original and one (1) electronic version on CD or a USB thumb drive in a usable PDF format**. The original should be marked "ORIGINAL", and the electronic version must be identical to the original. In the event of any discrepancy between the original Proposal and the electronic versions, the original Proposal shall be the governing document. Proposals must contain all information required to be included in the Proposal, as described in the Solicitation.

BROADCAST

The City of Palm Beach Gardens utilizes electronic online services for notification and distribution of its Solicitation documents. The City's Solicitation information can be obtained from: **a) Public Purchase** - Please contact Public Purchase at support@publicpurchase.com; www.publicpurchase.com; or call 801.932.7000 for additional information on registration; **b) DemandStar** - Please contact DemandStar at www.demandstar.com or by calling them at 1.800.711.1712; **c) The City's Vendors List** - The City emails all advertised Solicitations to Proposers that have joined the City's Proposer List. To join the City's Vendors List, please visit the City's Purchasing webpage at www.pbgfl.com/purchasing and click on the "Join Vendors List" link. Bidders who obtain Solicitations from sources other than those named above are cautioned that the Request for Proposals package may be incomplete. The City will not evaluate incomplete Proposal packages. DemandStar and Public Purchase are independent entities and are not agents or representatives of the City. Communications to these entities do not constitute communications to the City. The City is not responsible for errors and omissions occurring in the transmission or downloading of any documents, addenda, plans, or specifications from these websites. In the event of any discrepancy between information on these websites and the hard copy Solicitation documents, the terms and conditions of the hardcopy documents will prevail.

CONTACT PERSON

Any questions regarding the specifications and Solicitation process must be submitted in writing to the Purchasing Department for the Purchasing and Contracts Director at kmra@pbgfl.com. To allow enough time for the City to respond, requests for clarification and additional information should be received at least **seventy-two (72) hours** before the Due Date for Proposals.



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LEGAL ADVERTISEMENT

REQUEST FOR PROPOSALS NO. RFP2015-024GF

DESIGN BUILD OF NEW GOLF CLUBHOUSE

The City of Palm Beach Gardens is seeking Proposals from qualified firms to design and construct a new golf club house at the City's Golf Course, 11401 Northlake Boulevard, in accordance with the terms, conditions, and specifications contained in this Request for Proposals.

Request for Proposals documents are available beginning Friday, August 21, 2015, at 8:00 a.m. local time on the City of Palm Beach Gardens' website at www.pbgfl.com and following the link to the Purchasing webpage, or by contacting the City Clerk's Office at 561.799.4121.

Sealed Proposals must be clearly marked "RFP2015-024GF, Design Build of New Golf Clubhouse" and delivered to the Office of the City Clerk at 10500 North Military Trail, Palm Beach Gardens, Florida 33410. The deadline for submission of Proposals is September 25, 2015, at 3:00 p.m. local time. At that time, the Proposals will be publicly opened and read aloud at City Hall, 10500 North Military Trail, Palm Beach Gardens, Florida 33410. **Late Proposals will not be accepted and will be returned to the sender unopened.**

The City will hold a Pre-Proposal Conference on Thursday, August 27, 2015 at City Hall, City of Palm Beach Gardens, starting promptly at 10:00 a.m. Attendance is recommended, but not mandatory.

It is the responsibility of the Proposer to ensure all pages are included in the submission. All Proposers are advised to closely examine the Solicitation package. Any questions regarding the completeness or substance of the Solicitation package or scope of services must be submitted in writing via email or fax to Km! Ra, Purchasing and Contracts Director, kmra@pbgfl.com or 561.799.4134.

The City of Palm Beach Gardens is exempt from Federal and State Taxes for tangible personal property tax.

The City of Palm Beach Gardens reserves the right to accept or reject any or all Proposals, in whole or in part, with or without cause, to waive any irregularities and/or technicalities, and to award the contract on such coverage and terms it deems will best serve the interests of the City.

CITY OF PALM BEACH GARDENS
Patricia Snider, CMC, City Clerk

Publish: Palm Beach Post
Friday, August 21, 2015

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SECTION 1
PRE-PROPOSAL CONFERENCE

- 1.1 A Pre-Proposal Conference will be held:

Thursday, August 27, 2015 at 10:00 a.m. Local Time

at
Council Chambers
City of Palm Beach Gardens
10500 North Military Trail
Palm Beach Gardens, FL 33410

Attendance is highly recommended, but not mandatory, for those intending to submit a Proposal. After the Conference, there will be a follow-up tour of the Golf Course's Clubhouse, 11401 Northlake Boulevard, Palm Beach Gardens, Florida.

If you need a sign language interpreter or materials in accessible format for this event, please contact the Purchasing Department at (561) 799-4197 at least five (5) days in advance.

- 1.2 The purpose of the Pre-Proposal Conference (and Site Visit, if applicable) is to provide and solicit information relative to the scope, purpose, nature, and extent of the work, and any local conditions that may affect the work and its performance. Submission of a Proposal shall constitute an acknowledgement by the Proposer that it has thoroughly examined and is familiar with the requirements of this Solicitation package.

The failure or neglect of a Proposer to examine the Solicitation package shall in no way relieve the Proposer of any obligation with respect to its Proposal or the requirements of the contract. No claim for additional compensation will be allowed which is based on a lack of knowledge of the requirements of this Solicitation package or the resultant contract.

SECTION 2 PROJECT OVERVIEW

2.1 The City of Palm Beach Gardens, Florida, is soliciting Proposals from qualified Proposers for the design and construction of a new Clubhouse for the City's Golf Course at 11401 Northlake Boulevard, Palm Beach Gardens, Florida.

2.2 The City intends to award a contract that will incorporate all preliminary planning, design, architectural drawings, pre-construction, construction, and post-construction work requirements of the Project, until the new golf clubhouse is constructed, and has been inspected and accepted by the City.

Design-Build Teams should comprise a full service A&E firm. The selected Proposer must be able and willing to work with all the City's consultants and contractors on this Project. Consultants and contracts may include golf course designers, interior designers, security consultants, art consultants, public advisory board members, and others.

2.3 The anticipated schedule for this Solicitation is as follows:

ITEM	EVENT	DATE/TIME
a.	Solicitation Package Issued	August 21, 2015
b.	Pre-Proposal Conference	August 27, 2015
c.	Due Date for Proposals	September 25, 2015
d.	Evaluation Process Begins	October 2, 2015
e.	Evaluation Process Completed	October 23, 2015
f.	Contract Award	December 3, 2015

2.4 The City estimates that this Project should cost Four Million Six Hundred Thousand Dollars (\$4,600,000) to construct. This estimate includes the development of the design drawings, surveys, the design-build contract, and all other onsite and offsite requirements to deliver a completed Clubhouse to the City.

SECTION 3 GENERAL TERMS AND CONDITIONS

3.1 DEFINITIONS

- a. *Proposal: any offer(s) submitted in response to this Request for Proposal.*
- b. *Proposer: person or firm submitting a response to this Request for Proposal.*
- c. *Solicitation or Request for Proposal: this Solicitation documentation, including any and all addenda.*
- d. *Proposal Submittal forms: describes the goods or services to be purchased, and must be completed and submitted with the Proposal.*
- e. *City: shall refer to the City of Palm Beach Gardens, Florida.*
- f. *Contract or Agreement: the Request for Proposal, all addenda issued thereto, all affidavits, the signed agreement, and all related documents that comprise the totality of the contract or agreement between the City and the Proposer.*
- g. *Contractor: successful Proposer that is awarded a contract to provide the goods or services to the City.*
- h. *Purchasing Department: the Purchasing Department of the City of Palm Beach Gardens, Florida.*
- i. *Responsible Proposer: a Proposer that has the capability in all respects to perform in full the contract requirements, as stated in the Request for Proposals, and the integrity and reliability that will assure good-faith performance.*
- j. *Responsive Proposer: a Proposer whose Proposal conforms in all material respects to the terms and conditions included in the Request for Proposals.*

3.2 CONE OF SILENCE

Pursuant to Section 2-355 of the Palm Beach County Ordinance No. 2011-039, and the purchasing policies of the City of Palm Beach Gardens, all Solicitations, once advertised and until the appropriate authority has approved an award recommendation, are under the "Cone of Silence". This limits and requires documentation of communications between potential bidders and/or bidders on City Solicitations, the City's professional staff, and the City Council members.

3.3 ADDENDUM

The Purchasing Department may issue an addendum in response to any inquiry received, prior to the due date for Proposals, which changes, adds, or clarifies the terms, provisions, or requirements of the Solicitation. The Proposer should not rely on any representation, statement, or explanation, whether written or verbal, other than those made in the Solicitation document or in the addenda issued. Where there appears to be a conflict between the Solicitation

and any addenda, the last addendum issued shall prevail. It is the Proposer's responsibility to ensure receipt of all addenda and any accompanying documentation. The Proposer is required to submit with its Proposal a signed "Acknowledgment of Addenda" form, when any addenda have been issued.

3.4 LEGAL REQUIREMENTS

This Solicitation is subject to all legal requirements contained in the applicable City Ordinances and Resolutions, as well as all applicable City, State, and Federal Statutes. Where conflict exists between this Solicitation and these legal requirements, the authority shall prevail in the following order: Federal, State, and local.

3.5 CHANGE OF PROPOSAL

Prior to the scheduled due date for Proposals, a Proposer may change its Proposal by submitting a new Proposal (as indicated on the cover page) with a letter on the firm's letterhead, signed by an authorized agent stating that the new Proposal replaces the original Proposal. The new submittal shall contain the letter and all information as required for submitting the original Proposal. No changes to a Proposal will be accepted after Proposals have been opened.

3.6 WITHDRAWAL OF PROPOSAL

A Proposal shall be irrevocable unless the Proposal is withdrawn as provided herein. Only a written letter received by the Purchasing Department prior to the due date for Proposals may withdraw a Proposal. A Proposal may also be withdrawn ninety (90) days after the Proposal has been opened and prior to award, by submitting a letter to the Purchasing and Contracts Director. The withdrawal letter must be on company letterhead and signed by an authorized agent of the Proposer.

3.7 CONFLICTS WITHIN THE SOLICITATION

Where there appears to be a conflict between the General Terms and Conditions, Special Conditions, the Scope of Services, and/or Description of Items, the Proposal Submittal forms, or any addendum issued, the order of precedence shall be: the last addendum issued, the Proposal Submittal forms, the Scope of Services and/or Description of Items, the Special Conditions, and then the General Terms and Conditions.

3.8 PROMPT PAYMENT TERMS

It is the policy of the City of Palm Beach Gardens that payment for all purchases by City departments shall be made in a timely manner. The City will pay the successful Proposer upon receipt and acceptance of the goods or services by a duly authorized representative of the City. In accordance with Florida Statutes, Section 218.74, the time at which payment shall be due from the City shall be forty-five (45) days from receipt of a proper invoice. The time at which payment shall be due to small businesses shall be thirty (30) days from

receipt of a proper invoice. Proceedings to resolve disputes for payment of obligations shall be concluded by final written decision of the City Manager or designee, not later than sixty (60) days after the date on which the proper invoice was received by the City.

3.9 DISCOUNTS (PROMPT PAYMENTS)

The Proposer may offer cash discounts for prompt payments; however, such discounts will not be considered in determining the successful Proposer during the evaluation period. Proposers are requested to provide prompt payment terms in the space provided on the Proposal submittal forms signature page of the Solicitation.

3.10 PREPARATION OF PROPOSALS

- a. The Proposal submittal forms define requirements of the services to be performed or the items to be purchased, and must be completed and submitted with the Proposal. Use of any other forms will result in the rejection of the Proposal. The Proposal submittal forms must be legible. Proposers shall use typewriter, computer, or ink. All changes must be crossed out and initialed in ink. Failure to comply with these requirements may cause the Proposal to be rejected.
- b. An authorized agent of the Proposer's firm must sign the Proposal submittal forms where indicated. **Failure to sign the Signature Page of the Proposal shall render the Proposal non-responsive.**
- c. The Proposer must identify any exceptions it takes to the terms and conditions of the Solicitation and contract. Exceptions will not automatically result in the Proposer being deemed non-responsive; however, such a determination is at the discretion of the City. Proposers are cautioned that they may be considered non-responsive if Proposals are conditioned to modifications, changes, or revisions to the terms and conditions of this Solicitation.
- d. The Proposer may submit alternate Proposal(s) for the same Solicitation provided that such offer is allowable under the terms and conditions. The alternate Proposal must meet or exceed the minimum requirements and be submitted as a separate Proposal marked "Alternate Proposal".
- e. When there is a discrepancy between the unit prices and any extended prices, the unit prices will prevail.
- f. Late Proposals will not be accepted and will be returned to the sender unopened. It is the Proposer's responsibility to ensure timely delivery by the due date and time, and at the place stated in this Solicitation. No exceptions will be made due to weather, carrier, traffic, illness, or other issues.

3.11 CANCELLATION OF SOLICITATION

The City of Palm Beach Gardens reserves the right to cancel, in whole or in part, any Requests for Proposals when it is in the best interest of the City.

3.12 AWARD OF CONTRACT

- a. This contract may be awarded to the responsive and responsible Proposer meeting all requirements as set forth in the Solicitation. The City reserves the right to reject any and all Proposals, to waive irregularities or technicalities, and to re-advertise for all or any part of this Solicitation as deemed in its best interest. The City shall be the sole judge of its best interest.
- b. The City reserves the right to reject any and all Proposals if it is determined that prices are excessive, best offers are determined to be unreasonable, or it is otherwise determined to be in the City's best interest to do so.
- c. The Proposer's prior performance as a prime Contractor or subcontractor on previous City contracts shall be taken into account in evaluating the Proposal received for this Solicitation.
- d. The City will provide a copy of the ranking and scores to all Proposers responding to this Solicitation.
- e. Award of this Proposal may be predicated on compliance with and submittal of all required documents as stipulated in the Solicitation.
- f. The City reserves the right to request and evaluate additional information from any Proposer after the due date for Proposals, as the City deems necessary.

3.13 CONTRACT EXTENSION

The City reserves the right to automatically extend any agreement for a maximum period not to exceed ninety (90) calendar days in order to provide City departments with continual service and supplies while a new agreement is being solicited, evaluated, and/or successful.

3.14 WARRANTY

All warranties express and implied shall be made available to the City for goods and services covered by this Solicitation. All goods furnished shall be fully guaranteed by the successful Proposer against factory defects and workmanship. At no expense to the City, the successful Proposer shall correct any and all apparent and latent defects that may occur within the manufacturer's standard warranty.

3.15 ESTIMATED QUANTITIES

Estimated quantities or dollars are for Proposer's guidance only: (a) estimates are based on the City's anticipated needs and/or usage; and (b) the City may use these estimates to determine the successful Proposer. No guarantee is expressed or implied as to quantities or dollars that will be used during the contract period. The City is not obligated to place any order for the given amount subsequent to the award of this contract.

3.16 NON-EXCLUSIVITY

It is the intent of the City to enter into an agreement with the successful Proposer that will satisfy its needs as described herein. However, the City reserves the right as deemed in its

best interest to perform, or cause to be performed, the work and services, or any portion thereof, herein described in any manner it sees fit, including but not limited to, award of other contracts, use of any Contractor, or perform the work with its own employees.

subcontract may be further limited by the Special Conditions. Subcontracting without the prior consent of the City shall constitute a material breach of the agreement and may result in termination of the contract for default.

3.17 CONTINUATION OF WORK

Any work that commences prior to and will extend beyond the expiration date of the current contract period shall, unless terminated by mutual written agreement between the City and the successful Proposer, continue until completion at the same prices, terms, and conditions.

3.22 ASSIGNMENT

The successful Proposer shall not assign, transfer, hypothecate, or otherwise dispose of this contract, including any rights, title, or interest therein, or its power to execute such contract to any person, company, or corporation without the prior written consent of the City. Assignment without the prior consent of the City may result in termination of the contract for default.

3.18 PROTEST

a. A recommendation for contract award or rejection of award may be protested by a Proposer. The Proposer may file a written protest with the City Clerk's office. The Proposer shall file its written protest with the City Clerk, Monday through Friday, between the hours of 8:00 a.m. and 5:00 p.m., excluding legal holidays. Protests shall contain the name, address, and phone number of the petitioner, name of the petitioner's representative (if any), and the title and Proposal number of the Solicitation. The protest shall specifically describe the subject matter, facts giving rise to the protest, and the action requested from the City.

3.23 SHIPPING TERMS

Unless otherwise specified in the Solicitation, prices quoted shall be F.O.B. Destination. Freight shall be included in the proposed price.

b. The written protest must be received no later than seventy-two (72) consecutive hours (excluding Saturdays, Sundays, and legal holidays) after the time of award posting. Failure to file a timely formal written protest within the time period specified shall constitute a waiver by the Proposer of all rights of protest under this procedure.

3.24 RESPONSIBILITIES AS EMPLOYER

The employee(s) of the successful Proposer shall be considered to be at all times its employee(s), and not an employee(s) or agent(s) of the City or any of its departments. The successful Proposer shall provide physically competent employee(s) capable of performing the work as required. The City may require the successful Proposer to remove any employee it deems unacceptable. All employees of the successful Proposer shall wear proper identification.

c. In the event of a timely protest, the City will not proceed further with award of the contract and agreement until all administrative remedies are exhausted, or until the City Manager determines the award of the contract is immediately necessary to protect the public health, welfare, or safety.

It is the successful Proposer's responsibility to ensure that all its employees and subcontractors comply with the employment regulations required by the US Department of Homeland Security. The City shall have no responsibility to check or verify the legal immigration status of any employee of the successful Proposer.

3.19 LAWS AND REGULATIONS

The successful Proposer shall comply with all laws and regulations applicable to provide the goods or services specified in this Solicitation. The Proposer shall be familiar with all federal, state, and local laws that may affect the goods and/or services offered.

3.25 INDEMNIFICATION

The successful Proposer shall indemnify and hold harmless the City and its officers, employees, agents, and instrumentalities from any and all liability, losses, or damages, including attorney's fees and costs of defense, which the City or its officers, employees, agents, or instrumentalities may incur as a result of claims, demands, suits, causes of actions, or proceedings of any kind or nature arising out of, relating to, or resulting from the performance of the agreement by the successful Proposer or its employees, agents, servants, partners, principals, or subcontractors. The successful Proposer shall pay all claims and losses in connection therewith, and shall investigate and defend all claims, suits, or actions of any kind or nature in the name of the City, where applicable, including appellate proceedings, and shall pay all costs, judgments, and attorney's fees which may be incurred thereon. The successful Proposer expressly understands and agrees that any insurance protection required by this contract agreement or otherwise provided by the successful Proposer shall in no way limit the responsibility to indemnify, keep and save harmless, and defend the City or its officers, employees, agents, and instrumentalities as herein provided.

3.20 LICENSES, PERMITS AND FEES

The successful Proposer shall hold all licenses and/or certifications, obtain and pay for all permits and/or inspections, and comply with all laws, ordinances, regulations, and building code requirements applicable to the work required herein. Damages, penalties, and/or fines imposed on the City or a successful Proposer for failure to obtain and maintain required licenses, certifications, permits, and/or inspections shall be borne by the successful Proposer.

3.21 SUBCONTRACTING

Unless otherwise specified in this Solicitation, the successful Proposer shall not subcontract any portion of the work without the prior written consent of the City. The ability to

- 3.26 **COLLUSION**
A Proposer recommended for award as the result of a competitive Solicitation for any City purchase of supplies, materials, and services (including professional services, other than professional architectural, engineering, and other services subject to Sec. 287.055 Florida Stats.), purchase, lease, permit, concession, or management agreement shall, within five (5) business days of the filing of such recommendation, submit an affidavit under the penalty of perjury, on a form provided by the City stating either that the Contractor is not related to any of the other parties proposing in the competitive Solicitation or identifying all related parties; and attesting that the Proposal is genuine and not a sham or collusive or made in the interest or on behalf of any person not therein named, and that the Proposer has not, directly or indirectly, induced or solicited any other Proposer to put in a sham Proposal, or any other person, firm, or corporation to refrain from proposing, and that the Proposer has not in any manner sought by collusion to secure to the Proposer an advantage over any other Proposer. In the event a recommended Proposer identifies related parties in the competitive Solicitation, its Proposal shall be presumed to be collusive and the recommended Proposer shall be ineligible for award unless that presumption is rebutted to the satisfaction of the City. Any person or entity that fails to submit the required affidavit shall be ineligible for contract award.
- 3.27 **MODIFICATION OF CONTRACT**
The contract may be modified by mutual consent, in writing, through the issuance of a modification to the contract, a supplemental agreement, purchase order, or change order, as appropriate.
- 3.28 **TERMINATION FOR CONVENIENCE**
The City, at its sole discretion, reserves the right to terminate any contract entered into pursuant to this Request for Proposals (RFP) with or without cause immediately upon providing written notice to the selected Proposer. Upon receipt of such notice, the selected Proposer shall not incur any additional costs under the contract. The City shall be liable only for reasonable costs incurred by the selected Proposer prior to the date of the notice of termination. The City shall be the sole judge of "reasonable costs."
- 3.29 **TERMINATION FOR DEFAULT**
The City reserves the right to terminate this contract, in part or in whole, or place the vendor on probation in the event the selected Proposer fails to perform in accordance with the terms and conditions stated herein by providing written notice of such failure or default and by specifying a reasonable time period within which the selected Proposer must cure any such failure to perform or default. The selected Proposer's failure to timely cure any default shall serve to automatically terminate any contract entered into pursuant to this RFP. The City further reserves the right to suspend or debar the selected Proposer in accordance with the appropriate City ordinances, resolutions, and/or policies. The vendor will be notified by letter of the City's intent to terminate. In the event of termination for default, the City may procure the required
- goods and/or services from any source and use any method deemed in its best interest. All re-procurement costs shall be borne by the incumbent Proposer*
- 3.30 **FRAUD AND MISREPRESENTATION**
Any individual, corporation, or other entity that attempts to meet its contractual obligations with the City through fraud, misrepresentation, or material misstatement, may be debarred for up to five (5) years. The City, as a further sanction, may terminate or cancel any other contracts with such individual, corporation, or entity. Such individual or entity shall be responsible for all direct or indirect costs associated with termination or cancellation, including attorney's fees.
- 3.31 **ACCESS AND AUDIT OF RECORDS**
The City reserves the right to require the successful Proposer to submit to an audit by an auditor of the City's choosing at the successful Proposer's expense. The successful Proposer shall provide access to all of its records, which relate directly or indirectly to this contract, at its place of business during regular business hours. The successful Proposer shall retain all records pertaining to this contract, and upon request, make them available to the City for three (3) years following expiration of the contract. The successful Proposer agrees to provide such assistance as may be necessary to facilitate the review or audit by the City to ensure compliance with applicable accounting and financial standards.
- 3.32 **OFFICE OF THE INSPECTOR GENERAL**
Palm Beach County has established the Office of the Inspector General, which is authorized and empowered to review past, present, and proposed County programs, contracts, transactions, accounts and records. The Inspector General (IG) has the power to subpoena witnesses, administer oaths, require the production of records, and monitor existing projects and programs. The Inspector General may, on a random basis, perform audits on all City contracts.
- 3.33 **PRE-AWARD INSPECTION**
The City may conduct a pre-award inspection of the Proposer's premises or hold a pre-award qualification hearing to determine if the Proposer is capable of performing the requirements of this Solicitation.
- 3.34 **PROPRIETARY/CONFIDENTIAL INFORMATION**
Proposers are hereby notified that all information submitted as part of, or in support of, Proposal submittals will be available for public inspection after the opening of Proposals in compliance with Chapter 119 of the Florida Statutes; popularly known as the "Public Record Law." The Proposer shall not submit any information in response to this Solicitation that Proposer considers a trade secret, proprietary, or confidential. The submission of any information to the City in connection with this Solicitation shall be deemed conclusively to be a waiver of any trade secret or other protection that would otherwise be available to the Proposer. In the event that the Proposer submits information to the City in violation of this restriction, either inadvertently or intentionally, and clearly identifies that

information in the Proposal as protected or confidential, the City may, in its sole discretion, either (a) communicate with the Proposer in writing in an effort to obtain the Proposer's withdrawal of the confidentiality restriction, or (b) endeavor to redact and return that information to the Proposer as quickly as possible, and if appropriate, evaluate the balance of the Proposal. The redaction or return of information pursuant to this clause may render a Proposal non-responsive.

3.35 HEALTH INSURANCE PORTABILITY AND ACCOUNTABILITY ACT (HIPAA)

Any person or entity that performs or assists the City of Palm Beach Gardens with a function or activity involving the use or disclosure of "individually identifiable health information (IIHI) and/or Protected Health Information (PHI) shall comply with the Health Insurance Portability and Accountability Act (HIPAA) of 1996. HIPAA mandates for privacy, security, and electronic transfer standards include, but are not limited to:

- a. Use of information only for performing services required by the contract or as required by law;
- b. Use of appropriate safeguards to prevent non-permitted disclosures;
- c. Reporting to the City of Palm Beach Gardens any non-permitted use or disclosure;
- d. Assurances that any agents and subcontractors agree to the same restrictions and conditions that apply to the Proposer and reasonable assurances that IIHI/PHI will be held confidential;
- e. Making Protected Health Information (PHI) available to the customer;
- f. Making PHI available to the customer for review and amendment, and incorporating any amendments requested by the customer;
- g. Making PHI available to the City of Palm Beach Gardens for an accounting of disclosures; and
- h. Making internal practices, books, and records related to PHI available to the City of Palm Beach Gardens for compliance audits.

PHI shall maintain its protected status regardless of the form and method of transmission (paper records and/or electronic transfer of data). The successful Proposer must give its customers written notice of its privacy information practices, including specifically, a description of the types of uses and disclosures that would be made with protected health information.

3.36 ADDITIONAL FEES AND SURCHARGES

Unless provided for in the contract/agreement, the City will not make any additional payments such as fuel surcharges, demurrage fees, or delay-in-delivery charges.

3.37 COMPLIANCE WITH FEDERAL STANDARDS

All items to be purchased under this contract shall be in accordance with all governmental standards, to include, but not be limited to, those issued by the Occupational Safety and Health Administration (OSHA), the National Institute of Occupational Safety Hazards (NIOSH), and the National Fire Protection Association (NFPA).

3.38 COMPLIANCE WITH FEDERAL REGULATIONS DUE TO USE OF FEDERAL FUNDING

If the goods or services to be acquired under this Solicitation are to be purchased, in part or in whole, with Federal funding, it is hereby agreed and understood that Section 60-250.4, Section 60-250.5, and Section 60-741.4 of Title 41 of the United States Code, which addresses Affirmative Action requirements for disabled workers, is incorporated into this Solicitation and resultant contract by reference.

3.39 BINDING EFFECT

All of the terms and provisions of this contract/agreement, whether so expressed or not, shall be binding upon, inure to the benefit of, and be enforceable by the parties and their respective legal representatives, successors, and permitted assigns.

3.40 SEVERABILITY

If any part of this contract is contrary to, prohibited by, or deemed invalid under applicable law or regulation, such provision shall be inapplicable and deemed omitted to the extent so contrary, prohibited, or invalid, but the remainder hereof shall not be invalidated thereby and shall be given full force and effect so far as possible.

3.41 GOVERNING LAW AND VENUE

This contract and all transactions contemplated by this agreement shall be governed by and construed and enforced in accordance with the laws of the State of Florida without regard to any contrary conflicts of law principle. Venue of all proceedings in connection herewith shall lie exclusively in Palm Beach County, Florida, and each party hereby waives whatever its respective rights may have been in the selection of venue.

3.42 ATTORNEY'S FEES

It is hereby understood and agreed that in the event any lawsuit in the judicial system, federal or state, is brought to enforce compliance with this contract or interpret same, or if any administrative proceeding is brought for the same purposes, each party shall pay their own attorney's fees and costs, including appellate fees and costs.

3.43 EQUAL OPPORTUNITY AND ANTI-DISCRIMINATION

The City of Palm Beach Gardens complies with all laws prohibiting discrimination on the basis of age, race, gender, religion, creed, political affiliation, sexual orientation, physical or mental disability, color or national origin, and therefore is committed to assuring equal opportunity in the award of contracts and encourages small, local, minority, and female-owned businesses to participate.

During the performance of this contract, the successful Proposer agrees it will not discriminate or permit discrimination in its hiring practices or in its performance of the contract. The successful Proposer shall strictly adhere to the equal employment opportunity requirements and any applicable requirements established by the State of Florida, Palm Beach County, and the federal government.

The successful Proposer further acknowledges and agrees to provide the City with all information and documentation that may be requested by the City from time to time regarding the Solicitation, selection, treatment, and payment of subcontractors, suppliers, and Proposers in connection with this contract.

3.44 AVAILABILITY OF CONTRACT TO OTHER CITY DEPARTMENTS
It is agreed and understood that any City department or agency may access this contract and purchase the goods or services successful herein. Each City department will issue a separate purchase order to the successful Proposer for the department's specific purchases.

3.45 CRIMINAL HISTORY BACKGROUND CHECKS
Prior to hiring a contract employee or contracting with a Proposer, the City may conduct a comprehensive criminal background check by accessing any Federal, State, or local law enforcement database available. The contract employee or Proposer will be required to sign an authorization for the City to access criminal background information. The costs for the background checks shall be borne by the City.

3.46 LABOR, MATERIALS, AND EQUIPMENT
Unless specified elsewhere in the Solicitation or resultant contract, all labor, materials, and equipment required for the performance of the requirements of the contract shall be supplied by the successful Proposer.

3.47 MINIMUM WAGE REQUIREMENTS
The successful Proposer shall comply with all minimum wage requirements, such as Living Wage requirements, minimum wages based on Federal Law, minimum wages based on the Davis-Bacon Act, and the provisions of any other employment laws, as may be applicable to this contract.

3.48 PACKING SLIP AND DELIVERY TICKET
A packing slip and/or delivery ticket shall accompany all items delivered to the City. The documents shall include information on the contract number or purchase order, any back order items, and the number or quantity of items being delivered.

3.49 PURCHASE OF OTHER ITEMS
The City reserves the right to purchase other related goods or services, not listed in the Solicitation, during the contract term. When such requirements are identified, the City may request a price quote from the successful Proposer on the contract. The City, at its sole discretion, will determine if the prices offered are reasonable, and may choose to purchase the goods or services from the successful Proposer, another contract Proposer, or a non-contract Proposer.

3.50 PUBLIC RECORDS
Florida law provides that municipal records shall at all times be available to the public for inspection. Chapter 119, Florida Statutes, the Public Records Law, requires that all material submitted in connection with a Proposal response shall be deemed to be public record subject to public inspection upon award, recommendation for award, or thirty (30) days after Proposal opening, whichever occurs first. Certain exemptions to public disclosure are statutorily provided for in Section 119.07, Florida Statutes. If the Proposer believes any of the information contained in his/her/its Proposal is considered confidential and/or proprietary, inclusive of trade secrets as defined in Section 812.081, Florida Statutes, and is exempt from the Public Records Law, then the Proposer must, in its response, specifically identify the material which is deemed to be exempt and state the legal authority for the exemption. All materials that qualify for exemption from Chapter 119, Florida Statutes or other applicable law must be submitted in a separate envelope, clearly identified as "EXEMPT FROM PUBLIC DISCLOSURE" with the firm's name and the Proposal number clearly marked on the outside. The City will not accept Proposals when the entire Proposal is labeled as exempt from disclosure. The City's determination of whether an exemption applies shall be final, and the Proposer agrees to defend, indemnify, and hold harmless the City and the City's officers, employees, and agents against any loss or damages incurred by any person or entity as a result of the City's treatment of records as public records.

The selected Proposer(s) shall keep and maintain public records and fully comply with the requirements set forth at Section 119.0701, Florida Statutes, as applicable; failure to do so shall constitute a material breach of any and all agreements awarded pursuant to this Solicitation.

3.51 CONFLICTS OF INTEREST
All Proposers must disclose with their Proposal the name of any officer, director, or agent who is also an employee of the City of Palm Beach Gardens. Further, all Proposers must disclose the name of any City employee who has any interest, financial or otherwise, direct or indirect, of five percent (5%) or more in the Proposers' firm or any of its branches. Failure to disclose any such affiliation will result in disqualification of the Proposer from this Solicitation and may be grounds for further disqualification from participating in any future Solicitations with the City.

3.52 PUBLIC ENTITY CRIMES
As provided in Section 287.133(2) (a), Florida Statutes, a person or affiliate who has been placed on the convicted Proposers list following a conviction for a public entity crime may not submit a Proposal on a contract to provide any goods or services to a public entity; may not submit a Proposal on a contract with a public entity for the construction or repair of a public building or public work; may not submit Proposals on leases of real property to a public entity; may not be successful or perform work as a Contractor, supplier, subcontractor, or consultant under a contract with any public entity.

- 3.53 **OTHER GOVERNMENTAL AGENCIES**
If a Proposer is successfully awarded a contract as a result of this Solicitation, the Proposer shall allow other governmental agencies to access this contract and purchase the goods and services under the terms and conditions at the prices awarded.
- 3.54 **COMPLETION OF WORK AND DELIVERY**
All work shall be performed and all deliveries made in accordance with good commercial practice. The work schedule and completion dates shall be adhered to by the successful Proposer, except in such cases where the completion date will be delayed due to acts of nature, force majeure, strikes, or other causes beyond the control of the successful Proposer. In these cases, the successful Proposer shall notify the City of the delays in advance of the original completion so that a revised delivery schedule can be appropriately considered by the City.
- 3.55 **FAILURE TO DELIVER OR COMPLETE WORK**
Should the successful Proposer fail to deliver or complete the work within the time stated in the contract, it is hereby agreed and understood that the City reserves the authority to cancel the contract with the successful Proposer and secure the services of another Proposer to purchase the items or complete the work. If the City exercises this authority, the City shall be responsible for reimbursing the successful Proposer for work that was completed and items delivered and accepted by the City in accordance with the contract specifications. The City may, at its option, demand payment from the successful Proposer, through an invoice or credit memo, for any additional costs over and beyond the original contract price that were incurred by the City as a result of having to secure the services of another Proposer.
- 3.56 **CORRECTING DEFECTS**
The successful Proposer shall be responsible for promptly correcting any deficiency, at no cost to the City, within three (3) calendar days after the City notifies the successful Proposer of such deficiency in writing. If the successful Proposer fails to correct the defect, the City may (a) place the successful Proposer in default of its contract; and/or (b) procure the products or services from another source and charge the successful Proposer for any additional costs that are incurred by the City for this work or items, either through a credit memorandum or through invoicing.
- 3.57 **ACCIDENT PREVENTION AND BARRICADES**
Precautions shall be exercised at all times for the protection of persons and property. All successful Proposers performing services or delivering goods under this contract shall conform to all relevant OSHA, State, and County regulations during the course of such effort. Any fines levied by the above-mentioned authorities for failure to comply with these requirements shall be borne solely by the successful Proposer. Barricades shall be provided by the successful Proposer when work is performed in areas traversed by persons, or when deemed necessary by the City.
- 3.58 **OMISSIONS IN SPECIFICATIONS**
The scope of services or description of items contained within this Solicitation describes the various functions and classes of work required as necessary for the completion of the project. Any omissions of inherent technical functions or classes of work within the specifications and/or statement of work shall not relieve the Proposer from furnishing, installing, or performing such work where required to the satisfactory completion of the project.
- 3.59 **MATERIALS SHALL BE NEW AND WARRANTED AGAINST DEFECTS**
The successful Proposer hereby acknowledges and agrees that all materials, except where recycled content is specifically requested, supplied by the successful Proposer in conjunction with this Solicitation and resultant contract shall be new, warranted for their merchantability, and fit for a particular purpose. In the event any of the materials supplied to the City by the successful Proposer are found to be defective or do not conform to specifications, (1) the materials may be returned to the successful Proposer at the Proposer's expense and the contract cancelled; or (2) the City may require the successful Proposer to replace the materials at the successful Proposer's expense.
- 3.60 **TOXIC SUBSTANCES/FEDERAL "RIGHT TO KNOW" REGULATIONS**
The Federal "Right to Know" Regulation implemented by the Occupational Safety and Health Administration (OSHA) requires employers to inform their employees of any toxic substances to which they may be exposed in the workplace, and to provide training in safe handling practices and emergency procedures. It also requires notification to local fire departments of the location and characteristics of all toxic substances regularly present in the workplace.

Accordingly, the successful Proposer performing under this contract is required to provide two (2) complete sets of Material Safety Data Sheets to each City department utilizing any products that are subject to these regulations. This information shall be provided at the time when the initial delivery is made, on a department-by-department basis.
- 3.61 **TAXES**
The City of Palm Beach Gardens is exempt from Federal and State taxes for tangible personal property.
- 3.62 **PROPOSER'S COSTS**
The City shall not be liable for any costs incurred by Proposers in responding to this Request for Proposals.
- 3.63 **SUBSTITUTION OF PERSONNEL**
It is the intention of the City that the successful Proposer's personnel proposed for the contract shall be available for the initial contract term. In the event the successful Proposer wishes to substitute personnel, the successful Proposer shall propose personnel of equal or higher qualifications, and all replacement personnel are subject to the City's approval. In the event the substitute personnel are not satisfactory to the City, and the matter cannot be resolved to the satisfaction of

the City, the City reserves the right to cancel the contract for cause.

3.64 **FORCE MAJEURE**

The City and the successful Proposer are excused from the performance of their respective obligations under the contract when and to the extent that their performance is delayed or prevented by any circumstances beyond their control, including fire, flood, explosion, strikes or other labor disputes, natural disasters, public emergency, war, riot, civil commotion, malicious damage, act or omission of any governmental authority, delay or failure or shortage of any type of transportation, equipment, or service from a public utility needed for their performance provided that:

- a. The non-performing party gives the other party prompt written notice describing the particulars of the force majeure, including, but not limited to, the nature of the occurrence and its expected duration, and continues to furnish timely reports with respect thereto during the period of the force majeure.*
- b. The excuse of performance is of no greater scope and of no longer duration than is required by the force majeure.*
- c. No obligations of either party that arose before the force majeure causing the excuse of performance are excused as a result of the force majeure.*
- d. The non-performing party uses its best efforts to remedy its inability to perform.*

Notwithstanding the above, performance shall not be excused under this section for a period in excess of two (2) months,

provided that in extenuating circumstances, the City may excuse performance for a longer term. Economic hardship of the successful Proposer shall not constitute a force majeure. The term of the contract shall be extended by a period equal to that during which either party's performance is suspended under this section.

3.65 **NOTICES**

Notices shall be effective when received at the addresses specified in the contract/agreement. Changes in respective addresses to which such notices are to be directed may be made from time to time by either party by written notice to the other party. Facsimile and email transmissions are acceptable notice effective when received; however, facsimile and email transmissions received after 5:00 p.m. or on weekends or holidays will be deemed received on the next business day. The original of the notice must also be mailed to the receiving party.

Nothing contained in this section shall be construed to restrict the transmission of routine communications between representatives of the successful Proposer and the City of Palm Beach Gardens.

3.66 **FISCAL FUNDING OUT**

The City's obligation pursuant to any contract or agreement entered into in accordance with this Solicitation is specifically contingent upon the lawful appropriation of funds. Failure to lawfully appropriate funds for any contract or agreement awarded shall result in automatic termination of the contract or agreement. A non-appropriation event shall not constitute a default or breach of said contract or agreement by the City.

SECTION 4 SPECIAL TERMS AND CONDITIONS

- 4.1 **PURPOSE – TO DESIGN AND BUILD A NEW GOLF CLUBHOUSE**
The purpose of this Solicitation is to secure Proposals from qualified firms to design and construct a new Clubhouse for the City's Golf Course at 11401 Northlake Boulevard, as described and specified within this Solicitation, for the City of Palm Beach Gardens, Florida.
- 4.2 **PRE-PROPOSAL CONFERENCE**
- a. A Pre-Proposal Conference will be held on Thursday, August 27, 2015, at 10:00 a.m. Local Time, at City Hall, City of Palm Beach Gardens, 10500 North Military Trail, Palm Beach Gardens, FL 33410. Attendance is highly recommended for those intending to submit a Proposal.
 - b. After the Conference, there will be a Site Visit and tour of the existing Clubhouse at the Golf Course at 11401 Northlake Boulevard, and the area of land where the proposed new clubhouse should be constructed.
- 4.3 **TERM OF CONTRACT - UPON COMPLETION**
This contract shall commence upon the effective date of the duly executed Agreement, and shall remain in effect until such time as the commodities, equipment and/or services acquired in conjunction with this Request for Proposals, have been delivered and completed and accepted by the City's authorized representative and upon completion of the expressed and/or implied warranty periods.
- 4.4 **PRICES SHALL BE FIXED AND FIRM: GUARANTEED MAXIMUM PRICE**
If the Proposer is awarded a contract under this Solicitation, the Guaranteed Maximum Price agreed between the City and the selected Proposer shall remain fixed and firm during the term of contract, except for any change orders or variations that may be approved, which must meet the prior approval and authorization of the City.
- 4.5 **EXAMINATION OF SITE**
Prior to submitting its Proposal it is recommended that the Proposer visit the site of the proposed work and become familiar with any conditions which may in any manner affect the work to be done or affect the equipment, materials and labor required. The Proposer is also advised to examine carefully any drawings, specifications, or equipment, and become thoroughly aware regarding any and all conditions and requirements that may in any manner affect the work to be performed under the contract. No additional allowances will be made because of lack of knowledge of these conditions.
- 4.6 **LIQUIDATED DAMAGES FOR INCOMPLETE PROJECTS OR LATE DELIVERY**
Failure to complete the Project or delivery the work in accordance with the specifications and to the satisfaction of the City within the time stated shall cause the selected Proposer to be subject to charges for liquidated damages in the amount of 1% of the Guaranteed Maximum Price for each and every calendar day the Selected Proposer fails to timely achieve substantial completion and/or final completion. As compensation due the City for loss of use and for additional costs incurred by the City due to such non-completion of the work, the City shall have the right to

deduct the liquidated damages from any amount due, or that may become due to the selected Proposer under this agreement, or to invoice the selected Proposer for such damages if the costs incurred exceed the amount due to the selected Proposer.

4.7 INSURANCE

The selected Proposer shall not commence any performance pursuant to the terms of this Solicitation until certification or proof of insurance has been received and approved by the City's Risk Management Coordinator or designee.

The required insurance coverage is to be issued by an insurance company authorized and licensed to do business in the State of Florida, with the minimum rating of B+ or better, in accordance with the latest edition of A.M. Best's Insurance Guide. This insurance shall be documented in certificates of insurance which provides that the City of Palm Beach Gardens shall be notified at least thirty (30) days in advance of cancellation, non-renewal, or adverse change. The receipt of certificates or other documentation of insurance or policies or copies of policies by the City or by any of its representatives, which indicate less coverage than is required, does not constitute a waiver of the selected Proposer's obligation to fulfill the insurance requirements herein. Deductibles must be acceptable to the City of Palm Beach Gardens.

The selected Proposer must submit a current Certificate of Insurance, naming the City of Palm Beach Gardens as an additional insured and list as such on the insurance certificate. New certificates of insurance are to be provided to the City upon expiration.

The selected Proposer shall provide insurance coverage as follows, and shall carry:

- i. Workers' Compensation Insurance – as required by law.
- ii. Employer's Liability Insurance - \$100,000 per occurrence
- iii. Professional Liability (Errors and Omissions) Insurance - \$1,000,000 with a deductible not to exceed \$50,000 per claim. The certificate of insurance shall reference any applicable deductible.
- iv. Comprehensive General Liability Insurance - \$1,000,000 per occurrence combined single limit for Bodily Injury Liability and Property Damage Liability.
- v. Automobile Liability Insurance - for owned, non-owned and hired vehicles - \$300,000 per occurrence, combined single limit for Bodily Injury Liability and Property Damage Liability.
- vi. Builder's Risk Insurance – Coverage shall be "ALL RISK" coverage for one hundred percent (100%) of the completed value of the structure(s), building(s) or addition(s). Where contract calls for install of machinery or equipment, the policy must be endorsed to provide coverage on "ALL RISK" basis during transit and installation. The policy must be issued with a deductible of not more than \$50,000 per claim.

If no deductible for insurance is referenced above, the City reserves the right to require such deductibles which shall be determined by its Risk Management Coordinator, but not less than \$25,000 per claim.

4.8 PERFORMANCE BOND AND CONSTRUCTION BOND

The Proposer to whom a contingent award is made shall duly execute and deliver to the City a Performance Bond and a Construction Bond, both in an amount equal to 110% of the total contract price, payable to the City, as surety for faithful performance under the terms and conditions of the contract. The Performance Bond and Construction Bond shall be delivered to the City contemporaneously with contract execution. The bonds shall be substantially in the format of the examples that are a part of this RFP.

Both required Bonds must be executed by a surety company of recognized standing, authorized to do business in the State of Florida, and having a resident agent. Bonds may not be canceled, terminated, or revised unless the City has been provided with thirty (30) days' advanced written notice of such action by the surety. The surety must insert the registered agent to accept service of process in the State of Florida, directly on each bond document.

Acknowledgement and agreement is given by both parties that the performance and construction bonds do not limit the liability of the selected Proposer to the City in the event of a material breach of the contract agreement by the selected Proposer. The bonds may be used to recover liquidated damages on behalf of the City.

If the Proposer fails to deliver the bonds at the same time as contract execution, the City shall declare the selected Proposer in default of the contractual terms and conditions, and the Proposer shall surrender its bonds and the City shall not accept any offer or Proposals from that Proposer for a twelve (12) month period following such default.

4.9 CERTIFICATIONS

Any Proposer that submits an offer in response to this Solicitation shall, at the time of such offer, hold all necessary certifications issued by the State or County Examining Board qualifying the Proposer to perform the work proposed by this design/build Solicitation. If other professions or trades are required in conjunction with this Solicitation and such work/services will be performed or provided by a subcontractor(s), an applicable Certificate of Competency issued to the subcontractor(s) shall be submitted with the Proposer's offer; provided, however, that the City may at its option and in its best interest allow the Proposer to supply the subcontractor(s) certificate to the City during the Proposals evaluation period.

4.10 METHOD OF PAYMENT – INVOICE FOR COMPLETION OF WORK (PROGRESS PAYMENTS)

The selected Proposer shall submit an invoice to the City upon completion of the work, and the inspection and acceptance by the City Engineer or designee. The date of the invoices shall not exceed thirty (30) calendar days from the completion and acceptance of the work. Under no circumstances shall the invoice be submitted to the City in advance of the delivery and acceptance of the work. The invoice shall contain the following basic information: the selected Proposer's name and address, invoice number, date of invoice, reference (or include a copy of) the corresponding delivery ticket number or packing slip number, description of the goods or service, the contract number, purchase order number, and any discounts.

The City will allow progress payments for the work to be performed under this contract. Such progress payments shall be only for work that has been completed and verified by the City.

4.11 WARRANTY REQUIREMENTS - STANDARD WARRANTY

The Proposer shall provide a copy of its written warranty certificates with its initial offer, or upon request from the City. Failure to meet this requirement may result in the Proposal being deemed non-responsive. The warranty supplied by the selected Proposer shall remain in force for the full period identified in the certificates, regardless of whether the selected Proposer is under contract with the City at the time of defect. Payments made by the City in consideration for the goods and/or services received from the selected Proposer shall not constitute a waiver of these warranty provisions.

4.12 CLEAN UP

The selected Proposer shall remove all unusable materials and debris from the work site at the end of each workday, and disposed of in an appropriate manner. Upon final completion, the selected Proposer shall thoroughly clean up all areas where work has been involved as mutually agreed with the City authorized representative.

4.13 PRE-CONSTRUCTION CONFERENCE

The selected Proposer is required to conduct a Pre-Construction Conference for City officials designated to represent the City prior to the construction or assembly of the facility which is specified in this Solicitation. The selected Proposer may select the location of this construction conference, provided the conference is held in the southeast Florida area. Any costs incurred by these City officials in conjunction with the pre-construction conference shall be borne by the City.

4.14 RELEASE OF CLAIM REQUIRED

Pursuant to Section 255.05, *Florida Statutes*, all payments to the selected Proposer's subcontractors shall be made within ten (10) days of receipt of the partial payment by the selected Proposer. With the exception of the first partial payment, the selected Proposer must pay all of its subcontractors and suppliers who have performed any work or supplied any materials for the Project within ten (10) days after receipt of the partial payment by the selected Proposer for monies due such subcontractors and suppliers as a result of a percentage of the work completed. The selected Proposer must provide the City's Project manager with duly executed affidavits (subcontractor's statement of satisfaction) or releases of claim from all subcontractors and suppliers who have performed any work or supplied any materials for on the Project as of that date. The affidavit or releases shall certify that said subcontractors and suppliers have been paid their proportionate share of all previous partial payments to the selected Proposer. In the event such affidavits cannot be furnished, the selected Proposer may submit an executed consent of surety to requisition payment; identifying the subcontractors and suppliers with the amounts for which the statement of satisfaction cannot be furnished. If the selected Proposer fails to provide a consent of surety to requisition payment, the amount in dispute will be withheld until either the statement of satisfaction is furnished, or the consent of surety to requisition payment is furnished.

4.15 SUBCONTRACTORS OF WORK SHALL BE IDENTIFIED

As part of its Proposal, the Proposer must identify any and all subcontractors that will be used in the performance of the proposed contract, their capabilities and experience, and the portion of the work to be done by the subcontractor. The competency of the subcontractor(s) with respect to experience, skill, responsibility and business standing shall be considered by the City when making the award in the best interest of the City. If the Proposer fails to identify any and

all sub-Contractors in the Proposal, the City may allow the Proposer to submit this documentation during the evaluation period if such action is in the best interest of the City.

SECTION 5 SCOPE OF WORK AND TECHNICAL SPECIFICATIONS

5.1 PROJECT DESCRIPTION

The Design Build of the New Clubhouse shall be constructed with sufficient space to house the existing administrative operations of the golf course, including the addition of a new pub, and event space to accommodate minimum seating for 200 persons banquet-style. Within the specified workspace floor area, the functional layout must be sufficient space to house staff and equipment for day-to-day operations and at a minimum be designed for 24-hours of self-contained continuous operation (not be reliant upon off-site services and utilities).

This RFP is for site work, architectural and engineering design and construction under a single contract for a cost of the work plus design-builder's fee for a Guaranteed Maximum Price. This includes professional services for design-build and should include, but may not be limited to, site survey and soil testing as required; necessary permits and fees; civil and service utilities site work; construction of the buildings substructure, superstructure, shell (exterior enclosure) and interior construction; special inspections; mechanical, plumbing, electrical, conveyance and security systems; lighting protections; and redundant infrastructure system (e.g. electric generator, uninterruptible power supply, potable water and wastewater system, etc.). The proposed New Clubhouse shall meet all hurricane hazard safety criteria as set forth by U.S. Department of Homeland Security and the State of Florida, Division of Emergency Management (FDEM) and Palm Beach County. The design must be consistent with the architectural style of the surrounding neighborhood, the existing clubhouse, and must meet the minimum standards established for LEED certification.

Comprehensive information and technical specifications regarding the proposed project is contained and described in the Design Criteria Package, which is attached to this Solicitation as the following Exhibits.

- a. Exhibit "A", Design Narrative
- b. Exhibit "B", Schematic Layouts and Conceptual Designs
- c. Exhibit "C", Topographic Survey
- d. Exhibit "D", Geotechnical Engineering Report
- e. Exhibit "E", Structural Survey and Analysis (Existing Clubhouse)
- f. Exhibit "F", Inventory and Photos of Donated Furniture (to be considered in building design)
- g. Exhibit "G", Sanitary Sewer Plans

5.2 REQUIREMENTS OF PROPOSAL

Proposer interested in this Project shall clearly describe all aspects of the Project as proposed. Include details of your approach and work plans. A brief statement must be included, which explains why your Proposal would be the most effective and beneficial to the City of Palm Beach Gardens.

Proposers shall submit as part of their Proposals, complete descriptions, and preliminary layouts of the proposed Design Build New Golf Clubhouse.

The Proposal must address the commitment and timetable of sixteen (16) months for substantial completion of the Project.

Relevant experience shall be at least three (3) completed, delivered and accepted similar design/build Projects from the Design/Build team. This requirement may be satisfied by the relevant individual experience of the architect or engineer for the Project.

A listing of all sub-Contractors, and additional qualification information should be submitted about the experience of the team that will construct the Project.

Identify the contact person and supervisory personnel who will work on the Project. A resume of each person shall be provided with emphasis on their experience with similar work. Proposers must also submit copies of Contractors Licenses, and any other licenses deemed relevant to the Project.

5.3 ADDITIONAL INFORMATION

The following additional information is provided regarding the site and Project.

- a. The estimated planning, design, and construction budget for this Project is \$4, 600,000.
- b. The construction site will need to be platted during the site plan approval process. If there are to be any waivers on the site the Project will be approved through the PUD process. Otherwise, the Project will be approved through a major site plan.
- c. There is no asbestos survey for the existing clubhouse.
- d. This Project does not have any local or special preferences for small businesses or minority enterprises.
- e. The City is not assigning a LEED Commissioning Agent to the Project. The service fees and other applicable fees must be accounted for in the Proposer's Guaranteed Maximum Price offered. The City would like the new clubhouse constructed to LEED standards or an equivalent green sustainability code, but will not be pursuing LEED certification for the facility.

5.4 DEMOLITION OF EXISTING CLUBHOUSE

The City will arrange to have the existing Clubhouse and related structures demolished, and the debris removed from the premises. The City has made arrangements to lease temporary office trailers from which the operations of the Golf Course will be managed, during the construction of the new Golf Clubhouse. The City plans to have the existing Clubhouse demolished and the Golf Course operations staff moved into the temporary trailers before the work on this Project commences.

5.5 CHANGES

The City may at any time, as the need arises, order changes within the scope of the work without invalidating the contract. If such changes increase or decrease the amount due under the contract, or the time required for performance of the work, an equitable adjustment shall be authorized by Change Order.

The City may, at any time make changes in the details of the Work. The selected Proposer shall proceed with the performance of any changes in the work so ordered by the City, unless the selected Proposer believes that such changes entitles it to a change in the contract price or time, or both, in which event the selected Proposer shall give the City immediate written notice thereof after the receipt of the ordered change. Thereafter, the selected Proposer shall document the basis for the change in contract price or time within ten (10) calendar days. All changes resulting in a request for added time must be accompanied by a Time Impact Analysis.

Changes in the scope of work may be accomplished by change order, construction change directive, or field order. Any one of these documents shall be interpreted as further instruction from the City.

A change order shall be based upon agreement between the City and the selected Proposer; a construction change directive may or may not be agreed to by the selected Proposer; a field order for a minor change in the work may be issued by the City.

Changes in the work shall be performed under applicable provisions of the contract documents, and the selected Proposer shall proceed promptly, unless otherwise provided in the change order, construction change directive, or field order.

5.6 CHANGE ORDERS

A change order is a document prepared and signed by the City and selected Proposer, stating their agreement upon all of the following:

- a. a change in the scope of work;
- b. the amount of the adjustment in the contract price, if any; and
- c. the extent of the adjustment in the contract time, if any.

The issuance of a change order shall be full and final settlement for any issue or item addressed in the change order. No change order will be accepted or processed with any "reservation of rights" notations or clauses.

5.7 CONSTRUCTION CHANGE DIRECTIVES

A construction change directive is a written order prepared and signed by the City, directing a change in the work and stating a proposed basis for adjustment, if any, in the contract price or contract time, or both. The City may, by issuing a construction change directive, without invalidating the contract, order changes in the work within the general scope of the contract consisting of additions, deletions or other revisions, the contract sum and contract time being adjusted accordingly if affected by the change.

A construction change directive will be used in the absence of agreement on the terms of a change order.

If the construction change directive provides for an adjustment to the contract price, the adjustment shall be based on one of the following methods and precedence:

- a. unit prices stated in the Proposal;
- b. unit prices agreed upon through previous amendments to the contract;
- c. by mutual acceptance of a lump sum properly itemized and supported by sufficient substantiating data to permit evaluation by the City; or
- d. by actual cost, to be determined in a manner agreed upon by the selected Proposer and the City, and including a mutually acceptable fixed or percentage fee (if any).

Upon receipt of a construction change directive, the selected Proposer shall promptly proceed with the change in the work involved and shall immediately advise the City of the selected Proposer's disagreement with the method, if any, provided in the construction change directive for determining the proposed adjustment in the contract price or contract time.

If the selected Proposer does not respond promptly or disagrees with the method for adjustment in the contract price, the method and the adjustment shall be determined by the City on the basis of reasonable expenditures and savings of those performing the work attributable to the change, including, in case of an increase in the contract price, a reasonable allowance for overhead and profit. In such case, the selected Proposer shall keep and present, in such form as the City may prescribe, an itemized accounting together with appropriate supporting data.

Unless otherwise provided in the contract documents, costs for any changes shall be limited to the following:

- a. costs of labor, including social security, old age and unemployment insurance, fringe benefits required by agreement or custom, and workers' or workmen's compensation insurance;
- b. costs of materials, supplies and equipment, including cost of transportation, whether incorporated or consumed;
- c. rental costs of machinery and equipment, exclusive of hand tools, whether rented from the selected Proposer or others;
- d. costs of premiums for all bonds and insurance, permit fees, and sales, use or similar taxes related to the work; and
- e. the selected Proposer may add 10% (for overhead and profit) to the cost for work performed by his own forces, and 5% (for overhead and profit) to the cost for work performed by subcontractors. The subcontractor may add 10% (for overhead and profit) to the cost for work performed by his own forces. The selected Proposer may add an amount, confirmed by the surety, not to exceed 2% for the additional performance bond premium.

Overhead shall include the following: supervision, wages of time keepers, watchmen, and clerks; small tools, incidentals, general office expense, and all other expenses not included in cost.

When the City and the selected Proposer agree with the adjustments in the contract price and contract time, or otherwise reach agreement upon the adjustments, such agreement shall be effective immediately and shall be recorded by preparation and execution of an appropriate change order.

Prior to final determination of cost to the City and a completely executed change order, amounts not in dispute may be included in applications for payment.

5.8 MINOR CHANGES IN THE WORK

The City shall have authority to order minor changes in the work not inconsistent with the intent of the contract. Such changes shall be effected by issuance of a field order and shall be binding on the City and selected Proposer. The selected Proposer shall carry out such written orders promptly.

SECTION 6 RESPONSE REQUIREMENTS

6.1 SUBMITTAL REQUIREMENTS

In response to this Solicitation, the Proposer should return one (1) original and an accessible electronic copy on CD or USB thumb drive, of the entire completed Proposal Submittal Package. Proposers should carefully follow the format and instructions outlined herein. All documents and information must be fully completed and signed as required. Please do not password-protect electronic documents.

The Proposal shall be written in sufficient detail to permit the City to conduct a meaningful evaluation of the proposed services. However, overly elaborate responses are not requested or desired.

6.2 REQUIRED INFORMATION

Proposers must provide the following information with their Proposals:

a. SUBMITTAL FORMAT

To facilitate and expedite review, the City asks that all Proposers follow the response format outlined below. Failure to submit your response in the format requested may result in delay evaluating your Proposal. To assist you in preparing your response, the City's selection procedures are also described herein. Please abide by all requirements set forth to avoid any risk of disqualification.

b. PROPOSALS SHOULD FOLLOW THE FORMAT BELOW:

TAB 1 – INTRODUCTION

Provide a cover letter no longer than two (2) pages in length, signed by an authorized representative of your firm. Provide a positive commitment to perform the required work. Also the letter should disclose the name of the contracting agent and primary contact person, his/her title, address, phone number, fax number and email address. The table of contents should follow the cover letter.

TAB 2 – TABLE OF CONTENTS

Include a clear identification of the material included in the Proposal by page number.

TAB 3 – FIRM INFORMATION, EXPERIENCE AND REFERENCES

Provide a brief description of the Design-Build Team, organization, structure, and philosophy.

Provide the firm's years of experience in the field of design-build construction services.

Identify and include qualifications of specific individuals to be assigned to the Project (include names, certifications, contact information and services the individuals will provide to the City).

Specifically address the qualifications and experience of all senior members of the Project team who have worked in any capacity on the design and construction of a golf clubhouse. Senior members are defined as general contractor, architect, engineer, consultants, project management professionals, interior designers, etc.

List any sub-Contractors that may be used to accomplish this service (include names, certifications, contact information and services the individuals will provide to the City).

Describe any significant or unique awards received or accomplishments in previous, similar Projects.

Provide evidence that the Design-Builder and/or subcontractors are licensed to practice in the State of Florida.

Provide evidence that the Design-Builder and/or subcontractor:

Is certified under Section 489.119, *Florida Statutes*, to engage in contracting through a certified or registered general Contractor or a certified or registered building Contractor as the qualifying agent; and

Is certified under Section 471.023, *Florida Statutes*, to practice or to offer to practice engineering; certified under Section 481.219, *F.S.*, to practice or to offer to practice architecture; or certified under Section 481.319, *F.S.*, to practice or to offer to practice landscape architecture.

Firm References: Provide a minimum of three (3) examples of similar scope Projects with applicable reference information. References should include the following information:

Client name, address and phone number, fax numbers, and email address

Description of all services provided

Performance period

Total amount of contract

TAB 4 – PROJECT APPROACH

Define what goods and services your company is proposing to the City that will best meet the criteria specified in the Scope of Work. State your Project management plan, firm's interpretation of scope, and method of approach.

Define personnel, labor, equipment and supply resources and requirements.

Provide an implementation schedule for services (design and construction).

Provide information regarding any proposed innovative concepts that may enhance value and quality, any favorable cost containment approaches or additional or alternative ideas that may be successful if implemented by City.

TAB 5 – ATTACHMENTS

All Attachment/Forms required by the RFP shall be fully executed by the Proposer and submitted as shown in Section 9 of this Solicitation.

TAB 6 – PRICES

State the Guaranteed Maximum Price to design and construct the facility. The pricing information should show a categorical breakout of the pricing, with any alternates or options clearly identified.

SECTION 7 THE EVALUATION PROCESS

7.1 REVIEW OF PROPOSALS FOR RESPONSIVENESS

Each Proposal will be reviewed to determine if the Proposal is responsive to the submission requirements outlined in this Solicitation. A responsive Proposal is one that follows the requirements of this Solicitation, includes all documentation, is submitted in the format outlined in this Solicitation, is of timely submission, and has the appropriate signatures as required on each document. Failure to comply with these requirements may result in the Proposal being deemed non-responsive.

7.2 EVALUATION CRITERIA

Proposals will be evaluated by an Evaluation/Selection Committee that will evaluate and rank Proposals on the criteria listed below. The Evaluation/Selection Committee will be comprised of appropriate City personnel and members of the community, as deemed necessary, with the appropriate experience and/or knowledge. The criteria are itemized with their respective weights for a maximum total of **one hundred (100)** points per Evaluation/Selection Committee member.

<u>TECHNICAL CRITERIA</u>	<u>POINTS</u>
a. Proposer's organization, structure, and philosophy	10
b. Proposer's references, past experience, and performance on comparable golf clubhouse Projects	25
c. The adequacy and qualifications of the Proposer's professional staff to be assigned to the Project	25
d. Proposer's design and approach to constructing the golf clubhouse	20
<u>PRICE CRITERIA</u>	<u>POINTS</u>
e. Proposer's proposed price (Guaranteed Maximum Price)	20

7.3 ORAL PRESENTATIONS

Upon completion of the criteria evaluation indicated above, rating and ranking, the Evaluation/Selection Committee may choose to conduct an oral presentation with the Proposer(s) which the Evaluation/Selection Committee deems to warrant further consideration based on, among other considerations, scores in clusters and/or maintaining competition. Upon completion of the oral presentation(s), the Evaluation/Selection Committee will re-evaluate, re-rate, and re-rank the Proposals remaining in consideration based upon the written documents, combined with the oral presentation.

7.4 PRICE EVALUATION

After the evaluation of the technical Proposal, the City will evaluate the price Proposals of those Proposers remaining in consideration. The price Proposal will be evaluated subjectively in combination with the technical Proposal, including an evaluation of how well it matches the Proposer's understanding of the City's needs described in this Solicitation, the Proposer's assumptions, and the value of the proposed services. The pricing evaluation is used as part of the evaluation process to determine the highest-ranked Proposer. The City reserves the right to negotiate the final terms, conditions, and pricing of the contract as may be in the best interest of the City.

7.5 NEGOTIATIONS

The City may award a contract based on initial offers received, without discussions. Therefore, each initial offer should contain the Proposer's best terms from a monetary and technical standpoint.

The Evaluation/Selection Committee will evaluate, score, and rank Proposals, and submit the results of their evaluation to the City Manager with their recommendation. The City Manager or designee will determine with which Proposer(s) the City shall negotiate, if any. In his sole discretion, the City Manager or designee may direct negotiations with the highest-ranked Proposer, negotiations with multiple Proposers, or may request best and final offers.

Notwithstanding the foregoing, if the City and the Proposer(s) cannot reach agreement on a contract, the City reserves the right to terminate negotiations and may, at the City Manager's or designee's discretion, begin negotiations with the next highest-ranked Proposer(s). This process may continue until a contract acceptable to the City has been executed or all Proposals are rejected. No Proposer shall have any rights against the City arising from such negotiations or termination thereof.

The Proposer recommended for negotiations shall be required to provide to the City:

- a. Its most recent certified business financial statements as of a date not earlier than the end of the Proposer's preceding official tax accounting period, together with a statement in writing, signed by a duly authorized representative, stating that the present financial condition is materially the same as that shown on the balance sheet and income statement submitted, or with an explanation for a material change in the financial condition. A copy of the most recent business income tax return will be accepted if certified financial statements are unavailable.
- b. Information concerning any prior or pending litigation, either civil or criminal, involving a governmental agency, or which may affect the performance of the services to be rendered herein, in which the Proposer, any of its employees, or subcontractors is or has been involved within the last three (3) years.

7.6 CONTRACT AWARD

Any contract resulting from this Solicitation will be submitted to the City Manager or designee, and the City Council for approval, as appropriate. All Proposers will be notified in writing when the City Manager or designee makes an award recommendation. The contract award, if any, shall be made to the Proposer whose Proposal shall be deemed by the City to be in the best interest of

the City. Notwithstanding the rights of protest listed herein, the City's decision of whether to make the award and to which Proposer shall be final.

SECTION 8 PRICING INFORMATION

8.1 PRICING SCHEDULE – COST PROPOSAL

The Proposer shall include an attachment (Tab 6) that categorically shows the Guaranteed Maximum Price proposed to perform the requirements of the work, and to complete the Project as described in this Solicitation.

The schedule should show a categorical breakout of the pricing, with any alternates or options clearly identified. It should be detailed to show the cost of the work, the design-builder's fee, with the Guaranteed Maximum Price for the Project.

SECTION 9 PROPOSAL SUBMITTALS

9.1 FORMS

The forms listed below must be completed by an official having legal authorization to contractually bind the company or firm. Each signature represents a binding commitment upon the Proposer to provide the goods and/or services offered to the City if the Proposer is determined to be the most responsive and responsible Proposer.

- a. Acknowledgment of Addenda
- b. Proposal Submittal Signature Page
- c. Conflict of Interest Disclosure Form
- d. Notification of Public Entity Crimes Law
- e. Drug-Free Work Place
- f. Non-Collusion Affidavit
- g. Truth-In-Negotiation Certificate
- h. Sample Performance Bond Format (if required, will be requested from the Proposer recommended for award)
- i. Sample Payment Bond Format (if required, will be requested from the Proposer recommended for award)

9.2 REQUIRED SUBMITTALS

The Proposer shall provide written information on the following:

- a. The number of years' experience the Proposer has had in providing the type of services required in this Solicitation.
- b. Provide the names of the persons who are principals of the company, or will have management or supervisory positions on this project. List name, title or position, and project duties. A resume or summary of experience and qualifications must accompany the Proposal.
- c. Provide the names of clients to whom the Proposer has provided or is currently providing similar services. Provide the name, address, telephone number, email address, contact person, and the date the service was provided. If the service provided is different from the one presented in the Proposal, please explain the difference.
- d. List the departments or agencies of the City of Palm Beach Gardens to which the Proposer has provided any kind of contracted services.

- e. Provide information on any lawsuits pending or any judgments, in the last five (5) years, which are concerned directly with the firm, the staff, or any part of the Proposer's organization, which are proposed to perform on this contract.

- f. Attach a Balance Sheet and a Profit and Loss Statement of the Proposer from the preceding calendar year or fiscal year, certified by either an appropriate Corporate Officer, or an independent certified Public Accountant. If the Proposer is a privately-held corporation, providing such records for the City to review at a time and place convenient to the City may satisfy this requirement, at the discretion of the City. If the Proposer is a newly formed corporate entity, the City may require a personal guarantee of performance by the principals or stockholders.

ACKNOWLEDGEMENT OF ADDENDA

INSTRUCTIONS: COMPLETE PART I OR PART II, WHICHEVER APPLIES

PART I:

List below the dates of issue for each addendum received in connection with this Solicitation:

Addendum #1, Dated _____

Addendum #2, Dated _____

Addendum #3, Dated _____

Addendum #4, Dated _____

Addendum #5, Dated _____

Addendum #6, Dated _____

Addendum #7, Dated _____

Addendum #8, Dated _____

Addendum #9, Dated _____

Addendum #10, Dated _____

PART II:

NO ADDENDUM WAS RECEIVED IN CONNECTION WITH THIS SOLICITATION

Firm Name

Signature

Name and Title (Print or Type)

Date

PROPOSAL SUBMITTAL SIGNATURE PAGE

By signing this Proposal, the Proposer certifies that it satisfies all legal requirements as an entity to do business with the City, including all Conflict of Interest and Code of Ethics provisions.

Firm Name:

Street Address:

Mailing Address (if different from Street Address):

Telephone Number(s): _____

Fax Number(s): _____

Email Address: _____

Federal Employer Identification Number: _____

Prompt Payment Terms: ____% ____ days' net ____ days

Signature: _____

(Signature of authorized agent)

Print Name: _____

Title: _____

Date: _____

By signing this document, the Proposer agrees to all terms and conditions of this Solicitation and the resulting contract/agreement.

THE EXECUTION OF THIS FORM CONSTITUTES THE UNEQUIVOCAL OFFER OF PROPOSER TO BE BOUND BY THE TERMS OF ITS PROPOSAL. FAILURE TO SIGN THIS SOLICITATION WHERE INDICATED ABOVE BY AN AUTHORIZED REPRESENTATIVE SHALL RENDER THE PROPOSAL NON-RESPONSIVE. THE CITY MAY, HOWEVER, IN ITS SOLE DISCRETION, ACCEPT ANY PROPOSAL THAT INCLUDES AN EXECUTED DOCUMENT WHICH UNEQUIVOCALLY BINDS THE PROPOSER TO THE TERMS OF ITS PROPOSAL.

CONFLICT OF INTEREST DISCLOSURE FORM

The award of this contract is subject to the provisions of Chapter 112, *Florida Statutes*. All Proposers must disclose within their Proposal: the name of any officer, director, or agent who is also an employee of the City of Palm Beach Gardens.

Furthermore, all Proposers must disclose the name of any City employee who owns, directly or indirectly, an interest of more than five percent (5%) in the Proposer's firm or any of its branches.

The purpose of this disclosure form is to give the City the information needed to identify potential conflicts of interest for evaluation team members and other key personnel involved in the award of this contract.

The term "conflict of interest" refers to situations in which financial or other personal considerations may adversely affect, or have the appearance of adversely affecting, an employee's professional judgment in exercising any City duty or responsibility in administration, management, instruction, research, or other professional activities.

Please check one of the following statements and attach additional documentation if necessary:

_____ To the best of our knowledge, the undersigned firm has no potential conflict of interest due to any other Cities, Counties, contracts, or property interest for this Proposal.

_____ The undersigned firm, by attachment to this form, submits information which may be a potential conflict of interest due to other Cities, Counties, contracts, or property interest for this Proposal.

Acknowledged by:

Firm Name

Signature

Name and Title (Print or Type)

Date

NOTIFICATION OF PUBLIC ENTITY CRIMES LAW

Pursuant to Section 287.133, *Florida Statutes*, you are hereby notified that a person or affiliate who has been placed on the convicted Contractors list following a conviction for a public entity crime may not submit a Proposal on a contract to provide any goods or services to a public entity; may not submit a Proposal on a contract with a public entity for the construction or repair of a public building or public work; may not submit Proposals on leases or real property to a public entity; may not be awarded or perform work as a Contractor, supplier, sub-Proposer, or consultant under a contract with any public entity; and may not transact business with any public entity in excess of the threshold amount provided in Section 287.017 [F.S.] for Category Two [\$35,000.00] for a period of thirty-six (36) months from the date of being placed on the convicted Contractors list.

Acknowledged by:

Firm Name

Signature

Name and Title (Print or Type)

Date

DRUG-FREE WORKPLACE

_____ is a drug-free workplace and has
(Company Name)
a substance abuse policy in accordance with and pursuant to Section 440.102, *Florida Statutes*.

Acknowledged by:

Firm Name

Signature

Name and Title (Print or Type)

Date

NON-COLLUSION AFFIDAVIT

STATE OF _____
COUNTY OF _____

Before me, the undersigned authority, personally appeared _____, who, after being by me first duly sworn, deposes and says of his/her personal knowledge that:

a. He/She is _____ of _____, the Proposer that has submitted a Proposal to perform work for the following:

RFP No.: _____ Title: _____

b. He/She is fully informed respecting the preparation and contents of the attached Request for Proposals, and of all pertinent circumstances respecting such Solicitation.

Such Proposal is genuine and is not a collusive or sham Proposal.

c. Neither the said Proposer nor any of its officers, partners, owners, agents, representatives, employees, or parties in interest, including this affiant, has in any way colluded, conspired, connived, or agreed, directly or indirectly, with any other Proposer, firm, or person to submit a collusive or sham Proposal in connection with the Solicitation and contract for which the attached Proposal has been submitted or to refrain from proposing in connection with such Solicitation and contract, or has in any manner, directly or indirectly, sought by agreement or collusion or communication or conference with any other Proposer, firm, or person to fix the price or prices in the attached Proposal or any other Proposer, or to fix any overhead, profit, or cost element of the Proposal price or the Proposal price of any other Proposer, or to secure through any collusion, conspiracy, connivance, or unlawful agreement any advantage against the City or any person interested in the proposed contract.

d. The price or prices quoted in the attached Proposal are fair and proper and are not tainted by any collusion, conspiracy, connivance, or unlawful agreement on the part of the Proposer or any of its agents, representatives, owners, employees, or parties in interest, including this affiant.

Signature

Subscribed and sworn to (or affirmed) before me this _____ day of _____ 2015, by _____, who is personally known to me or who has produced _____ as identification.

SEAL

Notary Signature _____
Notary Name: _____
Notary Public (State): _____
My Commission No: _____
Expires on: _____

TRUTH – IN – NEGOTIATION CERTIFICATE

The undersigned warrants (i) that it has not employed or retained any company or person, other than bona fide employees working solely for the undersigned, to solicit or secure the Agreement and (ii) that it has not paid or agreed to pay any person, company, corporation, individual, or firm other than its bona fide employees working solely for the undersigned or agreed to pay any fee, commission, percentage, gift, or any other consideration contingent upon or resulting from the award or making of the Agreement.

The undersigned certifies that the wage rates and other factual unit costs used to determine the compensation provided for in the Agreement are accurate, complete, and current as of the date of the Agreement.

(This document must be executed by a Corporate Officer.)

Name: _____

Title: _____

Date: _____

Signature: _____

SAMPLE PERFORMANCE BOND FORMAT

KNOW ALL MEN BY THESE PRESENTS: that - _____

(Insert full name and address or legal title of successful Bidder)

as Principal, hereinafter called Contractor, and _____,

(Name of Insurer)

as Surety, hereinafter called Surety, are held and firmly bound unto the City of Palm Beach Gardens, Palm Beach County, Florida.

As Obligee, hereinafter called the City, in the amount of _____,

(\$ _____), for the payment whereof, Contractor and Surety bind themselves, their heirs, executors, administrators, successors, and assigns, jointly and severably, firmly by the presents.

WHEREAS, Contractor has by written agreement dated _____, 2014, entered into Contract No. _____ with the City in accordance with the Solicitation specifications, RFP2015-021PD, prepared by the City, hereinafter referred as the Contract;

WHEREAS, all of the terms and conditions of the Contract, including but not limited to the Contractor and Surety's obligation for liquidated damages, the Contractor's and Surety's acknowledgment of all provisions referring to or related to "no damages for delay" as well as all warranty and guarantee provisions are hereby incorporated herein and made a part hereof by reference.

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION is such that, if Contractor shall promptly and faithfully perform said Contract, then this obligation shall be null and void; otherwise, it shall remain in full force and effect.

The Surety hereby waives notice of any alteration or extension of time made by the City.

Whenever Contractor shall be and declared by the City to be in default under the Contract, the City having performed City's obligations thereunder, the Surety may promptly remedy the default or shall promptly:

- a. Complete the Contract in accordance with its terms and conditions; or
- b. Obtain a Bid or Bids for completing the Contract in accordance with its terms and conditions, and upon determination by Surety of the most responsible Bidder, or if the City elects, upon determination by the City and the Surety jointly of the most responsible Bidder, arrange for a Contract between such Bidder and the City, and make available as work progresses (even though there should be a default or a succession of defaults under the contract or contracts of completion arranged under this paragraph) sufficient funds to pay the cost of completion less the balance of the contract price; but not exceeding, including other costs and damages for which the Surety

may be liable hereunder, the amount set forth in the first paragraph hereof. The term "balance of the contract price", as used in this paragraph, shall mean the total amount payable by the City to Contractor under the contract and any amendments thereto, less the amount properly paid by the City to the Contractor.

Any suit under this bond must be instituted before the expiration of twenty-five (25) months from the date on which final payment under the Contract falls due.

No right of action shall accrue on this bond to or for the use of any person or corporation other than the City named herein or the heirs, executors, administrators, or successors of the City.

Signed and sealed this _____ day of _____, 2015.

(Principal) (Seal)

(Witness)

(Title)

(Name of Insurer) Surety (Seal)

(Witness)

By: _____
(Attorney-in-Fact)

SAMPLE PUBLIC CONSTRUCTION BOND

KNOW ALL MEN BY THESE PRESENTS: that - _____

(Insert full name and address or legal title of successful Proposer)

as Principal, hereinafter called Contractor, and _____,

(Name of Insurer)

as Surety, hereinafter called Surety, are held and firmly bound unto the City of Palm Beach Gardens, Palm Beach County, Florida, as Obligee, hereinafter called the City, in the amount of _____, (\$ _____), for the payment whereof, the Contractor and the Surety bind themselves, their heirs, executors, administrators, successors, and assigns, jointly and severably, firmly by these presents.

WHEREAS, the Contractor has by written agreement dated _____, 2015, entered into a Contract with the City in accordance with solicitation specifications RFP2014-014FR prepared by the City, hereinafter referred as the Contract ; and

WHEREAS, all of the terms and conditions of the Contract, including but not limited to the Contractor and Surety's obligation for liquidated damages, the Contractor's and Surety's acknowledgment of all provisions referring to or related to "no damages for delay" as well as all warranty and guarantee provisions are hereby incorporated herein and made a part hereof by reference.

THE CONDITION OF THIS BOND is that if Principal:

1. Performs the contract dated _____, _____ 20____ between Principal and Owner for Design/Build New Fire Station #2, the contract being made part of this bond by reference, at the times and in the manner prescribed in the contract; and
2. Promptly makes payments to all claimants, as defined in Section 255.05 (1)(a), Florida Statutes, supplying Principal with labor, materials, or supplies, used directly or indirectly by Principal in the prosecution of the work provided for in the contract; and
3. Pays Owner all losses, damages, expenses, costs, and attorneys' fees, including appellate proceedings, that Owner sustains because of a default by Principal under the contract; and
4. Performs the guarantee of all work materials furnished under the contract for the time specified in the contract, then this bond is void; otherwise it remains in full force.
5. Any changes in or under the contract documents and compliance or noncompliance with any formalities connected with the contract or the changes does not affect Surety's obligation under this bond.
6. The amount of this bond shall be reduced by and to the extent of any payment or payments made

in good faith hereunder, inclusive of the payment by Surety of construction liens which may be filed of record against said improvement, whether or not claim for the amount of such lien be presented under and against the bond.

7. Principal and Surety expressly acknowledge that any and all provisions relating to consequential, delay and liquidated damages contained in the contract are expressly covered by and made a part of this Public Construction Bond. Principal and Surety acknowledge that any such provisions lie within their obligations and within the policy coverages and limitations of this instrument.

8. Section 255.05, Florida Statutes, as amended, together with all notice and time provisions contained therein, is incorporated herein, by reference, in its entirety. This instrument regardless of its form, shall be construed and deemed a statutory bond issued in accordance with section 255.05, Florida Statute.

9. Any action brought under this instrument shall be brought in the court of competent jurisdiction in the County in which the project or any part thereof, is situated (i.e. Palm Beach County) and not elsewhere.

Any suit under this bond must be instituted before the expiration of twenty-five (25) months from the date on which final payment under the Contract falls due. No right of action shall accrue on this bond to or for the use of any person or corporation other than the City named herein or the heirs, executors, administrators, or successors of the City.

Signed and sealed this _____ day of _____, 2015.

(Principal) (Seal)

(Witness)

(Title)

(Name of Insurer) Surety (Seal)

(Witness)

By: _____
(Attorney-in-Fact)

SECTION 10
DRAFT FORM OF AGREEMENT

- 10.1 The form of the Agreement that will be used pursuant to this Solicitation will be an amended and modified version of AIA contract A141-2004 Owner/Design-Builder Agreement. Subsequent to final negotiations and any revisions to the specifications and scope of this Project, the City (as Owner) will execute this agreement with the selected Proposer (as Design-Builder), as properly revised.

SECTION 11
EXHIBITS

11.1 Exhibits for the Design Criteria Package are attached as follows:

- a. Exhibit "A", Design Narrative
- b. Exhibit "B", Schematic Layouts and Conceptual Designs
- c. Exhibit "C", Topographic Survey
- d. Exhibit "D", Geotechnical Engineering Report
- e. Exhibit "E", Structural Survey and Analysis (Existing Clubhouse)
- f. Exhibit "F", Inventory and Photos of Donated Furniture
- g. Exhibit "G", Sanitary Sewer Plans



City of Palm Beach Gardens
RFP2015-024GF
Design-Build of New Golf Clubhouse

EXHIBIT "A"
DESIGN NARRATIVE

A.1 GENERAL

In addition to the terms, conditions, specifications, and criteria contained in RFP2015-024GF, the information in this Design Criteria Package is the minimum that potential Proposers must address in their responses to the Request for Proposals.

1. **DESCRIPTION:** The facility shall be designed as a fully operational Golf Clubhouse and Event Center. It is recommended that the new facility be oriented to capture the views of natural preserve areas on the existing Golf Course. The program contained in the Design Criteria documents is only a suggestion to the spaces that may be required. The City expects the Design-Build Team to bring their own ideas, experience and creativity to produce a signature facility that is not only functional but aesthetically pleasing.
2. **SCOPE OF WORK:** The Scope of Work includes the demolition of the existing Golf Clubhouse and the demolition of the existing Covered Cart Staging structure. The new facility will be located approximately in the same areas as the existing structures. Site work includes the addition of a new entrance driveway, construction of a new cart pathway for appropriate cart movement to/from the Clubhouse, modifications to the utility service area and the creation of a new loading zone.

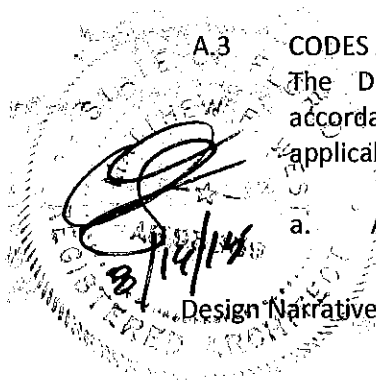
A.2 GENERAL RESPONSIBILITIES OF DESIGN BUILD TEAM

The Design/Build Team (the successful Proposer or DBT) shall be responsible for reviewing the Project with all regulatory authorities having jurisdiction, and for obtaining all required pre-construction studies, assessments, permits and approvals from these agencies. Any documentation that the City has will be provided to assist potential Proposers, but such data is primarily provided for informational purposes, and shall not excuse Proposers of the responsibility to verify the information as necessary.

A.3 CODES AND STANDARDS

The DBT/successful Proposer shall design and construct the new Golf Clubhouse in accordance with the latest editions of all applicable codes, including but not limited to, applicable codes and standards published by the following:

- a. Americans with Disabilities Act (ADA)



- b. American Society of Heating, Refrigerating and Air Conditioning Engineers (ASHRAE)
- c. National Fire Protection Association (NFPA)
- d. State of Florida Building Code (FBC)
- e. State of Florida Fire Prevention Code (FFPC)
- f. Underwriters Laboratories (UL)
- g. American national Standards Institute (ANSI)
- h. National Electric Code (NEC)
- i. American Society of Testing and Materials (ASTM)
- j. City of Palm Beach Gardens, Codes of Ordinances, Land Development Code.

A.4 ADDRESS OF PROJECT

The DBT shall program, design, permit, and construct the new Golf Clubhouse on City-owned property in the vicinity of the existing Golf Clubhouse. The property is located at 11401 Northlake Boulevard, Palm Beach Gardens, Florida 33412.

A.5 CONDITIONS OF APPROVAL BY THE CITY

The DBT shall be responsible for performing the following actions in order to obtain approval from the City for the construction of the new Clubhouse.

1. Prior to the issuance of the infrastructure permit, submit signed/sealed/ dated construction plans including a pavement marking and signage plan and a permit application for review and approval.
2. Prior to the issuance of the clearing permit, infrastructure permit, or the building permit for the vertical construction, whichever occurs first, provide itemized cost estimates and surety for the Project, in accordance with the LDR Sections 78-309 and 78-461. The itemized cost estimates shall include all onsite and offsite infrastructure related improvements for the Project. The cost estimates shall be dated, signed and sealed by a professional engineer registered in the State of Florida. Surety will be based on 110% of the total combined City approved cost estimates and shall be posted with the City.
3. Prior to the issuance of the clearing permit or infrastructure permit or demolition permit, whichever comes first, submit an updated construction phasing and safety plan for the City to review. The construction phasing and safety plan shall include all necessary construction zone signage and fencing as required by the Engineering Department and will need to be monitored throughout the construction duration and modified as necessary to allow for safe and effective pedestrian and vehicular movement throughout the Project. If at any time the contractor wishes to modify the phasing plan, please submit revised phasing plan to the City Engineer, Todd Engle, at tengle@pbgfl.com for review.
4. Prior to the issuance of the infrastructure permit, submit a lighting permit application along with a signed and sealed Photometric plan to the City.

Prior to the commencement of construction, schedule a pre-construction meeting with City staff. Inspections related to the infrastructure permit will not be performed until the pre-construction meeting has occurred. In addition, failure to comply with this condition could result in a Stop Work Order of all work/construction activity for the subject development site.



6. The following items are required to be ongoing throughout the Project:
 - a. The required ADA elements for the building entrance, pedestrian access areas and ramps shall be shown and detailed on the permit plans for the City's review.
 - b. The construction, operation and/or maintenance of any elements of the subject Project shall not have any negative impacts on the existing drainage of surrounding areas. If, at any time during the Project development, it is determined by the City that any of the surrounding areas are experiencing negative drainage impacts caused by the Project, it shall be the Contractor's responsibility to resolve said impacts in a period of time and a manner acceptable to the City prior to additional construction activities. The City may cease issuing building permits and/or Certificates of Occupancy until all drainage concerns are resolved. Should the Contractor fail to resolve the issue in a timely manner and/or fail to proceed in a timely fashion resulting in building permits or Certificates of Occupancy being withheld, the Contractor may be subject to damages.
 - c. The Contractor shall provide the City Engineer with copies of all permits, permit applications and Requests for Additional Information to and from regulatory agencies regarding issues on all permit applications, certifications and approvals including South Florida Water Management District, Northern Palm Beach County Improvement District, Seacoast, Palm Beach County, Health Dept., etc.
 - d. All pavement marking and striping, excluding parking stall striping, shall be installed with thermoplastic materials.
 - e. The Contractor shall comply with all Federal EPA and State of Florida Department of Environmental Protection NPDES requirements, including but not limited to, preparation of a storm water pollution prevention plan and identification of appropriate Best Management Practices, as generally accepted by the Environmental Protection Agency (EPA) and/or local regulatory agencies, for construction activities, implementation of the approved plans, inspection, and maintenance of controls during construction. Including a Notice of Intent prior to the issuance of infrastructure permit and Notice of Termination prior to the issuance of the Certificate of Completion for the infrastructure permit
7. Prior to the issuance of the Certificate of Completion, the Contractor shall provide the City with electronic certified as-built drawings both in PDF and AutoCAD:
8. Prior to the issuance of the Certificate of Completion, the Contractor shall provide copies of the required testing results as provided for on the plans and specifications and in accordance with FDOT for the City's review.



A.6 SITE REQUIREMENTS

During construction, all utilities servicing adjacent and off-site facilities shall not be interrupted. Secure staging areas and site at all times with a 6 foot high chain link fence with wind screen and provide the appropriate access gates.

A.7 GENERAL SPACE REQUIREMENTS

The facility shall consist of a clubhouse structure with approximately 20,000 gross square feet.

A.8 MATERIAL QUALITY STANDARDS

The quality of all material must meet the highest standards, and must be installed using the best practices of the construction industry. Used or re-purposed material and equipment shall not be used in the construction of this facility, unless otherwise specified.

A.9 DESIGN CRITERIA PACKAGE

The Design Criteria Package consists of the following Exhibits which are an inherent part of this Project.

1. Exhibit "A" - Design Narrative by West Architecture & Design, LLC
2. Exhibit "B" - Schematic Layouts and Conceptual Designs by West Architecture & Design, LLC
3. Exhibit "C" - Topographic Survey by Calvin, Giordano, and Associates, Inc.
4. Exhibit "D" - Geotechnical Engineering Report by Dunkelberger Engineering and Testing, Inc.
5. Exhibit "E" - Structural Survey and Analysis (Existing Clubhouse) by ONM&J
6. Exhibit "F" - Inventory and Photos of Donated Furniture (to be considered in building design)
7. Exhibit "G" – Sanitary Sewer Plans by Southern Design Group, Inc.

NOTE: SURVEY INFORMATION

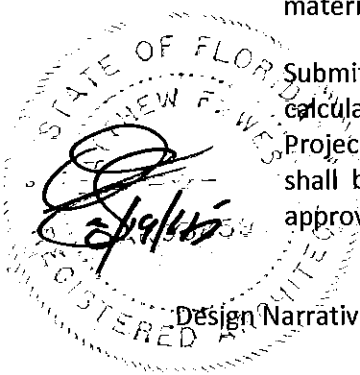
The most recent survey of the property is provided in this Design Criteria Package for reference during the preparation of Proposals. It is provided for information purposes only and may not represent actual conditions. The DBT is responsible for verifying the existing conditions. The Design Build Team will be required to use its own surveyor for any construction surveying.

A.10 DESIGN AND CONSTRUCTION SCHEDULES

The design schedule is dependent upon the Design-Builder's approach to the Project and subject to negotiations for award.

Design: Typical submittals to include drawings, cut sheets, samples, source documentation (applicable to some sustainable products specified), and specifications for materials and equipment.

Submittal sets: Provide (5) hard copy (11x17) half-size sets of drawings, specifications, calculations, samples, and other documentation to support the review and approval of the Project. Provide (3) electronic copies of the submittal in PDF format. All multipage documents shall be bookmarked. Drawings shall be bookmarked by discipline. Specifications/product approvals shall be bookmarked within their CSI section.



<u>Phase</u>	<u>(in working days)</u>
25% Schematic Design set	
Owner review	10 days
50% Design Development set	
Owner review	10 days
75% Construction Document Set	
Owner review	10 days
100% Construction Document Set	
Owner review	10 days
<u>Final permit Set</u>	
 Total Period of Performance	 (16 months) + owner review and Site Plan Approval review by Planning and Zoning.

City will require DBT to coordinate with Planning and Zoning, through the City's Project Manager, for site plan approval.

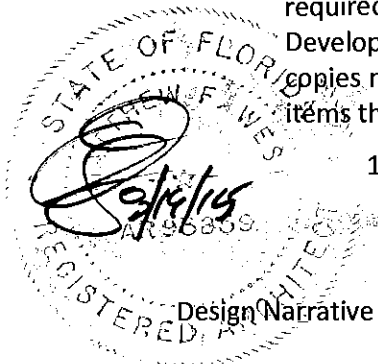
INTERIOR DESIGN (Separately Priced Option): DBT to include an IIDA, NCIDQ certified professional Interior Designer. The Designer shall demonstrate through submittal of a portfolio, experience in the finishing/furnishing of facilities similar to that being designed. The City will have the right to review the designer's qualifications and may contact references to determine best fit. The Designer will assist in Design Development, the selection of finishes and furniture. The Interior Designer will be responsible for completing a set of furniture drawings/specifications suitable for bid by the City to vendors. The Interior Designer will be responsible for assisting the City with the evaluation of bids, coordinating final furniture selection, purchase, and installation with the winning bidder.

1. Submittals shall include Interior furnishings plan. Finishes shall appear on Architectural Drawings.
2. Finish Color Boards: Prior to developing final color boards, meet with City to evaluate needs. Once needs are determined, return to meet with the City provide 3 coordinated, interchangeable, finish/furnishings options (may be loose) for City review and comment. Final presentation boards are to be made from the reviewed/selected set of materials/finishes.

SITE PLAN APPROVAL REQUIREMENTS:

Application requirements. Applications for Site Plan approval shall include the information required by these regulations, the City of Palm Beach Gardens, Codes of Ordinances, Land Development Code, the Planning and Zoning department and described herein. Additional copies may be requested by the Planning and Zoning director. A description of information or items that may be requested is presented below.

1. Application. Application forms as provided by the Planning and Zoning department. (To be provided by the City, if required)



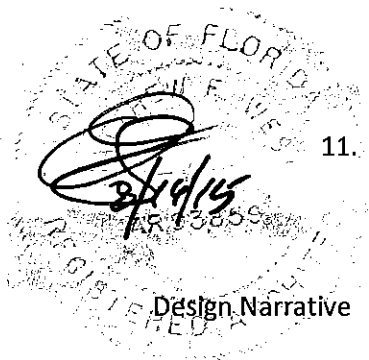
2. Aerial photograph. An aerial photograph of the appropriate section, township and range of the City, outlining the subject property and delineating all contiguous zoning districts. (To be provided by the City, if required)
3. Architectural elevations of buildings.
 - a. Standard elevations. Illustrations of major architectural elevations of buildings or structures for style of architecture, height in stories, type of building materials, exterior colors, unusual features, entries, windows, roof line, other elements. For a phased development, this information need not be provided for structures or improvements proposed for future development.
 - b. Color renderings. Three-dimensional color renderings of building elevations, at a scale consistent with the architectural elevations required herein, illustrating building elevations at ground level.
4. Area location map. Vicinity map of the area within one mile surrounding the site, including the following: (To be provided by the City, if required)
 - a. Principal roadway network, including mass transit routes;
 - b. Major public facilities such as public schools, City and county parks and recreation areas, hospitals, public buildings, etc.; and
 - c. Municipal boundary lines.
5. Authority. A statement of the applicant's interest in the property and: (To be provided by the City, if required)
6. Certified boundary survey. (To be provided by the City, if required)
7. Concurrency. (All items under this section to be provided by the City, if required)

Written confirmation from the applicable service providers of the availability of all necessary facilities and systems, as indicated below, for stormwater management, potable water, sanitary sewer, solid waste disposal, fire protection, recreational and park areas, and road capacity. If written confirmation of service availability is provided on a regular basis by a service provider, the applicant is not responsible for securing written confirmation. This paragraph shall not apply to applications for development approval for developments of regional impact.

- a. *Utility statement.* A statement from the Seacoast Utility Authority, or other lawful service provider, that the proposed development will be able to connect to the system and that there is sufficient capacity available to meet adopted levels of service for potable water and sanitary sewer.
- b. *Drainage statement.* A drainage statement by the applicant's engineer that the site drainage system will be designed to meet the stormwater management requirements of the South Florida Water Management District and the City's land development regulations. The statement also will demonstrate the provision of legal positive outfall meeting the level of service. Additional supporting calculations for larger Projects may also be required by the Planning and Zoning director or designee.



- c. *Park services statement.* A statement, when applicable, from the City's director of parks and recreation, that the proposed Project will not exceed the levels of service for public parks.
- d. *Fire protection.* A statement from the City's fire department that the proposed Project will not exceed the levels of service for fire protection.
- e. *Solid waste.* A statement from the Solid Waste Authority of Palm Beach County that the proposed Project will not exceed the adopted levels of service standards for solid waste disposal. This requirement may be waived if the Solid Waste Authority provides the City with an annual statement that solid waste capacity is available.
- f. *Traffic statement.* All traffic statements for review by the county shall be filed with the City, who shall be responsible for submission to the county.
 - 1. More than 1,000 trips. A statement from the county engineering department that the Project, if generating 1,000 or more average daily trips, conforms to the 1990 Countywide Traffic Performance Standards, as amended, and that the Project-generated trips are reserved. A statement from the City engineer that the proposed Project complies with the City's level of service standards.
 - 2. Less than 1,000 trips. A statement from the City engineer that the proposed Project, if generating less than 1,000 average daily trips, conforms to the traffic performance standards adopted by both the county and the City, and that the Project-generated trips are reserved.
- 7. Environmentally Sensitive Lands. Environmental assessment, when applicable, addressing the requirements of all applicable environmental ordinances, criteria, and standards. (To be provided by the City, if required.)
- 8. Filing Fees. (The City to pay filing fees). DBT to notify City 3 weeks prior to payment being required to allow City time to process payment/check through the Finance Department.
- 9. Landscape Plan. A landscape plan which includes the location of landscape buffers or screening walls along external collector and arterial roads, with landscape plans for entrance features, buffers, common areas, parking and vehicular use areas, and all other areas in compliance with Land Development Code.
- 10. Other Documentation. Other documentation or professional studies necessary to permit satisfactory review of a development order application consistent with the following: the policies of the City's comprehensive plan and the requirements of this chapter. The determination of the need for such other documentation shall be made by the Planning and Zoning director. (To be determined by the City, if required.)
- 11. Property Owners List. A complete list of all property owners and mailing addresses for all property within 500 feet of the subject parcel as recorded in the latest official tax roll in Palm Beach County. An affidavit must be furnished



attesting to the completeness and correctness of the list. (To be determined by the City, if required.)

12. School Impact. A statement, when applicable, from the school district specifying the anticipated impact on public schools and the need for public school sites in the general area of the proposed development. If a countywide school concurrency requirement is established, a school impact statement is not necessary. (To be provided by the City, if required.)
13. Signs. Architectural elevations of all signs on the site indicating the location, size, landscaping, design lettering, types of materials, colors, and other features.
14. Statements. Statements of comprehensive plan consistency, planning assumptions, and use, as indicated below. (To be provided by the City, if required.)
 - a. A statement of the basis of the application for development order approval for the property, including the intended use.
 - b. A narrative describing how the intended plan of development complies with the City of Palm Beach Gardens comprehensive plan.
 - c. A statement by the applicant of the major planning assumptions and objectives of the development Project, including but not limited to:
 1. Projected population, if applicable;
 2. proposed ownership and form of organization to maintain common open space facilities; and
 3. proposed density and land use for each parcel within the Project, if applicable.
 - d. A statement of the impact for the Site Plan approval, if approved, will have on the City's public safety services, including police, fire, and emergency medical services.
15. Warranty Deed. A warranty deed with an affidavit from the applicant that the deed represents the current ownership. (To be provided by the City, if required.)

PRE-CONSTRUCTION

- A. The Contractor will obtain all permits and the City will pay for all the fees. All submissions to outside agencies shall be reviewed / approved by the City prior to making formal application.
 1. Foundation
 2. Shell
 3. Build out Permit
 4. Infrastructure
 5. SFWMD (if required)
 6. Department of Environmental Protection
 7. Seacoast Utility
 8. City of West Palm Beach (Water)



- B. Final permit set shall include a submittal log, which shall identify the approval authority (C=City, DOR=Designer of Record) per submittal.
- C. See section A15. GENERAL PROJECT SCOPE, (g) for the development of construction phasing and security plans.
- D. Schedule of Values. Provide at Pre-Construction Meeting.
- E. Construction Operations Plan Provide at Pre-Construction Meeting
- F. Interior Designer Portfolios for Review (If Separately Priced Option is exercised)

CONSTRUCTION

At a minimum, the DBT shall provide the following:

1. Construction Schedule (to be reviewed and approved by the City prior to starting construction activity). A (2) week "look ahead schedule" is required. See Biweekly Progress Meetings for more information.
2. Material Submittals. May be provided throughout design if used to create design.
3. Biweekly Progress Meetings
 - A. Shall include a (2) week "look-a-head" schedule that shows a detailed view of upcoming activities, including procurements and deliveries of material, proposed "cut-overs", etc.
 - B. Shall include a report on quality control efforts performed on past activities. May be a summation from quality control efforts documented on daily production reports.
4. Confirmation Survey
5. Zero Safety Mishaps
 - A. Superintendent to perform weekly safety reviews at the beginning of day with all on-site personnel. All on-site personnel, prior to being released to work, shall a receive safety briefing identifying hazards of the specific work for which they are involved, site hazards and safety protocols. All sub-contractors and their staff must sign stating that they have received the brief and have been informed of the hazards of the job for which they will perform and the hazards and site safety and protocols implemented on the Project site. Signature form created by General Contractor and must be available for review by the City upon request.



6. Daily reports to include quality control inspections as well as production reports. Production Report shall include hours/time of major tasks/activities performed, sub-contractors performing the activities, weather of the day and documentation of daily precipitation on the Project site. Reports shall be provided to the City's Project Manager by 5pm the following business day.

QUALITY ASSURANCE

- A. Qualifications: Quality control is the responsibility of the contractor, while quality assurance also includes acceptance. Acceptance involves sampling, testing, and the assessment of test results to determine whether or not the quality of construction is acceptable in terms of the specifications. Below is the minimum list of items to comply with quality assurance standards.

1. Contractor's quality control personnel.
2. Manufacturer.
3. Fabricator.
4. Installer.
5. Professional engineer.
6. Specialists.
7. Testing agency.
8. Manufacturer's technical representative.
9. Factory-authorized service representative.

- B. Preconstruction testing.
The City provided the geotechnical study and the property survey for the Project, for reference only. DBT is responsible for all testing and surveys.

- C. Mockups: Use materials indicated for the specified work. Additional mockup (than stated below) may be required depending on the final selection of materials for the Project.

1. At a minimum the exterior finish will require a 4'x4' area to be mocked up for the owner's approval.
2. Interior gypsum board / paint finish. Provide a mockup of a 10' wide x height of the area.

QUALITY CONTROL

- A. Contractor Responsibilities: All tests and inspections not explicitly assigned to Owner are the Contractor's responsibility. The Contractor shall provide reports to the owner for their review and records

1. Retesting / Reinspecting: Regardless of whether original tests or inspections were Contractor's responsibility, provide quality-control services, including retesting and reinspection, for construction that replaces Work that previously failed to comply



with the Contract Documents. Copies of all tests and reports shall be available on the job site at all times.

2. Associated Services: Access to the Work, taking and storing samples, and delivery of samples to testing agency.
3. Special Tests and Inspections: Conducted by a qualified testing agency as required by authorities having jurisdiction, as indicated in individual Specification Sections.
4. Test and inspection log shall be maintained on the jobsite at all times.
5. Repair and Protection: Contractor's responsibility, regardless of the assignment of responsibility for quality-control services.

POST-CONSTRUCTION

1. At a minimum, the DBT shall provide the following:
 - a. Punch List
 - b. O&M Manuals, Training, Spare Parts with minimum identified.
 - c. As-Built Drawings (electronic)
 - d. Keys
2. Clean up, repair, and make good the surface land area, including installing sod, irrigation, drainage, curbs, etc. damaged during construction.

CLOSEOUT PROCEDURES

1. SUBSTANTIAL COMPLETION
 - A. Preliminary Procedures: Before requesting inspection, complete the following.
 1. Contractor's list of incomplete items (punch list) prepared on CSI Form 14.1A.
 - a. Submit MS Excel electronic file.
 - b. Submit PDF electronic file on a CD.
 - c. Submit paper (3) copies.
 2. Owner advised of pending insurance changeover.
 3. Warranties, maintenance service agreements, and similar documents submitted. Submit (2) copies of each in separate 3-ring binders.
 4. Releases, occupancy permits, and operating certificates shall be submitted in a 3-ring binder.
 5. Project Record Documents submitted.
 6. Tools, spare parts, and extra materials delivered.
 7. Final changeover of locks performed.
 8. Startup testing completed.
 9. Test/adjust/balance records submitted and accepted by the City.
 10. Temporary facilities removed.
 11. Owner advised of heat and utility changeover.



12. Changeover information for use, operation, and maintenance submitted.
13. Owner's personnel instructed in operation, adjustment, and maintenance of equipment and systems, including demonstration and training videotapes submitted. Personnel trained including date and training attended shall be included in a 3-ring binder.
14. Final cleaning performed.
15. Touchup performed.

2. FINAL COMPLETION

- A. Preliminary Procedures: Before requesting final inspection, complete the following:
 1. Final Application for Payment submitted.
 2. List of incomplete items (punch list) endorsed by Architect & Owner as completed or otherwise resolved for acceptance.
 3. Evidence of continuing insurance coverage submitted.
 4. Final pest-control inspection report and warranty submitted.

3. SUBMITTAL OF PROJECT WARRANTIES

- A. Partial Occupancy: Submit warranties within 15 days of completion of designated portions of the Work that are occupied or used by Owner.
- B. Organize warranty documents based on Project Manual and bind in heavy-duty, three-ring, vinyl-covered, loose-leaf binders.
- C. Scan warranties and bonds into a single indexed electronic PDF file.

4. FINAL CLEANING

- A. Cleaning Agents: Comply with Green Seal's GS-37 and California Code of Regulations maximum allowable VOC levels.
- B. Clean each surface or unit to condition expected in an average commercial building cleaning and maintenance program.
- C. Replace disposable air filters and clean permanent air filters.
- D. Clean ducts, blowers, and coils if units were operated without filters during construction.
- E. Clean HVAC system in compliance with NADCA Standard 1992-01.

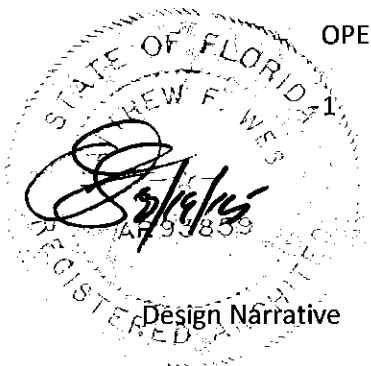
5. REPAIR OF THE WORK

- A. Repair or remove and replace defective construction. Where damaged or worn items cannot be repaired or restored, provide replacements. Restore damaged construction and permanent facilities used during construction to specified condition.

OPERATION AND MAINTENANCE DATA

SUMMARY

- A. Emergency, operation, and maintenance manuals.



2. PRODUCTS

A. Format:

1. PDF electronic files with composite electronic index on digital media acceptable to Architect and Owner. Include a complete electronically linked operation and maintenance directory. PDF files shall be booked marked.
2. Heavy-duty, three-ring, vinyl-covered, loose-leaf binders; one set of copies.

B. Emergency Manuals: Types of emergencies, emergency instructions, and emergency procedures.

C. Operation Manuals: System, subsystem, and equipment descriptions, operating procedures, wiring diagrams, control diagrams and sequence of operation, and piped system diagrams.

D. Product Maintenance Manuals: Source information, product information, maintenance procedures, repair materials and sources, and warranties and bonds.

E. Systems and Equipment Maintenance Manuals: Source information, manufacturers' maintenance documentation, maintenance procedures, maintenance and service schedules, spare parts list and source information, maintenance service contracts, and warranties and bonds.

F. For each system/piece of equipment in which training is provided, identify the City Personnel receiving the training.

PROJECT RECORD DOCUMENTS

1. PRODUCTS

A. Record Drawings:

1. One set of marked-up record prints.

a. Initial Submittal:

- 1) One paper-copy set(s) of marked-up record prints.
- 2) PDF electronic files of scanned record prints and one set of file prints. PDF files shall be booked marked by discipline.
- 3) Record digital data files and one set of plots.

b. Final Submittal:

- 1) One paper-copy set(s) of marked-up record prints.
- 2) PDF electronic files of scanned record prints and one set of file prints. PDF files shall be booked marked by discipline.
- 3) Record digital data files and one set of plots.

B. Record Specifications: One paper copy and annotated PDF electronic files to be bookmarked by individual section.

C. Record Product Data: One paper copy and annotated PDF electronic files and directories.

D. Miscellaneous Record Submittals: One paper copy and annotated PDF electronic files and directories.



DEMONSTRATION AND TRAINING

1. INSTRUCTION PROGRAM

- A. Program Structure: Training modules for each system and for equipment not part of a system, including the following:
 - 1. Basis of system design, operational requirements, and criteria.
 - 2. Documentation.
 - 3. Emergencies.
 - 4. Operations.
 - 5. Adjustments.
 - 6. Troubleshooting.
 - 7. Maintenance.
 - 8. Repairs.
- B. Facilitator to prepare instruction program and training modules and to coordinate instructors.
- C. Coordinate with the City regarding times and dates of equipment/systems training. Provide a minimum of 72 hour notice of scheduled events.
- D. Facilitator to prepare all trainings and record list of all attendees.

A.11 SITE DEVELOPMENT APPROVALS FROM THE CITY OF PALM BEACH GARDENS

The City will work with the Design Build Team to obtain the Site Development approvals through the City of Palm Beach Gardens. See SITE PLAN APPROVAL REQUIREMENTS above for submittal requirements.

The City may require the DBT to be present, for a minimum of three (3) public meetings to help share the concept of the Project with the Planning and Zoning Board and City Council.

POSSIBLE REQUIRED PUBLIC MEETINGS:

- 1. Development Review Committee (if required)
- 2. Planning and Zoning (if required)
- 3. City Council meetings (if required)

Per the City's Planning and Zoning Department:

Property Development Regulations:

- 1. A Golf Clubhouse is classified as a Major Conditional Use
- 2. Existing Zoning – Public/Institutional (P/I)
- 3. Maximum lot coverage – 40%
- 4. Maximum building height – 45 ft.
- 5. Required setbacks:
 - a. Front: 25 Feet (West side)
 - b. Rear: 15 Feet, (East Side)
 - c. Side: 15 Feet, (South Side)
 - d. Street: 15 Feet, (N/A)



A.12 PROVISIONS FOR UTILITIES, STORMWATER RETENTION, AND DISPOSAL

The DBT shall be responsible for inspecting and examining the site to determine and make provisions for adequate utilities, storm water retention and disposal. See section CONDITIONS OF APPROVAL for more guidelines.

A.13 PARKING REQUIREMENTS

Minimum number of parking spaces to be for 144 guests plus 10-14 employees. DBT to verify parking requirements with land development code requirements and coordinate with the City for any modifications to the existing parking area.

A.14 ANALYSIS OF SITE NEEDS

The DBT shall closely analyze site development needs, including but not limited to the following:

- a. South Florida Water Management District (SFWMD) and site retention.
- b. City's Land Development Code
- c. Green space requirements
- d. Landscaping and Environmental design.
- e. Lighting
- f. Security/monitoring/control. (To be provided by the City).
- g. Ingress and egress
- h. Seacoast utilities requirements for access to the water supply.

A.15 GENERAL PROJECT SCOPE

The Project Scope consists of, but is not limited to, the following minimum requirements that the DBT must perform:

- a. Identify, confirm, and comply with all jurisdictional authorities involved in permitting site development and building construction.
- b. Design and construct the facility in a manner that would be able to achieve LEED certification at the minimum Certified level. Actual certification is not required. DBT shall identify the sustainable elements throughout the design and submittal process.
- c. Separately Priced Option: Site Plan design shall be performed in partnership with an experienced golf clubhouse designer. The City shall have final approval of this designer and shall have the option of requesting resumes of several designer's proposed by the DBT for review prior to approving. The designer must demonstrate experience in the design of golf clubhouses that 1) control and support the activities on the course, 2) support the activities of golfers, 3) are an amenity for the community, and 4) successfully support functions (events) outside the game of golf AND the needs of the golfer simultaneously.
- d. Provide and design the electrical data and infrastructure support necessary to accommodate a security and fire monitoring system for the facility. These systems shall be designed and installed by others; however, coordination by the DBT with the City's security / fire monitoring system designer and installer is required.



- e. In the design of the facility, include complete research to determine the scope of permits required from all pertinent jurisdictional authorities. Include all work, applications, fees (paid by City), etc. required to procure all permits applicable for construction.
- f. Develop full AutoCAD documents and provide the City with complete electronic documents at the end of construction, including as-built documents.
- g. A Photometric plan of the exterior lighting is required by the DBT to demonstrate Crime Prevention Through Environmental Design principles (CPTED) and to meet City code. Reference the Land Development Code for more information.
- h. Develop a construction phasing and security plan, including a parking plan for use during construction. Construction site to be secured from the remainder of the existing Golf parking lot. Parking for construction contractors will not be permitted within the remainder Golf parking lot. Parking is permitted within the Project's fenced construction limits. Security / construction phasing plans to be approved by the City prior to proceeding with construction.

A.16 SITE

- a. A copy of the existing survey is provided as a reference in the Design Criteria Package. The new Golf Clubhouse is proposed for the north end of the property. The existing Golf complex shall remain operational during the construction of the new facility. Refer to section CONDITIONS OF APPROVAL for additional guidelines.
- b. Research, identify, locate, and demolish, and remove all existing site and underground structures and services as required to prepare for the new facility
- c. Research and design a construction sequence including locating contractor facilities and staging on site. The plan shall include maintenance of traffic patterns to and across the site with access to all areas. Existing Golf operations on the premises shall continue to function without interruption throughout the course of construction. During construction, Golf operations be performed in temporary structures (City provided) located SE of the existing building.
- d. Check all jurisdictional requirements and plan all adjustments required to existing landscaping, setbacks, drainage retention, greens space, pedestrian and vehicular traffic patterns, and lighting.
- e. Should Power, Data, Telephone, Water or Sewer need to be interrupted. The required outage shall be coordinated with the authority having jurisdiction and the City. The City requires at least 10 working days' notice of any required outages for connection of utilities or other conditions.

A.17 LANDSCAPING AND IRRIGATION

- a. Landscaping shall be designed by the DBT and installed by the City. DBT to follow the City's land development regulations for full requirements.
- b. Irrigation: The City believes the existing irrigation system is capable of supporting the new irrigation requirement for the new Golf Clubhouse footprint. The DBT to coordinate with the City's Public Services Division for connection to the existing irrigation system. The irrigation system shall be designed by DBT and installed by City/Others.



A.18 NEW FACILITIES

1. Design and construct a new Golf Clubhouse at the existing Golf Clubhouse site located at 11401 Northlake Boulevard, Palm Beach Gardens, Florida 33412, in accordance with all applicable codes.
2. Occupancy: Occupancy Group Classification is Mixed use with Assembly (Group A-2) for the Dining and Event spaces, Business - Group B for the Offices, Merchandise – Group M for the Pro Shop and Assembly (Group A-5) for the Golf Course.
3. Fire Protection: The building should be fully Fire Sprinklered and have a Fire Alarm system.
4. Structural system: The DBT to propose a method for the structural system to be employed in the facility, which shall be identified within the contractor's Proposal.
5. Provide City's standard signage and striping.
6. Finishes: Shall contain no VOCs. Paints and coatings shall be green-seal certified. Materials shall be from renewable and/or made from post-consumer recycled content and/or locally harvested (within 500 miles of Project location). Submit for review and approval to the City's Project Engineer alternative products if these goals cannot be met for a specific item. Refer to room requirements.
7. Architecture:
 - a. The DBT shall coordinate with the City for the exterior design of the building. It shall have overall architectural style that compliments the surrounding natural setting and environment. Final exterior building design shall be approved by the City.
 - b. The Building shall be designed to be compatible with the surrounding manmade and natural environment to achieve an overall, unified design and character.
 - 1) The massing of building shall encourage and allow pedestrian access between Golf Course, parking and structure.
 - 2) Avoid blank walls without architectural interest.
 - 3) Provide a variety of protective features, such as exterior covered areas, awnings, building overhangs and landscaping shall be incorporated into the design.
 - 4) The size, location, and shape of windows and doors shall be compatible with the building character.
 - 5) The interior and exterior spaces shall be compatible with the building character in function, scale, proportions and finishes to create a unified design and character.
 - c. All exterior building materials shall be durable and low maintenance.
 - d. Possible exterior materials shall include the following: or approved equal.
 - 1) Standing seam metal roofs or low sloped modified bitumen or cementitious tile. No asphalt shingles will be allowed.
 - 2) Walls should be finished with decorative, durable and low maintenance materials. No Exterior Insulation Finish System (EIFS) type finishes will be allowed for walls or trim.
 - 3) Pre-finished aluminum railings
 - 4) Impact resistant aluminum storefront doors and windows.
 - 5) Painted stucco soffits and exterior ceilings.



8. Site:

- a. Existing facility to be demolished and new facility to be located around the same area.
- b. Parking Lot and Entry road to be reconfigured for a better approach and a more aesthetic appeal during construction
- c. Site to have a delivery area to the building.
- d. Dumpster to be screened from view per the City's LDR's.
- e. Bag Drop to be near Starter
 - 1) Guest should be able to go directly to Starter and not have to go through the Pro Shop for a tee time.
- f. Guests to be directed to Bag Drop area when entering the parking area by reconfiguring the layout or adding additional signage
- g. Minimum number of parking spaces to be for 144 guests plus 10-14 employees.
 - 1) DBT to verify parking requirements with land development code requirements.
- h. Construction activities to be screened from view of guests
- i. Adequate space to be dedicated for the traffic flow of carts between the building and the course and / or during and after construction.
- j. Cart Staging:
 - 1) Cart Staging area to have a covered connection to the building.
 - 2) Area should be capable of staging total of 38 carts, 24 of the 38 cart spaces must be under cover.
 - 3) Area to have a bypass lane for carts transitioning through the area.
 - 4) Area can be attached or detached from Clubhouse building, but needs to be accessible to the Pub.
 - 5) Cart staging area to be kept to the North in the vicinity of the existing Cart Barn.
 - 6) A temporary Cart staging area shall be coordinated with the City for use during construction.
- k. A (propane or natural) gas tank shall be provided for the Kitchen. The tank shall be screened from view and placed in an area that is easily serviced.
- l. A loading area for
- m. SFWMD permit:
 - 1) Design-Builder to modify the existing South Florida Water Management District (SFWMD) permit for the new impervious areas created with the new design if required by SFWMD
- n. FPL:
 - 1) A new transformer is required (by others) to meet the new facility's needs. Coordinate with FPL.
- o. Existing Memorial: The existing memorial plaques currently located near the base of existing flag pole and the flag pole to be removed and relocated. The City will also consider the plaques or a possible Memorial wall inside of the Clubhouse.
- p. Exterior Lighting: Adequate lighting shall be provided for parking areas and around the building for early morning and late evening events. Lighting shall comply w/ CPTED requirements identified in the Land Development Regulations (LDR). See Section A.15 (g).



9. General Program Requirements:

- 1) Event space shall be large enough to accommodate 200 persons in a banquet seating arrangement. This space includes the Pub / Restaurant space, which shall be able to be separated so that it functions independently if another event is occupying the remainder of the space.
- a. Restrooms
 - 1) Plumbing fixtures on the 1st level: Men's - 2 toilet stalls and 1 urinal and Women's - 3 toilet stalls. The 2nd level fixture count shall accommodate the functions being served on that level.
 - 2) DBT is responsible for all code required plumbing fixture requirements and those fixture counts that exceed code minimum.
- b. Ceiling Height shall be minimum 10' on the first floor and minimum 12' on the second floor.
- c. Pub / Restaurant shall be able to sit between 30-50 people.
- d. The main areas need to be separable and able to be secured. (IE: Pro Shop, Restrooms, Pub / Dining, Event Area)
- e. First floor Exterior Covered Area shall have space for a soda machine, ice machine and range ball dispenser and shall be located near the quick-turn food counter.
 - 1) A portion of the exterior covered patio shall be a screened enclosure.
 - 2) Starter area to be shown on Northwest corner of exterior covered patio. Starter to have a portable podium stand
- f. Locker rooms to be accessible from the Quick Turn food counter.
- g. Pro Shop to have display areas for the primary products sold; balls, gloves, hats, putters and shirts.
- h. The City has acquired several furniture pieces which shall be incorporated in the design of the new facility. Inventory with dimensions of each piece is included in the RFP.

A.19 STRUCTURAL DESIGN PERFORMANCE CRITERIA

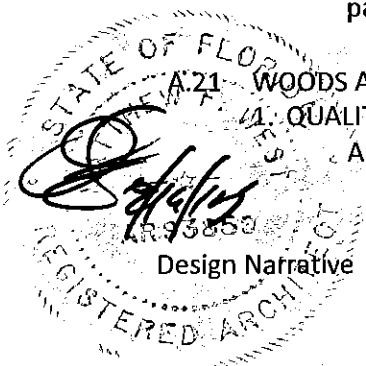
- a. The structural system for the building shall be designed in accordance with the Florida Building Code, 2010 and ASCE 7-2010.
- b. Per ASCE 7, the roof live load shall be 30 PSF and the wind design shall be based on 175 MPH wind speed, with an exposure category of C and risk category II.

A.20 INTERIOR LIGHT GAUGE METAL STUD FRAMING

1. Consult current information from ASTM C754 and SSMA (Steel Stud Manufacturers Association), and the stud manufacturers for limiting heights characteristics of their particular products.

A.21 WOODS AND PLASTICS
A. QUALITY ASSURANCE

- A. Fabricator Qualifications: Certified participant in AWI's Quality Certification Program.



B. Provide samples of the materials for the City's review and approval. Selected samples shall compliment pieces already acquired by the City. See inventory included in this RFP.

2. PLASTIC-LAMINATE-FACED CABINETS (non-public spaces)

- A. Grade: Custom.
- B. Type of Construction: Frameless.
- C. Construction Material: ¾" plywood. Use marine grade plywood on wet area countertops.
- D. Cabinet and Door and Drawer Front Interface Style: Flush overlay.
- E. Laminate Cladding for Exposed Surfaces:
 - 1. Horizontal Surfaces: Grade HGS.
 - 2. Postformed Surfaces: Grade HGP.
 - 3. Vertical Surfaces: Grade HGS.

3. WOOD CABINETS (Public Spaces):

- A. Grade: Custom
- B. Wall and base cabinets and vanities shall be of the same construction and appearances and shall compliment the furniture already procured by the City (inventory included in this RFP). Cabinets shall be fabricated frameless, with solid ends. Ends, bottoms, backs, partitions, and doors shall be hardwood plywood when exposed. Backs, when not exposed, may be HDF when not in wet areas. Mortise and tenon, dovetail, or dowel and glue joints to produce a rigid unit. Cover exposed edges of plywood with hardwood strips. Doors, frames, and solid exposed ends shall be ¾ in. thick. Bottoms and partitions shall be 5/8" thick minimum. Backs may be ¼" thick minimum, when not exposed. Backs exposed shall be minimum 5/8" thick.
- C. Finish: Provide a natural factory finish on wood surface after fabrication. Shall be fabricator's standard natural finish (tone/color may be selected by City), except that it shall be equivalent to one coat of sealer and one coat of spar varnish on all surfaces and a second coat of spar varnish on surfaces exposed to view. Sand lightly and wipe clean.

4. MATERIALS

- A. Cabinet Hardware:
 - 1. Hinges (2 per door): Frameless, concealed, self-closing, capable of opening to 165 degrees
 - 2. Pulls: Wire (non-public). Decorative and complimentary to inventory furniture in public spaces.
 - 3. Adjustable shelf supports.
 - 4. Locks: Door and drawer.
 - 5. Exposed Hardware Finishes: Satin stainless steel.
 - 6. Drawers: Two side-mounted metal drawer slides for each drawer. Shall be self-closing and have a static rating capacity of 100lbs. Slides shall be zinc or epoxy coated steel finish, ball bearing rollers, and positive stop with lift out design.



A.22 THERMAL INSULATION

1. MATERIALS

A. Insulation:

1. Glass-Fiber Blanket:
2. Glass-Fiber Board
3. Alternatives will be considered, but shall be approved by the City, prior to installation and shall be identified in the specifications and drawings

A.23 ROOFING

1. LOW SLOPE ROOF AREAS

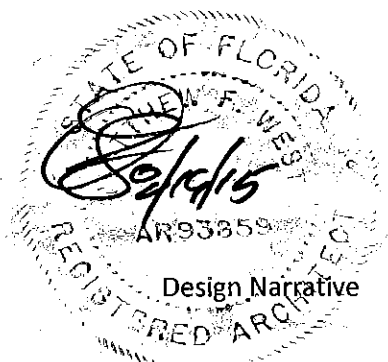
- A. SINGLE SOURCE MANUFACTURER: All SBS modified bitumen membrane and flashing sheets shall be manufactured by a single supplier with 20 years or more manufacturing history in the US.
- B. PRODUCT QUALITY ASSURANCE PROGRAM: Manufacturer shall be an ISO 9001 registered company. A 'Quality Compliance Certificate (QCC) for reporting/confirming the tested values of the SBS-Modified Bitumen Membrane Materials will be supplied upon request.
- C. WARRANTY:
 - 1) Manufacturer's No Dollar Limit (NDL), Labor and Material Warranty. The manufacturer shall provide the owner with the manufacturer's labor and material warranty covering products and contractor workmanship for **20 years** from the date the warranty is issued.
 - 2) The contractor shall guarantee the workmanship and shall provide the owner with the contractor's warranty covering workmanship for a period of 2 years from completion date.
- D. ACCEPTABLE MANUFACTURER: (OR APPROVED EQUAL)
 - 1) SOPREMA, located at: 310 Quadral Dr.; Wadsworth, OH 44281; Tel: 800-356-3521; Tel: 330-334-0066; Website: www.soprema.us.

2. PITCHED METAL ROOF AREAS:

- A. PRODUCT:

Furnish and install Berridge Zee-Lock Standing Seam System as manufactured by Berridge Manufacturing Company, San Antonio, Texas. (Or approved equal)
- B. MANUFACTURE:

Zee-Lock provides a 16" coverage with a 2" seam height (vinyl weatherseal factory-applied to continuous zee-rib. Panel seams are mechanically seamed in the field).
- C. WEATHERTIGHTNESS: Certification from independent testing laboratory indicating no measurable air or water penetration through the seam assembly in accordance with ASTM E 1680 and E 1646 is required.
- D. ENGINEERING: Acceptable installation design over engineered open framing or solid structural sheathing. Roof deck to be free of all objects which may puncture underlayment, (entire roof area must be covered with a minimum of number



thirty roof felt run horizontally starting at the eave, review Berridge underlayment details for complete installation instructions). Where required, panel assemblies to be constructed to meet Underwriter's Laboratory UL 90 pursuant to Construction Numbers 312, 335, 403 and 555.UL fire rated assemblies: Reference Berridge website.

- E. MATERIALS, FINISH INFORMATION & CONSTRUCTION DETAILS:
Reference web site: www.berridge.com

A.24 HOLLOW METAL DOORS AND FRAMES

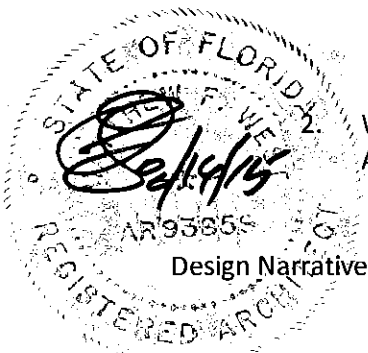
1. QUALITY ASSURANCE
 1. Provide doors and frames complying with ANSI/SDI 100 "Recommended Specifications for Standard Steel Doors and Frames" and as specified.
 2. For exterior doors and frames, comply with FBC for required wind loads and impact resistance and provide Miami-Dade County Notice of Acceptance.
2. DOORS
 - A. Steel Doors: Provide 1-3/4" thick doors with ANSI/SDI 100 grades and models specified below:
 1. Interior Doors: Grade II, heavy-duty, Model 2, seamless design, minimum 0.0478-inch thick cold-rolled steel sheet faces.
 2. Exterior Doors: Grade III, extra heavy-duty, Model 2, seamless design, minimum 0.0635- inch thick galvanized steel sheet faces.
3. FRAMES
 - A. Provide metal frames for doors, transoms, sidelights, borrowed lights and other openings, according to ANSI/SDI 100, and of types and styles as required for the Project. Conceal fastenings. Fabricate frames of minimum 0.0478-inch thick cold-rolled steel sheet.
 1. Fabricate frames with mitered or coped and continuous welded corners.
 2. Fabricate frames for interior openings over 48 inches wide from 0.0598-inch thick steel sheet.
 3. Fabricate exterior frames for openings over 48 inches wide from 0.0635- inch thick galvanized steel sheet.
4. INSTALLATION
 - A. Metal-Stud Partitions and Concrete Walls: Frames filled with insulation.
 - B. Masonry Walls: Frames filled with grout.

A.25 WOOD DOORS

1. QUALITY ASSURANCE
 - A. Source Limitations: Obtain flush wood doors through one source from a single manufacturer.
 - B. Quality Standard: Comply with AWI's "Architectural Woodwork Quality Standards Illustrated."
 1. Provide AWI Quality Certification Labels or an AWI letter of licensing for Project indicating that doors comply with requirements of grades specified.

WARRANTY

- A. Special Warranty: Manufacturer's standard form, signed by manufacturer, Installer, and Contractor, in which manufacturer agrees to repair or replace



doors that are defective in materials or workmanship, have warped (bow, cup or twist) more than ¼" in a 42" x 84" section, or show telegraphing of core construction in face veneers exceeding 0.01 inch in a 3 inch span.

1. Solid-core Interior Doors: Life of installation.

3. DOOR CONSTRUCTION

A. Interior Doors:

1. Grade: Premium

2. Core: Structural composite lumber.

3. Construction: Five plies with stiles and rails bonded to core, then entire unit abrasive planed before faces and crossbands are applied.

4. PRIMING/FINISHING

A. Shop Priming:

1. Doors for Opaque Finish: One coat of wood primer.

B. Factory Finishing: All doors.

C. Opaque Factory Finishes:

1. Grade: Premium.

A.26 ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS

1. WARRANTY

A. Materials and Workmanship: 10 years after date of substantial completion.

B. Finish: 10 years after date of substantial completion.

2. PERFORMANCE REQUIREMENTS

A. Delegated Design: Contractor to design aluminum-framed systems.

B. Windborne-Debris-Impact Resistance: System to be designed to comply with FBC for required wind loads and impact resistance and provide Miami-Dade County Notice of Acceptance.

3. SYSTEM COMPONENTS

A. Framing Members:

1. Construction: Thermally improved.

2. Glazing System: Gaskets on four sides.

B. Entrance Doors:

1. Door Construction: 1-3/4-inch (44.5-mm) overall thickness].

2. Door Design: As required for specific condition.

3. Glazing stops and gaskets.

4. ALUMINUM FINISHES

A. Aluminum Finishes: Class II, color anodic.

5. SOURCE QUALITY CONTROL

A. Testing Agency: Contractor engaged.

6. FIELD QUALITY CONTROL

A. Testing Agency: Contractor engaged.

7. MAINTENANCE SERVICE

A. Entrance Door Hardware: Six months.



A.27 DOOR HARDWARE

1. GENERAL

A. Contractor to specify, furnish and install all required hardware for a complete and operational system, including any electrified hardware components, systems, controls and hardware for entrance doors.

2. SUMMARY

- A. Mechanical door hardware for swinging doors.
- B. Cylinders for door hardware as required by the City.
- C. Electrified door hardware as required by the City.

3. WARRANTY

A. All finish hardware shall be supplied with a one (1) year warranty against defects in materials and workmanship, commencing with substantial completion of the Project except door position switches in concealed closers to have a two (2) year warranty and all door closers to have a ten (10) year warranty.

4. MAINTENANCE SERVICE

A. Full-Maintenance Service: Six months.

5. PRODUCTS

- A. Scheduled Door Hardware: As required by Project to perform all required Project functions.
- B. Furnish with finish hardware all necessary screws, bolts and other fasteners of suitable size and type to anchor the hardware in position for a long life under hard use.
- C. Design of all fastenings shall harmonize with the hardware as to material and finish.
- D. All hinges, including single and double acting types, electric hinges and continuous aluminum geared hinges to be of one manufacturer for continuity of design and consideration of warranty. For exterior hinges, provide stainless steel with non-removable pins.
 - 1. Acceptable products: McKinney, Hager and Stanley or approved equal.
- E. All locksets, latchsets, electrified locksets and trim to be of one manufacturer for continuity of design and consideration of warranty; electrified locksets to be the same series and design as mechanical locksets.
 - 1. Acceptable products: Sargent and Schlage or approved equal.
- F. Provide locks and exit devices requiring cylinders with 6-pin cylinders which comply with performance requirements of ANSI A156.5. All keys to be nickel silver only.
- G. Furnish all locks and cylinders keyed to a new, removable core, grandmaster key system. All keying to be accomplished at the factory of the lock manufacturer. Coordinate with the City for additional requirements including number of keys to be provided and coordination with the existing keying system.
- H. All door hardware finishes to match with each other.
- I. Potential Project components are included below but not limited to be provided as required for a complete Project installation.
 - 1. Door closers.
 - 2. Push plates.
 - 3. Door pulls.
 - 4. Stops, wall bumpers and O.H. controls.
 - 5. Kick plates.



6. Threshold, gasketing and door bottoms.
7. Silencers.
8. Miscellaneous trim and accessories.
9. Electrified hardware items, control and power supplies.

A.28 CEMENT PLASTER (STUCCO)

- A. All materials utilized in manufacturing CEMENT PLASTER shall comply with the specification standards stated in ASTM C926-86 and ANSI A42.2-1971 for stucco. Qualified mechanics that adhere to the professional plastering standards of the industry are necessary for a successful application of this exterior finish plaster. Submit qualifications to the City of information.
- B. Apply in a scratch coat, a base coat and a finish coat. The three coats should equal minimum 5/8" thick.
- C. Stucco finish shall be approved by the City.

A29 FIBER CEMENT CLADDING

- A. Siding, trim and soffit shall be engineered for the local climate and shall be resistant to moisture damage including rotting, warping and cracking.
- B. Color shall be formulated specifically for the manufacturer and shall be applied in a controlled factory environment. No On-site painting is permitted.
- C. Air Barrier Penetrations: All penetrations of the air/moisture barrier and paths of air infiltration / exfiltration through the air/moisture barrier system shall be made air-tight.
- D. Moisture Barrier Penetrations: All penetrations of the air/moisture barrier and paths of water migration through the air/moisture barrier system shall be made water shedding.
- E. Installer Qualifications: Minimum of 2 years' experience with installation of similar products.
- F. Mock-Up: Provide a mock-up for evaluation of surface preparation and sealing techniques and application workmanship.
 1. Finish areas designated by Architect.
 2. Do not proceed with remaining work until workmanship is approved by Architect.
 3. Repair mock-up area as required to produce acceptable work.

WARRANTY: Product Warranty: Limited product warranty against manufacturing defects, 10 years.

MANUFACTURERS: Acceptable Manufacturer: James Hardie Building Products, Inc., which is located at: 26300 La Alameda Suite 400 ; Mission Viejo, CA 92691; Toll Free Tel: 866-274-3464; Tel: 949-367-4980; Fax: 949-367-4981; Email: [request info \(info@jameshardie.com\)](mailto:info@jameshardie.com); Web: www.jameshardiecommercial.com or approved equal.



A.30

GYPSUM BOARD

- A. Contractor to provide the required type of gypsum board based on the Project programmed use of the space/location and as required by governing codes.
- B. FINISH: Level 4. See "MOCK UP" requirements
- C. TEXTURE: Light textured
- D. Provide moisture resistant gypsum board or cement board in "WET" areas.

A.31 FLOORING

1. PERFORMANCE REQUIREMENTS

- A. All flooring shall meet the required static coefficient of friction for level surfaces and load bearing performance as required by all governing codes. Do not start flooring work until roughing in for mechanical and electrical work has been completed and tested, and built-in items requiring membrane waterproofing have been installed and tested. Close space, in which flooring material is being set, to traffic or other work. Keep closed until floor is firmly set/adhered. Do not start floor installation in spaces requiring wall tile until after wall tile has been installed. Apply flooring in colors and patterns indicated in the area shown on the drawings. Install flooring with the respective surfaces in true even planes to the elevations and grades shown. Provide special shapes as required for sills, jambs, recesses, offsets, external corners, and other conditions to provide a complete and neatly finished installation. Do not walk or work on newly tiled/stone floors without using kneeling boards or equivalent protection. Keep traffic off of horizontal Portland cement mortar installations for at least 72 hours. Keep all traffic off epoxy installed floors for at least 40 hours after grouting and heavy traffic off for at least 7 days, unless specifically authorized by manufacturer. All carpet installed shall be protected from wall to wall until final cleaning. Where patterns are to be installed (floor and wall finishes), included dimensioned detail drawings at a min. scale of $\frac{1}{4}'' = 1'$. Include drawings of pattern at inside corners, outside corners, termination points, and location of all equipment items such as thermostats, switch plates, mirrors, and toilet accessories mounted on surface. Submit drawings should pattern (elevation and floor plans). Submit manufacturer's preprinted installation instructions.

2. CERAMIC/PORCELAIN TILE PRODUCTS

- A. Ceramic / Porcelain tile
 - 1. Size and location as required by Project program and by governing codes.
 - 2. Glazing/Finish to be determined by owner as required by Project program and by governing codes.
 - 3. Trim Shapes: Base cove, bullnose wainscot cap, bullnose external corner and other shapes as required by Project condition/location.
 - 4. Color: Through-body
 - 5. Porcelain Enamel Institute (PEI): Class 5 rating. Heavy to extra heavy traffic.

3. ACCESSORY MATERIALS

- A. Thresholds: To be selected by Owner as required by location and use.
- B. Tile Backing Panels: Cementitious backer units.

4. SETTING MATERIALS

- A. Latex-Portland Cement Mortar: ANSI A118.4 as required by Project.



B. Solidly back bases and covers with mortar

5. GROUTING MATERIALS

A. Latex-Portland Cement Grout: ANSI A118.6 as required by Project.

B. Grout joints not to exceed 1/8".

C. Resin Grout: In wet areas of kitchen.

6. Polished Concrete: Level 2 honed, Class B-Fine Aggregate and Color integrated.

A.32 RESILIENT TILE FLOORING

1. PRODUCTS

A. Vinyl Composition Floor Tile: Through-pattern tile.

1. Wearing Surface: Smooth.

2. Thickness: 0.125 inch (3.2 mm).

3. Size: 12 by 12 inches (305 by 305 mm).

B. Installation Materials:

1. Trowelable leveling and patching compounds.

2. Adhesives.

A.33 RESILIENT BASE AND ACCESSORIES

A. Resilient Base: Vinyl, thermoplastic.

1. Style and Location:

a. Cove: In areas with resilient flooring and in other areas with sealed concrete areas except in Mechanical rooms and Janitor closets.

2. Minimum Thickness: 0.125 inch (3.2 mm)

3. Outside Corners: Job formed

4. Inside Corners: Job formed

B. Installation Materials:

1. Trowelable leveling and patching compounds.

2. Adhesives.

A.3 SEALED CONCRETE

A. FLOOR COVERING

1. Manufacturer: (or approved equal)

a. Curecrete Distribution, Inc. Contact: 1203 W. Spring Creek Place, Springville, UT 84663-0551; Telephone: (800) 998-5664, (801) 489-5663; Fax: (801) 489-3307; website: www.ashfordformula.com.

b. Cure-Seal-Hardener: Ashford Formula, a water-based chemically reactive penetrating sealer and hardener that seals by densifying concrete so that water molecules cannot pass through but air and water vapor can, and allows concrete to achieve full compressive strength, minimizing surface crazing and eliminating dusting.

a. Abrasion Resistance to Revolving Disks: At least a 32.5% improvement over untreated samples when tested in accordance with ASTM C779.

b. Surface Adhesion: At least a 22% increase in adhesion for epoxy when tested in accordance with ASTM D3359.



- c. Hardening: As follows when tested in accordance with ASTM C39.
- d. After 7 Days: An increase of at least 40% over untreated samples.
- e. After 28 Days: An increase of at least 38% over untreated samples.
- f. Coefficient of Friction: 0.86 dry, 0.69 wet when tested in accordance with ASTM C1028.
 - 1. Rebound Number: An increase of at least 13.3% over untreated samples when tested in accordance with ASTM C805.
 - 2. Light Exposure Degradation: No evidence of adverse effects on treated samples when tested in accordance with ASTM G23.

B. JOINT SEALANT

- 1. Provide a High-performance High-movement polyurethane sealant for control joints and other floor joints, where appropriate.
 - a. Manufacture: Tremco Dymonic 100 is a high-performance, medium-modulus, low-VOC, UV stable, non-sag polyurethane sealant. Formulated with an innovative polymer technology. Dymonic 100 is highly versatile and has a unique capability to adhere to damp or green concrete. (Or approved equal)

A.35 ACOUSTICAL TILE CEILINGS

1. PRODUCTS

- A. Acoustical Ceiling Tiles: ASTM E 1264.
 - 1. Type, Form, and Pattern: Armstrong Ultima lay-in and beveled regular edge with 9/16" suspension system or approved equal.
 - 2. Modular Size: 24 by 24 inches (610 by 610 mm)
- B. Metal Suspension Systems: ASTM C 635.
 - 1. Wire hangers, braces, and ties.
 - 2. Hanger rods.
- C. Metal Edge Moldings and Trim: Extruded aluminum.
- D. Acoustical sealants.
- E. Installation adhesive.
- F. Provide 30 year limited warranty against visible sag, mold/mildew, and bacterial growth.

2. INSTALLATION

- A. Installation: ASTM C 636.

3. FIELD QUALITY CONTROL

- A. Testing: By Contractor to test acoustical tile ceiling hanger attachment devices

A.36 EXTERIOR PAINTING

1. QUALITY ASSURANCE

- A. Mockups for each color and finish.
- PAINT, GENERAL**
- A. Paint to match Type and Manufacture of City standards for Municipal buildings.



3. SURFACE PREPARATION

- A. **Stucco:** -Must be clean and free of any loose stucco. If recommended procedures for applying stucco are followed, and normal drying conditions prevail, the surface may be painted in 30 days. The pH of the surface should be between 6 and 9, unless the products to be used are designed to be used in high pH environments such as Loxon. pH test shall be performed and recorded prior to painting. Exterior surfaces must be spackled with exterior grade compounds.

4. EXTERIOR PAINTING SCHEDULE (Final manufacture and colors to be approved by City)

- A. **Stucco:**
Primer: A24W08300 - Loxon® Concrete & Masonry Primer, Color TBD
Interior/Exterior Latex: Color TBD
Finish: A06W00151 - A-100® Exterior Latex Flat Color TBD

A.37 INTERIOR PAINTING

1. QUALITY ASSURANCE

- A. Mockups for each color and finish.

2. PAINT, GENERAL

- A. Paint to match Type and Manufacture of City standards for Municipal buildings

3. SURFACE PREPARATION

- A. Drywall:

Must be clean and dry. All nail heads must be set and spackled. Joints must be taped and covered with a joint compound. Spackled nail heads and tape joints must be sanded smooth and all dust removed prior to painting.

- B. Aluminum:

Remove all oil, grease, dirt, oxide and other foreign material by cleaning per SSPC-SP1, Solvent Cleaning.

- C. Wood:

All finishing lumber and flooring must be stored in dry, warm rooms to prevent absorption of moisture, shrinkage, and roughening of the wood. All surfaces must be sanded smooth, with the grain, never across it. Surface blemishes must be corrected and the area cleaned of dust before coating.

4. INTERIOR PAINTING SCHEDULE (Final manufacture and colors to be approved by City)

- A. Gypsum Board Walls:

Primer: B28W08601 - High Build Interior Latex Primer Finish: B30W02651 - ProMar® 200 Zero VOC Interior Latex Flat

- B. Restroom Walls:

Primer: B28W08601 - High Build Interior Latex Primer White
Finish: K46W00051 - Pro Industrial PreCatalyzed Waterbased Semi-Gloss Epoxy
Interior Masonry Walls:

Primer: B25W00025 - PrepRite® Interior/Exterior Latex Block Filler Finish: B30W02651 - ProMar® 200 Zero VOC Interior Latex Flat

- D. Metal Doors and Frames:

Primer: B79W08810 - ProBlock® Interior Oil-Based Primer



- Finish: B34W00851 - ProClassic® Interior Waterbased Acrylic-Alkyd Semi-Gloss
- E. Stain:
Finish: A49V00200 - Wood Classics® Interior Oil Stain
- F. Aluminum:
Finish: A41W00251 - All Surface Enamel Latex Gloss

A.38 MECHANICAL DESIGN PERFORMANCE CRITERIA

- a. The new facility shall be designed to meet natural ventilation requirements in accordance with the relevant applicable codes. Mechanical ventilation may be used as an approach to meet this requirement.
- b. Provide HVAC to all occupied areas.
- c. ENERGY MANAGEMENT: Procured and Installed by others. However, DBT to coordinate with City/(Wisch & Jackson, Inc. as a sole source) for power and conduit locations/requirements
- d. The City prefers "Trane" split systems (or approved equal)
- e. DBT to coordinate with the City regarding the placement and specifications of the HVAC units for the building. Placement of unit may require screening per City code.
- f. DBT to submit copies of the complete testing, adjusting and balancing report, including any drawings indicating air outlets, thermostats, and equipment identified to correspond with data sheets.
- g. Consider the use of humidistat as a mechanical system control for occupied spaces. Provide/install if effective for operational cost savings while maintaining a comfortable climate.

A.39 ELECTRICAL DESIGN PERFORMANCE CRITERIA

- a. The City will be responsible for coordinating with FPL for the new service to the new facility. The City will pay any required deposits or other fees as necessary.
- b. The new facility shall be designed to meet all applicable electrical requirements in accordance with the jurisdictional codes.
- c. The City to provide underground electrical service to the new facility. Coordination of the electrical service, including any transformers, with FP&L will be by the City. The proposed location will be run adjacent to the facility through the existing parking lot. DBT to coordinate final connection and run wires and conduit to the proposed electrical service entrance to the building.
- d. Main service and panels shall be fitted with surge suppression devices.
- e. A building lighting system shall be provided and tied to the structure common electrical ground.
- f. NEMA enclosures shall be based on the application.
- g. Conduit exposed to weather shall be rigid galvanized steel. Electrical metallic tubing can be used for interior areas. PVC for underground with metal stub ups.
- h. All control wiring shall be in conduit for the access management system, fire alarm system and energy management system.
Provide LED exterior and interior lighting.
Exterior lighting shall be controlled by an energy management system. Interior lightning shall be designed to best fit the space and function in which it is placed.
Exit lights shall be LEDs and shall be provided for all exits and in accordance with applicable code
Provide vandal-proof energy efficient exterior light fixtures.



- m. Provide vapor proof/waterproof outlets and GFCI receptacles in wet areas and/or where solvents or cleaning chemicals are used.
- n. Provide a fire suppression system and a fire alarm system (design only) throughout the new facility. Installation to be performed by City's sole source contractor. Coordinate design and installation with City's contractor.
 - 1. Fire Alarm system
 - A. The building to be equipped with a Fire Alarm system per NFPA 72, 2010 Edition.
 - B. Fire alarm monitors to be provided for fire sprinkler system.
 - C. An audible fire alarm device to be installed on the exterior of the building that is weatherproof or suitable for outside use.
 - D. The City's Fire Alarm system is to be provided and installed by Knight Fire. The system is as shown below. DBT design and coordinate with Knight Fire.
 - 1) Silent Knight Fire Alarm System.
 - Silent Knight IFP 2000 Network FACPs
 - Silent Knight Annunciators
 - NAC Panels
 - Addressable Pull Stations
 - Addressable Smoke Detectors
 - Addressable Duct Detectors
 - Remote Test Stations
 - Addressable Relays
 - Addressable Monitor Modules
 - Strobe Only Units
 - Horn Strobe Units
- o. Electrical testing shall be performed by an independent testing organization that is a member of the International Electrical Testing Association (NETA). Areas to be tested to be determined by the design professional.
- p. The City to provide security and access control systems, wiring and components. The DBT to provide the required power and empty data conduits to each of the components and equipment.
- q. Generator:
 - Base bid: Provide a concrete slab, wiring and conduits, transfer switch for a temporary standby generator. Generator to power Access Controls, intrusion detection, HVAC, power and lighting distribution.

To be separately priced:

Option 1: Provide a new generator capable of supporting the entire building, including the necessary transfer switch, etc. Generator to be fully fueled at time of Occupancy and not to be fueled from same source as kitchen. Generator shall support 8 consecutive hours of operation.



- r. Lightning Protection System: The building to be equipped with a lightning protection system. Ground loop system exists currently in the area.

A.40 LOW VOLTAGE

1. Security system.

A. Access Control:

- 1. The City to provide specification on system.
- 2. Card Access system by City. All exterior doors to have card access.
- 3. Hardware by City.
- 4. DBT to provide conduit and cable to support system.

B. Intrusion Detection:

- 1. Cameras: Locations to be coordinated with the City Staff. Cameras supplied the City. Mounts supporting cable / conduits are provided and installed by the DBT.
- 2. Cameras should be connected to CCTV system. Coordinate with City for location of CCTV equipm

2. PA system

- A. The PA system will be provided under separate contract. DBT to design/provide conduit, cable, boxes speakers per City's requirements.

3. Tele / Data:

- A. The City to provide specification on System. Assumed to be 24 switch system.
- B. Data rack provided by City and shall be located within the Administrative Office area. Wall supporting data rack shall include in-wall wood backing if frame/gyp board construction. Wall construction shall comply with applicable fire code.
- C. Locations and quantity of Tele/Data jacks: Shall be determined by the City Staff

4. Wireless Internet:

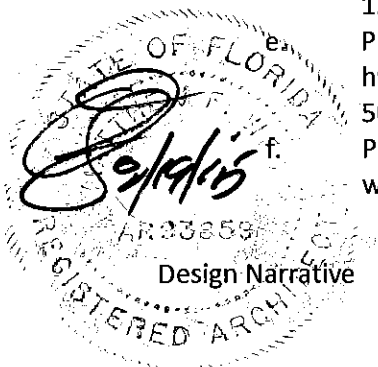
- A. City will provide (procure and install) wireless routers. DBT to design/install power, conduit, cable to support the wireless routers.
- B. Locations: Shall be determined by the City Staff.

A.41 PLUMBING DESIGN PERFORMANCE CRITERIA

- a. Provide standpipes with fire hose connections as required.
- b. Potable water pipe shall be hard drawn copper per ASTM B 88 Type K H58, CPVC or the latest applicable standard. Only the hot water piping will be insulated. Insulation will be ½ inch of flexible elastomeric insulation equal to Armaflex 2000.
- c. Provide drains and associated piping throughout, as necessary. The drainage piping (Storm, Sanitary and Grease Waste) below grade will be PVC, schedule 40. The drainage and vent piping (Storm, Sanitary, Vent and Grease Waste) above grade shall be cast iron or PVC schedule 40.
- d. Fire protection shall be provided for the new facility and all pipes shall be per NFPA, 13, current edition, 2013.

Provide potable water hose bibs to support maintenance activities. Hose bibs to be wall hydrants, Zurn, narrow body, Z1350-VB or approved equal. Hydrants to be spaced at 50 feet to 100 feet on center or as located by the City.

Provide cost benefit analysis comparison of a central hot water heater to instant hot water located at each lavatory location to determine which hot water heating method



is most amenable to the City prior to providing. DBT to consider total operating cost. Providing separate/different hot water heating systems in different areas, if operationally more cost effective, will be considered.

- g. Storm water and sanitary sewer pipe below grade shall be cast iron soil pipe or PVC type DWV, solid wall schedule 40, ASTM D1784 and ASTM D2665. No foam core allowed. Note: This material is acceptable aboveground except in plenum spaces.
- h. All exposed sanitary trim at fixtures shall be chrome plated brass, including traps and tailpieces. Shower and floor drains shall have cast iron bodies with nickel bronze strainers. Pressure balancing shower mixing valves shall be provided and shall be solid brass body. Shower heads will be restricted to 1.5 gpm flow.
- i. Faucets shall be ADA compliant with vandal resistant wrist blade handles. The faucets shall be water conserving, water-sense listed, with compensating aerator, swivel goose neck spout, solid brass body, polished chrome finish.

A.42 FURNITURE / EQUIPMENT:

- a. City will provide the Access Management System.
- b. City will provide all furniture (non-built in), computers, toilet paper and soap dispensers, etc. DBT shall show fixtures on the design drawings.
- c. See INTERIOR DESIGN

A.43 SUSTAINABLE DESIGN:

- 1. Design and construct the facility in a manner that would be able to achieve LEED certification at the minimum Certified level. Actual certification is not required. Submittals/product approvals/specification shall show the system's/material's contribution to and reference to the LEED rating system.

A.44 FACILITY REQUIREMENTS

1. SITE / EXTERIOR

- A. Driveways – asphalt over base and sub-base. See City code for driveway requirements.
- B. Provide a distinct and designated entry.
- C. Dumpster enclosure is required to the Northwest corner of the Site.
- D. No monument sign is required.
- E. No bicycle rack is required or desired.
- F. Air-conditioning units to be screened per City Code
- G. Knox Box location TBD by Fire Marshal
- H. Access control system – Interior and exterior – Compatible with City's existing system (card reader system sole source supplied by ADT to City, manufactured by C-Cure 800/8000). See A.40.
- I. Landscape and Irrigation design – to be coordinated with City staff, provided in accordance with City's Land Development Regulations, and shown in site plan approval documents. Installed by others.
- J. Roof Drainage shall have Gutters, Downspouts with splash pads or connected to underground storm drainage system.
- K. CPTED requirements apply per City's LDR
- L. Hose bibs / Wall hydrants to be placed at 50-100 ft. spacing along perimeter of building or as located by the City.



- M. Electrical transformer to be located at the Northwest corner of the site.
- N. Gas tank for kitchen equipment shall be located at the Northwest corner of the site.
- O. Flag pole and memorial shall be relocated.
- P. Loading area shall be provided and in accordance with City's Land Development Regulations. .
- Q. Covered Cart Staging shall be capable of accommodating 48 carts and have a relationship to the existing cart barn located at the North West end of the site and the new facility's starter.
- R. Provide a new asphalt driveway to the main entrance of the building.
- S. Construct a new pedestrian sidewalk to link the main building entrance with the covered cart staging area and the cart path along the golf course. See City code sidewalk design standards.
- T. Construct a new Cart Pathway where needed to connect to the existing cart paths. See City code sidewalk design standards.
- U. The DBT will be responsible for repairing all portions of the golf course and pathways affected by the construction of the new building.
- V. Water, Sewer & Fire line size
 - A. There exists an 8" water line to the West. See attached drawings of existing conditions and survey.
 - B. The City to provide a sanitary sewer connection point. See attached San. Sewer drawings. Drawings are not record drawings, but are for construction in Summer 2015.

2. FACILITY ELEMENTS

A. 1ST FLOOR – CORE SPACES

1. Electrical Room

- a. Floor: Sealed concrete
- b. Base: Vinyl base
- c. Walls: 1-hour fire rated, painted gypsum board or painted masonry
- d. Ceilings: 1-hour fire rated, painted exposed structure above or painted gypsum board or Acoustical lay-in tiles and grid.
- e. Lighting: Industrial LED strip lights
- f. Doors: painted hollow metal doors and frames.
 - 1) Hardware: Provide complete hardware package for type of door and space.
- g. Equipment: Required electrical equipment. Provide backing as required.

2. Mechanical Room

- a. Floor: Sealed concrete
- b. Base: Vinyl base
- c. Walls: Painted gypsum board or painted masonry
 - 1) Provide sound batt insulation (R13 minimum) and seal all joints.
 - 2) Walls to extend to deck above to reduce noise transfer.



- d. Ceilings: Painted exposed structure above or painted gypsum board.
- e. Lighting: Industrial LED strip lights
- h. Doors: painted hollow metal doors and frames.
 - 1) Hardware: Provide complete hardware package for type of door and space.
 - 2) Door, frame and hardware to be sound rated and fire rated (where required by code).
- f. Equipment: Required mechanical equipment

3. Elevator Equipment Room

- a. Description: Shall be sized to support (2) 3500lb, hydraulic elevators.
- b. Floor: Sealed concrete
- c. Base: Vinyl base
- d. Walls: 1-hour fire rated, Painted gypsum board or painted masonry
 - 1) Provide sound batt insulation (R13 minimum) and seal all joints.
 - 2) Walls to extend to deck above to reduce noise transfer.
- e. Ceilings: Painted exposed structure above or painted gypsum board.
- f. Lighting: Industrial LED strip lights
- g. Doors: painted hollow metal doors and frames.
 - 1) Hardware: Provide complete hardware package for type of door and space.
 - 2) Doors, frame and hardware to be fire and sound rated.
- h. Equipment: Required elevator equipment

4. Elevator #1 - (Passenger elevator off Lobby).

- a. Description: Shall be a minimum 3,500 lb., Hydraulic elevator with upgraded finishes. Minimum 100 ft./min.
- b. Floor: To compliment Entry Lobby flooring. No tile. DBT to propose to City
- c. Base: N/A
- d. Walls: Upgraded wall panels
- e. Ceilings: Upgraded ceiling panels
- f. Lighting: Upgraded LED lights
- g. Doors: Stainless steel or wood panel
 - 1) Hardware: Provide complete hardware package for type of door and space.
- h. Equipment: Standard Code required elevator equipment

5. Janitor

- a. Floor: Sealed concrete
- b. Base: Vinyl base
- c. Walls: Painted hi-abuse gypsum board or painted masonry
- d. Ceilings: Acoustical lay-in tiles and grid or open to deck above



- e. Lighting: Industrial LED strip lights
- f. Doors: painted hollow metal doors and frames
 - 1) Hardware: Provide complete hardware package for type of door and space.
- g. Equipment:
 - 1) Terrazzo Mop sink with goose neck, 3rd arm support, wall mounted
 - 2) Floor drain
 - 3) Shelving for supplies. (Stainless steel)
 - 4) Faucet: Solid brass body, chrome plated, paddle handles

6. Men's Restrooms / Lockers

- a. Description: Must be able to be open when the Pro Shop is closed. Shall be located near the Pro Shop. Shall have a vestibule type area for the input of handicaps and seating for 2 as one walks into the locker room. Shall be accessible from the interior of the lobby and exterior of the facility for quick access when players stop for a break at the "turn". Shall be located near the Janitor's closet.
- b. Floor: Polished concrete with slip resistance for wet space.
- c. Base: Architect to propose.
- d. Walls: Painted moisture resistant gypsum board with 5' high wainscot tile at all walls,
- e. Ceilings: Painted gypsum board with stained wood crown moldings
- f. Lighting: Decorative LED recessed can lights and decorative LED wall sconces and vanity lighting
- g. Doors: Solid core wood doors, hollow metal frames with decorative wood trim
 - 1) Hardware: Provide complete hardware package for type of door and space.
- h. Equipment / Fixtures: (All plumbing fixtures to be vitreous china and all faucets to be solid brass body with plated finish.)
 - 1) Toilets: commercial grade vitreous china toilets with low flow sensor flush valve. Wall mounted
 - 2) Lavatories: commercial grade, vitreous china bowls set in vanity countertop.
 - 3) Faucets: solid brass body with plated finish and low flow sensor
 - 4) Urinals: Commercial grade, vitreous china with low flow sensor flush valve
 - 5) Floor drains:
 - 6) Lockers: To be stained solid core wood. Minimum (8) stackable lockers. Size: 1/2 tier.
 - 7) Benches: To match lockers.
 - 8) Toilet partitions: To be painted moisture resistant gypsum board with 5' high wainscot tile at all walls and stained full louvered doors.



- 9) Toilet Accessories: decorative commercial grade stainless steel.
 - a) Recessed paper towel dispensers
 - b) Recessed waste receptacles
 - c) Recessed toilet paper dispensers
 - d) Decorative framed mirrors (ADA compliant)
 - e) Hand Dryers (Dyson Airflow or equal)
 - f) Power for a Hair Dryer, is required
- 10) Shower: To be separated priced.
 - a) (1) shower per locker room
 - b) Provide tile on walls and floors
 - c) Provide low flow shower head.
- 11) Mirror: Framed- Either full length of vanity or per lavatory.

7. Women's Restrooms / Lockers

- a. Description: Must be able to be open when the Pro Shop is closed. Shall have a vestibule type area for the input of handicaps, seating for 2 as one walks into the locker room. Shall be accessible from the interior of the lobby and exterior of the facility. Shall be located near the Pro Shop, Janitor's closet and the Quick Turn Food area.
- b. Floor: Polished concrete
- c. Base: Tile base
- d. Walls: Painted moisture resistant gypsum board with 5' high wainscot tile at all walls,
- e. Ceilings: Painted gypsum board with stained wood crown moldings
- f. Lighting: Decorative LED recessed can lights and decorative LED wall sconces.
- g. Doors: stained solid core wood doors and hollow metal frame with decorative wood trim.
 - 1) Hardware: Provide complete hardware package for type of door and space.
- h. Equipment / Fixtures: (All plumbing fixtures to be vitreous china and all faucets to be solid brass body with plated finish.)
 - 1) Toilets: commercial grade toilets with low flow sensor flush valve
 - 2) Lavatories: commercial grade
 - 3) Faucets: commercial grade with low flow sensor
 - 4) Floor drains
 - 5) Lockers: To be stained solid core wood. Minimum (8) stackable lockers. Size: 1/2 tier.
 - 6) Benches: To match lockers.
 - 7) Toilet partitions: To be painted moisture resistant gypsum board with 5' high wainscot tile at all walls and stained full louvered doors.
 - 8) Toilet Accessories: decorative commercial grade, stainless steel.



- a) Recessed paper towel dispensers
 - b) Recessed waste receptacles
 - c) Recessed toilet paper dispensers
 - d) Recessed sanitary napkin receptacles
 - e) Decorative framed mirrors (ADA compliant)
 - f) Hand Dryers (Dyson Airflow or equal)
 - g) Power for a Hair Dryer, is required
- 9) Shower:
- d) (1) shower per locker room
 - e) Provide tile on walls and floors
 - f) Provide low flow shower head.

8. Entry Lobby

- a. Floor: Granite, stone, marble floor or polished concrete
- b. Base: Base to match floor finish.
- c. Walls: Painted gypsum board with decorative stained or painted wood chair rail and crown molding
- d. Ceilings: Painted gypsum board with decorative moldings
- e. Lighting: a mix of LED can lights and handing pendant lighting
- f. Doors: stained solid core wood doors and hollow metal frame with decorative wood trim
 - 1) Hardware: Provide complete hardware package for type of door and space.
- g. Equipment: Furniture by owner.
- h. Cabinetry: Coordinate with owner for any required built-in cabinetry.

9. Main Stair

- a. Floor: Porcelain, granite, stone, marble floor or polished concrete.
- b. Base: Base to match floor finish.
- c. Walls: Painted gypsum board with stained wood chair rail and crown molding
- d. Ceilings: Painted gypsum board with decorative moldings
- e. Lighting: a mix of LED can light fixtures and handing pendant light fixtures or decorative wall sconces.
- f. Doors: n/a
- g. Equipment: Decorative metal stair with decorative metal and wood safeguard and railings

B. 1ST FLOOR – KITCHEN / STORAGE

1. Kitchen / Storage / Quick Turn Food:

- a. Description: Must be a separate lockable area from the Pro Shop. Shall be for quick service for golfers and located near the Tenth hole and the Exterior Screened Patio. Shall contain are area for food preparation, storage for cold beverages, frozen foods, condiments and paper goods. Shall have equipment for Hot Dog cooker and cold sandwich storage. Shall have a stainless steel service counter with a window to the exterior covered area. Shall



- have access to the outside for a grill. Shall have access to the 2nd floor kitchen via stairs and an elevator.
- b. Floor: VCT or epoxy floor. Provide required floor drains. Slope floor to drains.
- c. Base: tile base or epoxy base
- d. Walls: The finishes on the walls must be impervious to grease, food particles and water. The finish must be smooth and even. The finished surface of the walls must be easy to clean.
 - 1) Recommended finishes include:
 - a) Epoxy paint on moisture resistant gypsum board
 - b) ceramic tile with epoxy grout
 - c) stainless steel panels with welded joints and sealed fixings
- e. Ceilings: Painted exposed structure above or painted gypsum board or non-porous, moisture resistant, easily cleanable, square lay-in acoustical tile and grid.
- f. Lighting: moisture resistant LED light fixtures
- g. Doors: painted hollow metal doors and frames
 - 1) Hardware: Provide complete hardware package for type of door and space.
- h. Equipment: Provide the required commercial grade kitchen equipment to service quick turn food. At a minimum, it shall include the following:
 - 1) Cash register w/ cash drawer. (Provided by City.)
 - 2) Griddle, gas
 - 3) Fryer
 - 4) 3-compartment sink
 - 5) Hand sink(s)
 - 6) Shelving
 - 7) Cabinets
 - 8) Tables
 - 9) Refrigerator, sandwich / salad prep
 - 10) Refrigerator, reach in
 - 11) Display case, refrigerated
 - 12) Freezer, reach in
 - 13) Hood with supply and exhaust fans and a fire suppression system
 - 14) Ice maker , under counter with bin
 - 15) Racks
 - 16) Drink cooler

- 2. Storage (with exterior access)
 - a. Description: Shall be used for storage of tables, chairs, portable grill, etc.
 - b. Floor: Sealed concrete
 - c. Base: Vinyl base
 - d. Walls: Painted hi-abuse gypsum board or painted masonry



- e. Ceilings: Painted exposed structure above or Acoustical lay-in ceiling tile and grid.
 - f. Lighting: Industrial LED strip light fixtures
 - g. Doors: painted (6'x7') double hollow metal doors and frames
 - 1) Hardware: Provide complete hardware package for type of door and space.
 - h. Equipment: Shelving provided by the City.
3. Exterior Covered Service Area
- a. Floor: brushed concrete
 - b. Base: n/a
 - c. Walls: Painted stucco or other material selected by the City for the building and prefinished steel or aluminum privacy fence.
 - d. Ceilings: Painted stucco or other material selected by the City
Lighting: exterior LED recessed light fixtures
 - e. Doors: prefinished steel or aluminum privacy gate
 - 1) Hardware: Provide complete hardware package for type of door and space.
 - f. Equipment: n/a
4. Elevator #2 (elevator off Kitchen).
- a. Description: Shall be a minimum 3,500 lb., Hydraulic elevator with industrial finishes. Minimum 100 ft./min.
 - b. Floor: To compliment Kitchen flooring. (No tile) Shall be a non-slip flexible surface.
 - c. Base: N/A
 - d. Walls: Standard industrial grade wall panels
 - e. Ceilings: Standard industrial grade ceiling panels
 - f. Lighting: LED lights
 - g. Doors: Stainless steel or other industrial grade standard finish
 - 1) Hardware: Code required.
 - h. Equipment: Standard Code required elevator equipment

C. 1ST FLOOR – PRO SHOP AREA

1. Pro Shop:

- a. Description: Shall be located near the Starter, #1 Tee, Carts and Driving range. Shall have an area for display of merchandise
- b. Floor: Upgraded carpet or porcelain tile
- c. Base: Tile base or wood (stained or painted)
- d. Walls: Painted gypsum board with stained wood decorative chair rail and crown molding
- e. Ceilings: upgraded acoustical tile and grid with decorative painted gypsum board soffit (if appropriate)
- f. Lighting: LED recessed light fixtures
- g. Doors:
 - 1) Interior: stained solid core wood doors, full vision light, hollow metal frames with decorative wood trim.



- 2) Exterior: decorative impact resistant storefront
- 3) Hardware: Provide complete hardware package for type of door and space.
- h. Equipment / Furniture: (by DBT)
 - 1) Stained wood modular display system with locks
 - 2) Stained wood display shelving along perimeter of the room

2. Reception Desk:

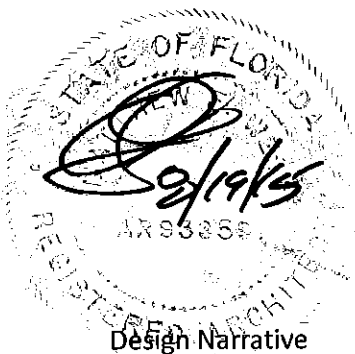
- a. Description: All financial transactions for the Pro shop and Event Center, general customer service area.
- b. Floor: Upgraded carpet or porcelain tile
- c. Base: Tile base or decorative wood (stained or painted)
- d. Walls: Painted gypsum board with stained wood decorative chair rail and crown molding
- e. Ceilings: upgraded acoustical tile and grid or floating panels (wood or ACT systems)
- f. Lighting: LED recessed light fixtures
- g. Doors: N/a
- h. Equipment / Furniture: (by DBT)
 - 1) Decorative stained wood reception counter, (2) point of sale stations (by City), lockable cabinets and drawers and display shelving

3. Rental Club Storage

- a. Description: Shall be accessible from the Pro Shop.
- b. Floor: Sealed concrete
- c. Base: vinyl base
- d. Walls: Painted gypsum board
- e. Ceilings: acoustical tile and grid
- f. Lighting: LED lay-in light fixtures
- g. Doors: stained solid core wood doors with ½ vision panel and hollow metal frames with decorative wood trim on the public side.
 - 1) Hardware: Provide complete hardware package for type of door and space.
- h. Equipment / Furniture:
 - 1) Shelving for storage of minimum 10 sets of clubs. (By owner) Floor mounted.

4. Merchandise Storage Closet:

- a. Description: Shall be an area for securing merchandise stock. It shall be separable and lockable from transaction area. Shall be located near Merchandise area.
- b. Floor: Sealed concrete
- c. Base: vinyl base
- d. Walls: Painted gypsum board
- e. Ceilings: acoustical tile and grid
- f. Lighting: LED lay-in light fixtures



- g. Doors: stained solid core wood doors and hollow metal frames with decorative wood trim on the public side.
 - 1) Hardware: Provide complete hardware package for type of door and space.
- h. Equipment / Furniture:
 - 1) Open shelving for storage of merchandise. (By owner)

5. Work Room

- a. Description: This space shall be used to count blanks, prepare tournament items and to sort items. Shall be located near the reception desk area.
- b. Floor: Sealed concrete
- c. Base: vinyl base
- d. Walls: Painted gypsum board
- e. Ceilings: acoustical tile and grid
- f. Lighting: LED lay-in light fixtures
- g. Doors: stained solid core wood doors with ¼ vision panel and hollow metal frames with decorative wood trim on public side.
 - 1) Hardware: Provide complete hardware package for type of door and space.
- h. Equipment / Furniture: (by DBT)
 - 1) Upper and lower cabinets with locks
 - 2) Desk, table or built-in counter to be use as a work table
 - 3) Copier (by owner)

6. Storage Closet

- a. Floor: Sealed concrete
- b. Base: vinyl base
- c. Walls: Painted hi-abuse gypsum board
- d. Ceilings: acoustical tile and grid
- e. Lighting: LED lay-in light fixtures
- f. Doors: stained solid core wood doors and hollow metal frames with decorative wood trim on public side
 - 1) Hardware: Provide complete hardware package for type of door and space.
- g. Equipment / Furniture:
 - 1) Open shelving (wall or floor mounted); if wall mounted provide required backing in wall.

7. Hallway

- a. Floor: Porcelain tile or polished concrete
- b. Base: Tile base or decorative wood base (painted or stained).
- c. Walls: Painted gypsum board with stained wood decorative chair rail and crown molding
- d. Ceilings: upgraded acoustical tile and grid
- e. Lighting: LED recessed light fixtures
- f. Doors: stained solid core wood doors and hollow metal frames with decorative wood trim on public side



- 1) Hardware: Provide complete hardware package for type of door and space.
- g. Equipment / Furniture: none

7. Golf Supervisor Office:

- a. Description: Shall be located with access to the reception desk, window to starter and #1 Tee. Shall be accessible to the public. Shall be close to the Pro Shop and Starter
- b. Floor: Carpet
- c. Base: vinyl base
- d. Walls: Painted gypsum board with stained wood decorative chair rail
- e. Ceilings: upgraded acoustical tile and grid
- f. Lighting: LED lay-in light fixtures
- g. Doors: stained solid core wood doors with ¼ vision lite and hollow metal frames with decorative wood trim on public side.
 - 1) Hardware: Provide complete hardware package for type of door and space.
- h. Equipment / Furniture: One staff person with (2) guest chairs, (1) L shaped desk and (1) lateral file. (furniture to be provided by the City)

8. Golf Pro Office:

- a. Description: Shall be located with access to the reception desk and a view to the reception desk and to the starter. Shall be accessible to the public. Shall be close to the Pro Shop and Starter
- b. Floor: carpet
- c. Base: vinyl base
- d. Walls: Painted gypsum board with stained wood decorative chair rail.
- e. Ceilings: acoustical tile and grid
- f. Lighting: LED lay-in light fixtures
- g. Doors: stained solid core wood doors with ¼ vision lite and hollow metal frames with decorative wood trim on public side.
 - 1) Hardware: Provide complete hardware package for type of door and space.
- h. Equipment / Furniture: One staff person with (2) guest chairs, (1) L shaped desk and (1) lateral file. (furniture to be provided by the City)

9. Food and Beverage Manager Office:

- a. Description: Can be located on the second floor, near the Event area, if needed.
- b. Floor: carpet
- c. Base: decorative wood base (painted or stained)
- d. Walls: Painted gypsum board with (stained or painted) wood decorative chair rail
- e. Ceilings: acoustical tile and grid



- f. Lighting: LED lay-in light fixtures
- g. Doors: stained solid core wood doors with ¼ vision lite and hollow metal frames with decorative wood trim on public side.
 - 1) Hardware: Provide complete hardware package for type of door and space.
- h. Equipment / Furniture: One staff person with (2) guest chairs, (1) L shaped desk and (1) lateral file. (furniture to be provided by the City)

10. Directors Office:

- a. Description: Oversight of all operational activities.
- b. Floor: Carpet
- c. Base: decorative wood base (painted or stained)
- d. Walls: Painted gypsum board with stained wood decorative chair rail
- e. Ceilings: acoustical tile and grid
- f. Lighting: LED lay-in light fixtures
- g. Doors: stained solid core wood doors with ¼ vision lite and hollow metal frames with decorative wood trim on public side
 - 1) Hardware: Provide complete hardware package for type of door and space.
- h. Equipment / Furniture: One staff person with (4) guest chairs, (1) L shaped desk and (1) lateral file. (1) round meeting table (furniture to be provided by the City)

11. Dressing Room:

- a. Description: Shall be provided if the locker rooms are not close to the Pro Shop area.
- b. Floor: to match adjacent primary space.
- c. Base: decorative wood (painted or stained)
- d. Walls: Painted gypsum board with stained wood decorative chair rail and crown molding
- e. Ceilings: upgraded acoustical tile and grid
- f. Lighting: LED recessed light fixtures
- g. Doors: stained solid core wood doors and hollow metal frames with decorative wood trim
 - 1) Hardware: Provide complete hardware package for type of door and space.
- h. Equipment / Furniture:
 - 1) Decorative framed full height mirror
 - 2) Stained wood bench, base shall be wood or metal. If metal finish then coordinate with surrounding metal finishes.
 - 3) Clothing hooks. Minimum of (2)

12. Desk Operations Storage Closet:

- a. Description: Shall be an office supply closet located near the reception desk area. Can be part of the Work Room area.



- b. Floor: carpet
- c. Base: vinyl base
- d. Walls: Painted gypsum board
- e. Ceilings: acoustical tile and grid
- f. Lighting: LED lay-in light fixtures
- g. Doors: stained solid core wood doors with hollow metal frames
 - 1) Hardware: Provide complete hardware package for type of door and space.
- h. Equipment / Furniture:
 - 1) Open shelving (wall or floor mounted, if wall mounted provided required backing in the wall)

D. 1ST FLOOR – EXTERIOR COVERED AREAS

1. Exterior Screened Patio

- a. Floor: Stained brushed concrete or stamped concrete
- b. Base: To coordinate with the final selection of the flooring material
- c. Walls: painted stucco or other cladding on masonry walls and aluminum screen enclosure
- d. Ceilings: Painted stucco or Fiber cement board
- e. Lighting: Exterior LED recessed light fixtures, ceiling fans w/ lights
- f. Doors: (2) aluminum screen doors
 - 1) Hardware: Provide complete hardware package for type of door and space.
- g. Equipment / Furniture: (4) four top tables (by City)

2. Exterior Covered Patio

- a. Floor: Stained brushed concrete or stamped concrete
- b. Base: To coordinate with the final selection of the flooring material
- c. Walls: painted stucco or cladding on masonry walls and columns (to be wrapped with alternate material if suitable with the architectural design.)
- d. Ceilings: Painted stucco or fiber cement board
- e. Lighting: Exterior LED recessed light fixtures, ceiling fans with lights
- f. Doors: none
- g. Equipment / Furniture: Wall or ceiling mounted space heaters, ice machine (by City), vending machine (by City), range ball machine (by City), starter podium (by City).

3. Exterior Entry Area

- a. Floor: Stained brushed concrete or stamped concrete
- b. Base: To coordinate with the final selection of the flooring material
- c. Walls: painted stucco or other cladding on masonry walls and columns
- d. Ceilings: Painted stucco or fiber cement board



- e. Lighting: Exterior LED recessed light fixtures or architectural entry lighting (IE: sconce or pendent)
- f. Doors: none
- g. Equipment / Furniture: benches (by owner)

E. 2ST FLOOR – CORE AREAS

1. Entry Lobby

- a. Floor: Porcelain, granite, stone or marble floor
- b. Base: Base to match floor finish.
- c. Walls: Painted gypsum board with stained wood chair rail and crown molding
- d. Ceilings: Painted gypsum board with decorative moldings
- e. Lighting: a mix of LED can lights and hanging pendant lighting
- f. Doors: stained solid core wood doors and hollow metal frame
 - 1) Interior: stained solid core wood doors and hollow metal frame with decorative wood trim
 - 2) Exterior: decorative impact resistant storefront
 - 3) Hardware: Provide complete hardware package for type of door and space.
- g. Equipment:
 - 1) Furniture (by owner)
 - 2) TV (by owner). DBT to provide mount, cable, data and power.

2. Elevator #1 - (See 1st floor - Core Area for information)

3. Main Stair - (See 1st floor - Core Area for information)

4. Janitor

- a. Floor: Sealed concrete
- b. Base: Vinyl base
- c. Walls: 1-hour fire rated, Painted hi-abuse gypsum board or painted masonry
- d. Ceilings: Open to deck above or Acoustical ceiling tiles and grid.
- e. Lighting: Industrial LED strip lights
- f. Doors: painted hollow metal doors and frames
 - 1) Hardware: Provide complete hardware package for type of door and space.
- g. Equipment:
 - 1) Mop sink (terrazzo), wall mounted, solid brass body, polished chrome plated, service sink faucet, paddle handles, threaded neck for hose attachment.
 - 2) Open shelving (by Owner)

5. Men's Restrooms:

- a. Floor: polished concrete
- b. Base: Tile base



- c. Walls: Painted moisture resistant gypsum board with 5' high wainscot tile at all walls,
- d. Ceilings: Painted gypsum board with stained wood crown moldings
- e. Lighting: Decorative LED recessed can light fixtures and decorative LED wall sconces.
- f. Doors: Solid core wood doors and hollow metal frames with decorative wood trim
 - 1) Hardware: Provide complete hardware package for type of door and space.
- g. Equipment / Fixtures: (All plumbing fixtures to be vitreous china and all faucets to be solid brass body with plated finish.)
 - 1) Toilets: commercial grade toilets (wall mounted) with low flow sensor flush valve.
 - 2) Lavatories: commercial grade
 - 3) Faucets: commercial grade with low flow sensor
 - 4) Urinals: Commercial grade with low flow sensor flush valve
 - 5) Floor drains
 - 6) Toilet partitions: To be painted moisture resistant gypsum board with 5' high wainscot tile at all walls and stained full louvered doors.
 - 7) Toilet Accessories: decorative commercial grade, brushed stainless steel.
 - a) Recessed paper towel dispensers
 - b) Recessed waste receptacles
 - c) Recessed toilet paper dispensers
 - d) Decorative framed mirrors (ADA compliant)
 - e) Hand Dryers (Dyson Airflow or equal)

6. Women's Restrooms:

- a. Floor: Polished concrete
- b. Base: Tile base
- c. Walls: Painted moisture resistant gypsum board with 5' high wainscot tile at all walls,
- d. Ceilings: Painted gypsum board with stained wood crown moldings
- e. Lighting: Decorative LED recessed can lights and decorative LED wall sconces.
- f. Doors: stained solid core wood doors and hollow metal frame with decorative wood trim
 - 1) Hardware: Provide complete hardware package for type of door and space.
- g. Equipment / Fixtures: (All plumbing fixtures to be vitreous china and all faucets to be solid brass body with plated finish.)
 - 1) Toilets: commercial grade toilets (wall mounted) with low flow sensor flush valve
 - 2) Lavatories: commercial grade



- 3) Faucets: commercial grade with low flow sensor
- 4) Floor drains
- 5) Toilet partitions: To be painted moisture resistant gypsum board with 5' high wainscot tile at all walls and stained full louvered doors.
- 6) Toilet Accessories: decorative commercial grade, brushed stainless steel
 - a) Recessed paper towel dispensers
 - b) Recessed waste receptacles
 - c) Recessed toilet paper dispensers
 - d) Recessed sanitary napkin receptacles
 - e) Decorative framed mirrors (ADA compliant)
 - f) Hand Dryers (Dyson Airflow or equal)
 - g) If Shower is added, power for Hair Dryer will be required.

F. 2ST FLOOR – KITCHEN AREA

1. Main Kitchen

- a. Description: Shall have direct access to the Event Area, exterior stairs and an elevator to the 1st floor Kitchen area. Shall have a service counter to the Serving Station. Shall be located near the Bar and Exterior Covered Porch. Shall have the necessary commercial equipment for providing food services for major events (IE: golf tournaments, weddings, business conferences, etc.) and Pub type food services.
- b. Floor: Quarry tile or epoxy floor. Provide required floor drains. Slope floor to drains.
- c. Base: tile base or epoxy base
- d. Walls: The finishes on the walls must be impervious to grease, food particles and water. The finish must be smooth and even. The finished surface of the walls must be easy to clean.
 - 1) Recommended finishes include:
 - a) Epoxy paint on moisture resistant gypsum board
 - b) ceramic tile with epoxy grout
 - c) stainless steel panels with welded joints and sealed fixings
- e. Ceilings: Painted exposed structure above or painted gypsum board or non-porous, moisture resistant, easily cleanable, square vinyl lay-in acoustical tile and grid.
- f. Lighting: moisture resistant LED light fixtures
- g. Doors: painted hollow metal doors and frames
 - 1) Hardware: Provide complete hardware package for type of door and space.
- h. Equipment: Provide the required commercial grade (stainless steel) kitchen equipment to service large and small events. At a minimum, it shall include the following:
 - 1) Grill
 - 2) Fryer



- 3) 3-compartment sink
- 4) Hand sink(s)
- 5) Oven
- 6) Range
- 7) Shelving
- 8) Cabinets
- 9) Tables
- 10) Mixer
- 11) Refrigerators
- 12) Freezers
- 13) Griddle
- 14) Broiler
- 15) Hood with supply and exhaust fans and fire suppression system
- 16) Ice bins
- 17) Ice maker
- 18) Under counter ice chest
- 19) Soda guns
- 20) Racks

- 2. Storage (for Dry foods)
 - a. Floor: Sealed concrete,
 - b. Base: vinyl base, tile base or
 - c. Walls: Epoxy paint gypsum board
 - d. Ceilings: epoxy painted gypsum board or vinyl lay-in acoustical ceiling tiles
 - e. Lighting: LED light fixtures
 - f. Doors: painted hollow metal doors and frames
 - 1) Hardware: Provide complete hardware package for type of door and space.
 - g. Equipment: shelves (by City)

- 3. Janitor (Kitchen area)
 - a. Floor: Sealed concrete or
 - b. Base: Vinyl base
 - c. Walls: 1-hour fire rated, Painted hi-abuse gypsum board or painted masonry
 - d. Ceilings: Open to deck above or Acoustical ceiling tiles and grid.
 - e. Lighting: Industrial LED strip lights
 - f. Doors: painted hollow metal doors and frames
 - 1) Hardware: Provide complete hardware package for type of door and space.
 - g. Equipment:
 - 1) Mop sink (terrazzo). Wall mounted, solid brass body, polished chrome plated, service sink faucet, paddle handles, threaded neck for hose attachment.
 - 2) Open shelving (by Owner)



4. Cold Storage (walk-in refrigerator)
 - a. Floor: Sealed concrete
 - b. Base: manufacture standard
 - c. Walls: manufacture standard
 - d. Ceilings: manufacture standard
 - e. Lighting: LED light fixtures, manufacture standard
 - f. Doors: manufacture standard
 - 1) Hardware: Provide complete hardware package for type of door and space.
 - g. Equipment: Provide manufacture cuts sheets walk-in refrigerator for City to approve.

5. Freezer Storage (walk-in freezer)
 - a. Floor: Sealed concrete,
 - b. Base: manufacture standard
 - c. Walls: manufacture standard
 - d. Ceilings: manufacture standard
 - e. Lighting: LED light fixtures, manufacture standard
 - f. Doors: manufacture standard
 - 1) Hardware: Provide complete hardware package for type of door and space.
 - g. Equipment: Provide manufacture cuts sheets walk-in freezer for City to approve.

6. Walk-in Cooler (for drinks, beer kegs and soda)
 - a. Floor: Sealed concrete,
 - b. Base: manufacture standard
 - c. Walls: manufacture standard
 - d. Ceilings: manufacture standard
 - e. Lighting: LED light fixtures, manufacture standard
 - f. Doors: manufacture standard
 - 1) Hardware: Provide complete hardware package for type of door and space.
 - g. Equipment: Provide manufacture cuts sheets walk-in cooler for City to approve.

7. Serving Station
 - a. Floor: Sealed concrete,
 - b. Base: vinyl base,
 - c. Walls: Epoxy paint gypsum board
 - d. Ceilings: epoxy painted gypsum board or vinyl lay-in acoustical ceiling tiles
 - e. Lighting: LED light fixtures
 - f. Doors: painted hollow metal doors and frames
 - 1) Hardware: Provide complete hardware package for type of door and space.
 - g. Equipment / Furniture:
 - 1) upper and lower cabinets (stainless steel)



- 2) Beer and soda taps.
- 3) counter and backsplash (stainless steel)

8. Elevator #2 (elevator off Kitchen). (See 1ST FLOOR – KITCHEN / STORAGE for Information)

G. 2ST FLOOR – EVENT SPACE

1. Event Area

- a. Description: Shall be located to capture the natural views of the course. Shall have access when Pro Shop is closed. Shall contain a dance floor area and minimum (10) round tables for a seating capacity of a minimum of 200 people. Shall include a Bar service area and buffet tables. Shall have a PA/ Music system and TV's in the Bar area. Shall be able to be separable into a minimum of three smaller rooms with separate access to the Exterior Covered Porch area and the main lobby.
- b. Floor: Upgraded carpet
- c. Base: decorative wood (painted or stained)
- d. Walls: Painted gypsum board with stained wood chair rail and crown molding. Provide a minimum STC 60
- e. Ceilings: Painted gypsum board soffits with decorative moldings and upgraded acoustical ceiling tiles grid. Provide a minimum STC 60
- f. Lighting: a mix of LED can lights and handing pendant lighting
- g. Doors:
 - 1) Interior: stained solid core wood doors and hollow metal frame with decorative wood trim
 - 2) Exterior: decorative impact resistant storefront
 - 3) Hardware: Provide complete hardware package for type of door and space.
- h. Equipment / Furniture:
 - 1) Furniture by owner.
 - 2) Operable partitions. Provide a minimum STC 60
 - 3) Dance Floor
 - 4) Built-in Buffet tables
- i. Acoustics: DBT is responsible the design and construction of acoustically appropriate elements and materials to achieve ideal acoustic properties for this space.

2. Conference Room

- a. Description: Shall be located with access from the Main Lobby and Event space.
- b. Floor: Upgraded carpet
- c. Base: decorative wood (painted or stained)
- d. Walls: Painted gypsum board with stained wood chair rail and crown molding. Provide a minimum STC 60



- e. Ceilings: Painted gypsum board soffits with decorative moldings and upgraded acoustical ceiling tiles grid. Provide a minimum STC 60
- f. Lighting: a mix of LED can lights and handing pendant lighting
- g. Doors: stained solid core wood doors and hollow metal frame
 - 1) Hardware: Provide complete hardware package for type of door and space.
- h. Equipment / Furniture:
 - 1) Furniture by owner.
- j. Acoustics: DBT is responsible the design and construction of acoustically appropriate elements and materials to achieve ideal acoustic properties for this space.

3. Storage Closet

- a. Floor: carpet or match floor of event space (if located adjacent to event space.
- b. Base: vinyl base
- c. Walls: Painted gypsum board
- d. Ceilings: acoustical tile and grid
- e. Lighting: LED lay-in light fixtures
- f. Doors: stained solid core wood doors and hollow metal frames with decorative wood trim on the public side.
 - 1) Hardware: Provide complete hardware package for type of door and space.
- g. Equipment / Furniture:
 - 1) Open shelving (by City). Provide backing in wall.

4. A/V Closet

- a. Floor: carpet or match floor of event space (if located adjacent to event space.
- b. Base: vinyl base
- c. Walls: Painted gypsum board
- d. Ceilings: acoustical tile and grid
- e. Lighting: LED lay-in light fixtures
- f. Doors: stained solid core wood doors and hollow metal frames with decorative wood trim on the public side.
 - 1) Hardware: Provide complete hardware package for type of door and space.
- g. Equipment / Furniture:
 - 1) Audio/ Visual Equipment and Rack (by City). Provide backing in wall.

5. Inside Bar

- a. Floor: Sealed concrete
- b. Base: vinyl base,
- c. Walls: Epoxy paint gypsum board. Walls behind bar to compliment space.



- d. Ceilings: epoxy painted gypsum board or vinyl lay-in acoustical ceiling tiles. Provide decorative soffit over the bar.
- e. Lighting: LED can lights
- f. Doors: none
- g. Equipment / Furniture:
 - 1) Stained wood upper open shelves and lower cabinets,
 - 2) Beer and soda taps.
 - 3) Stainless steel counter with decorative back splash
 - 4) Granite or marble bar top
 - 5) Stained wood decorative bar

H. 2ST FLOOR – EXTERIOR COVERED AREAS

1. Exterior Covered Porch

- a. Description: Shall be located to capture the natural views of the course. Shall have access to the Event Area and the Bar area.
- b. Floor: stained brushed concrete
- c. Base: N/a
- d. Walls: painted stucco or other cladding on masonry walls and aluminum screen enclosure
- e. Ceilings: Painted stucco or other cladding
- f. Lighting: Exterior LED recessed light fixtures
- g. Doors: Provide an aluminum screen doors to exterior stair, if required.
 - 1) Hardware: Provide complete hardware package for type of door and space.
- h. Equipment / Furniture:
 - 1) (+/- 30) Four top tables (by City)
 - 2) Wall or ceiling mounted space heaters
 - 3) Ceiling fans

2. Outside Bar

- a. Floor: stained brushed concrete
- b. Base: To coordinate with the final selection of the flooring material
- c. Walls: painted stucco or cladding on masonry walls.
- d. Ceilings: Painted stucco or cladding
- e. Lighting: Exterior LED recessed light fixtures
- f. Doors: none
- g. Equipment / Furniture:
 - 1) Stainless steel upper open shelves and lower cabinets
 - 2) Beer and soda taps.
 - 3) Stainless steel counter with decorative back splash
 - 4) Granite or marble bar top Stained wood decorative bar or painted stucco to match exterior of building.

3. Exterior Covered Front Porch

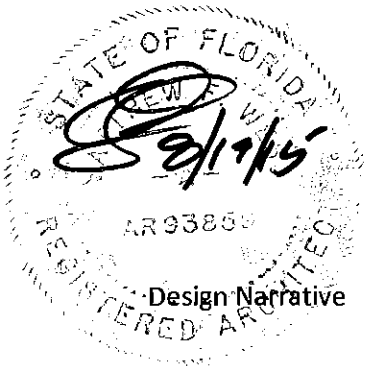
- a. Floor: stained brushed concrete
- b. Base: n/a

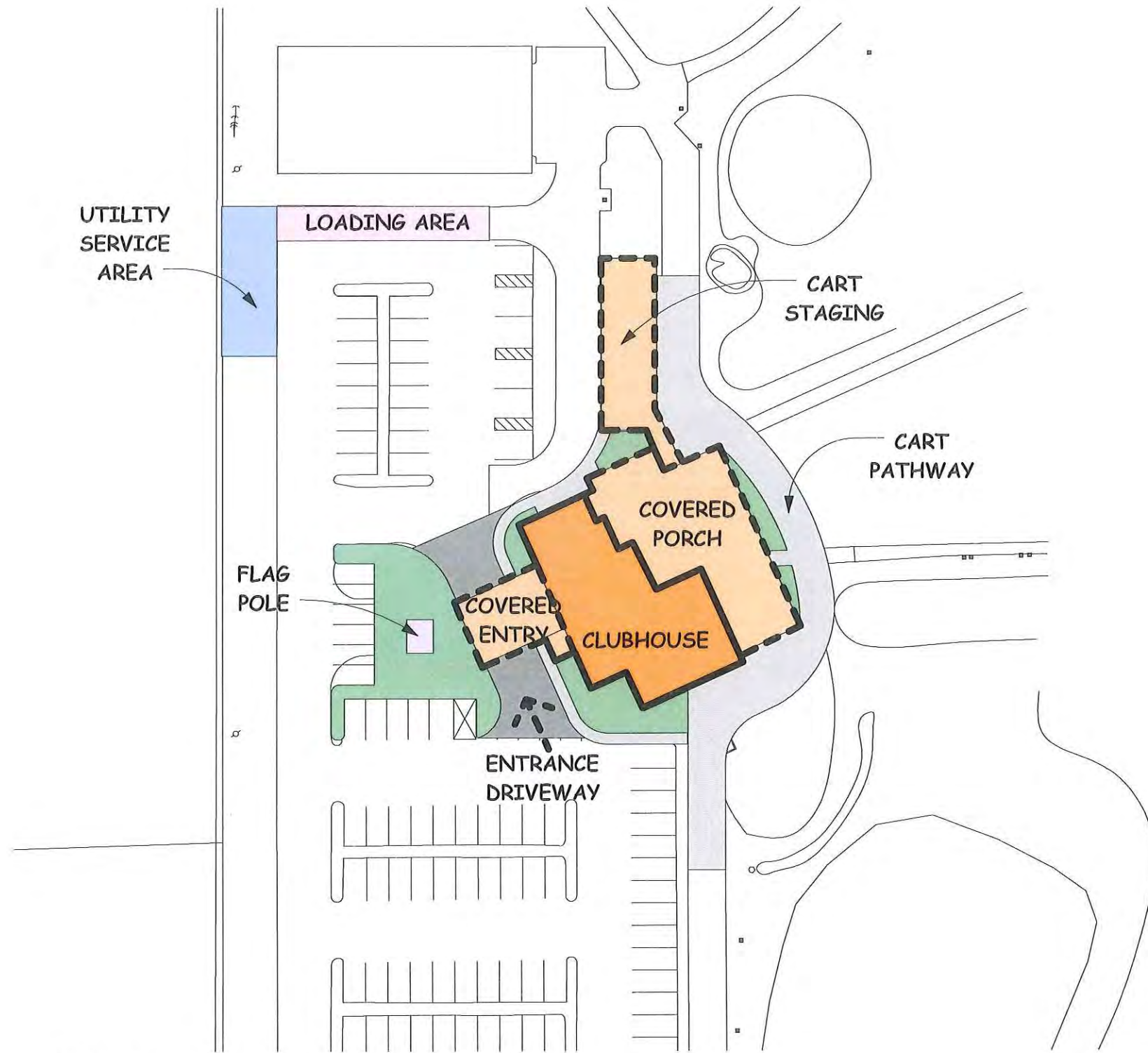


- c. Walls: painted stucco or other cladding on masonry walls and columns
- d. Ceilings: Painted stucco or other cladding
- e. Lighting: Exterior LED recessed light fixtures or pendant light.
- f. Doors: none
- g. Equipment / Furniture: none

4. Exterior Stair

- a. Floor: To match Exterior Cover Porch
- b. Base: N/a
- c. Walls: To match Exterior Cover Porch
- d. Ceilings: Painted stucco
- e. Lighting: Exterior LED recessed light fixtures or decorative wall sconces.
- f. Doors: n/a
- g. Equipment:
 - 1) Pre-finished decorative metal stair with pre-finished decorative metal safeguard and railings. Stair to have non-slip finish on the treads and nosing.





1 SITE SPACE RELATIONSHIP DIAGRAM
 .SR-1.00 1" = 60'-0"



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PALM BEACH GARDENS

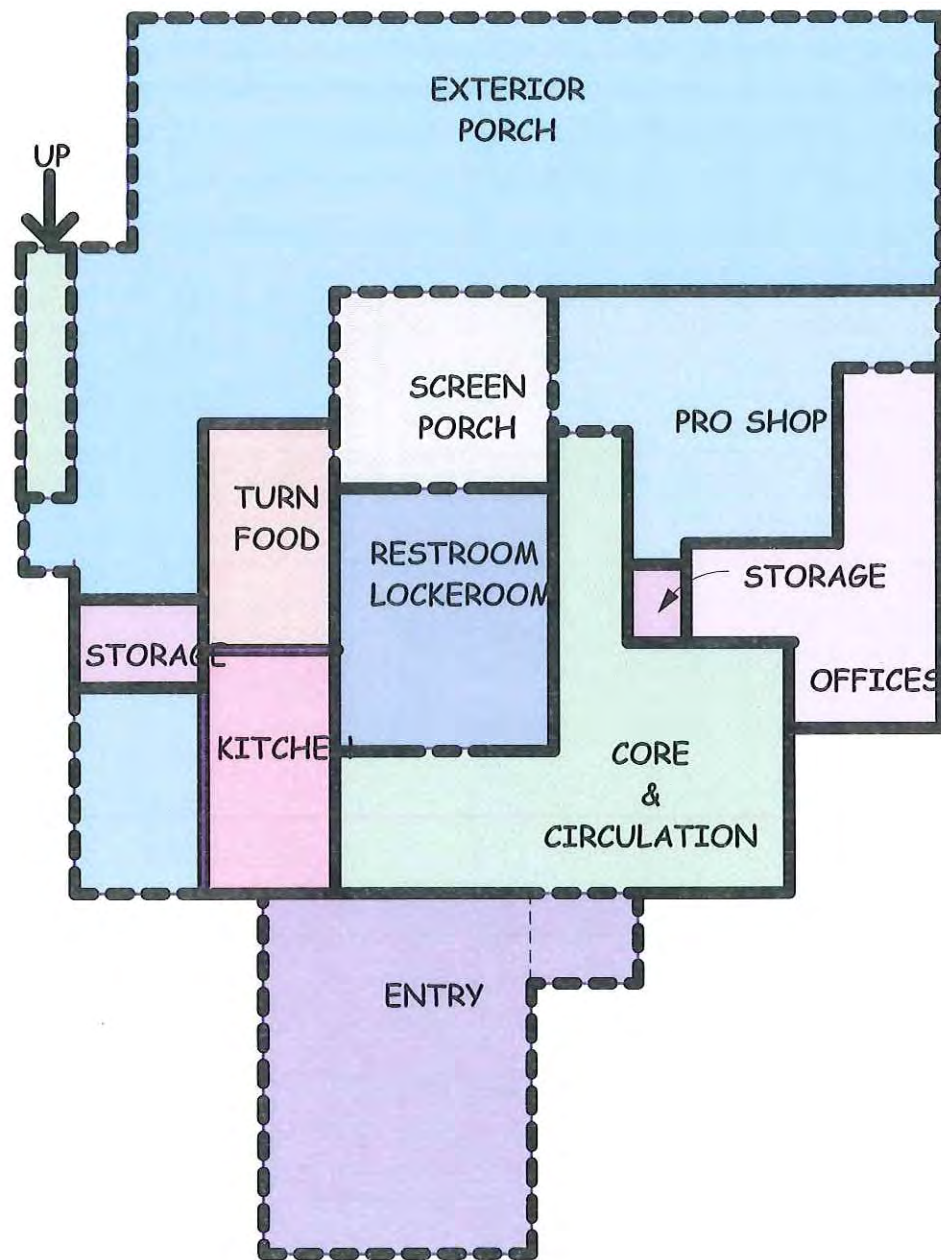
MUNICIPAL GOLF CLUBHOUSE

SITE SPACE RELATIONSHIP DIAGRAM

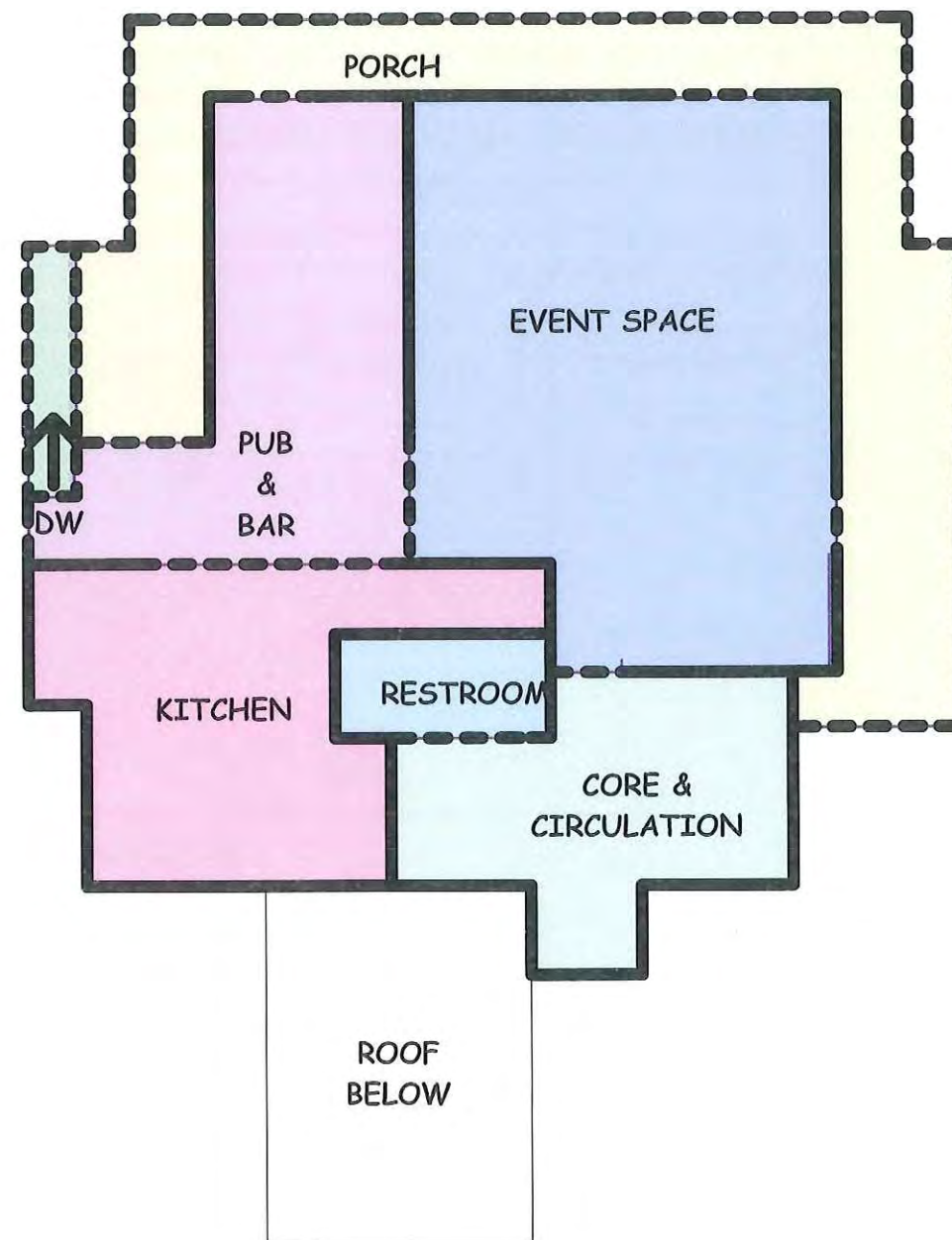
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DATE:	08-19-15
DRAWN:	DA
MANAGED:	PG

.SR-1.00

Scale 1" = 60'-0"



1 SPACE RELATIONSHIP DIAGRAM
FIRST FLOOR PLAN
SR-1.01 3/64" = 1'-0"



2 SPACE RELATIONSHIP DIAGRAM
SECOND FLOOR PLAN
SR-1.01 3/64" = 1'-0"



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08/19/15

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PALM BEACH GARDENS

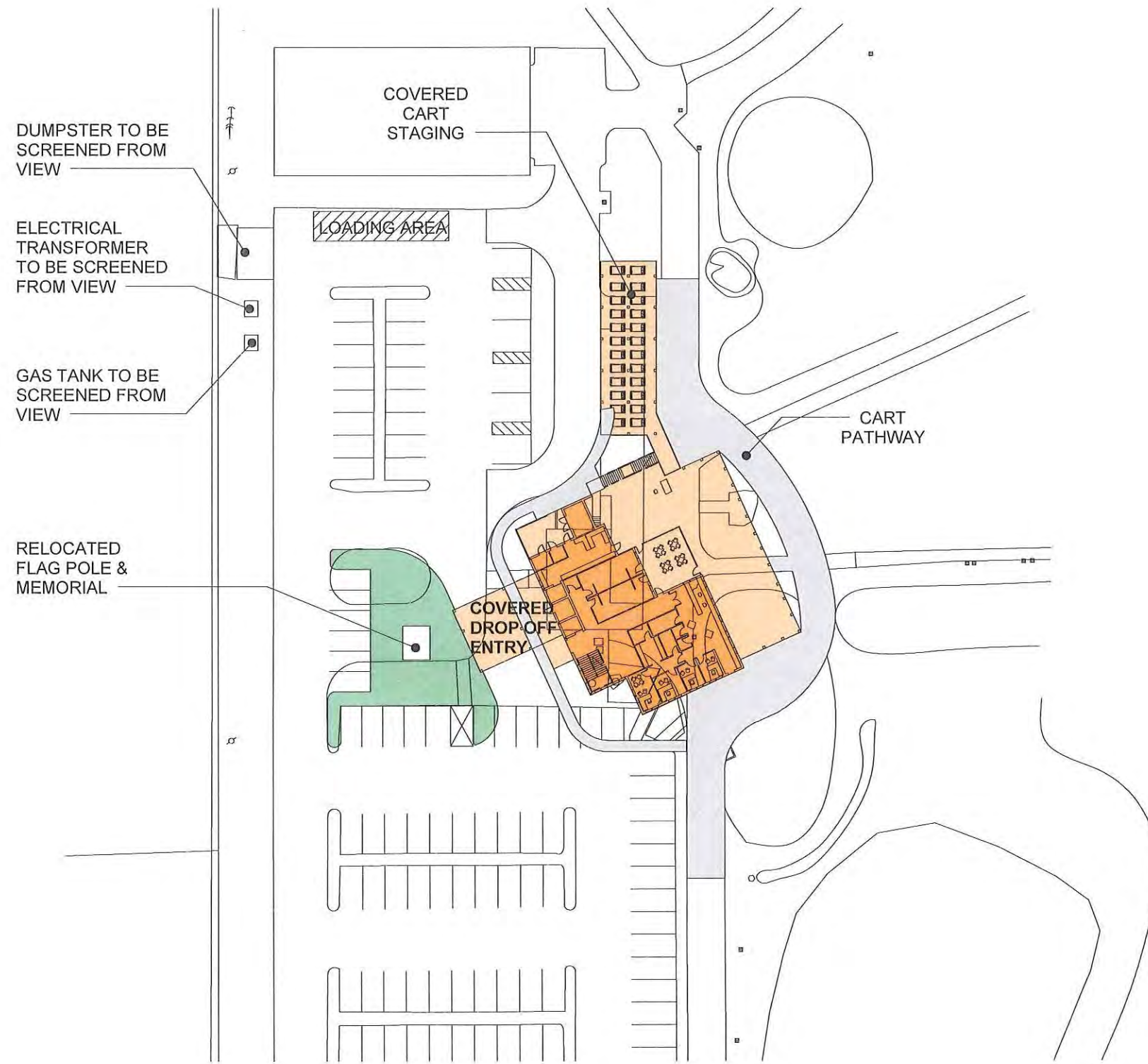
MUNICIPAL GOLF CLUBHOUSE

SPACE RELATIONSHIP DIAGRAMS

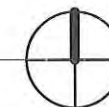
PROJECT # A14-043
DATE: 08-19-15
DRAWN: DA
MANAGED: PG

.SR-1.01

Scale 3/64" = 1'-0"



1 OVERALL SITE PLAN
AS-1.00 1" = 60'-0"



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PALM BEACH GARDENS

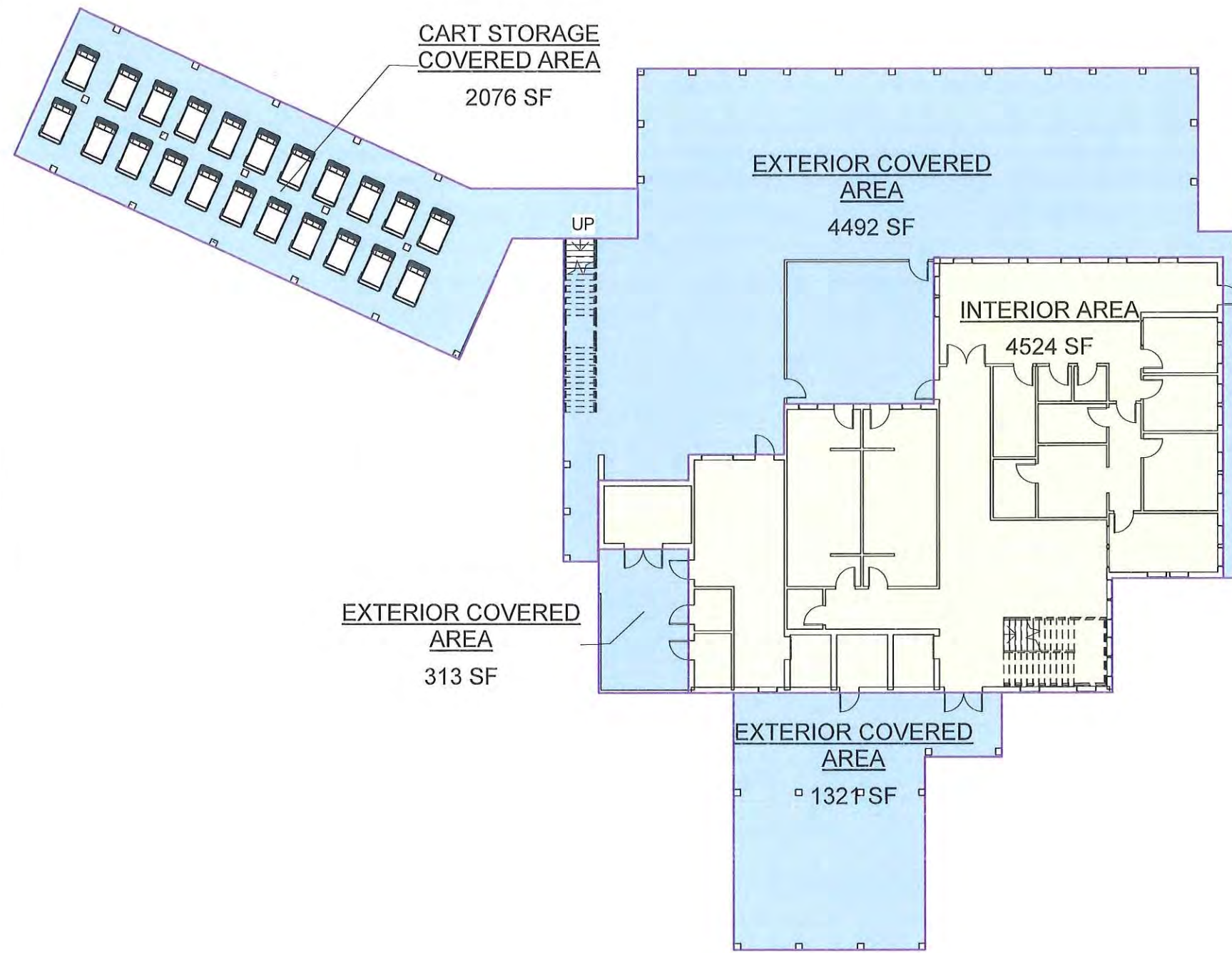
MUNICIPAL GOLF CLUBHOUSE

OVERALL SITE PLAN

PROJECT #	A14-043
DATE:	08-19-15
DRAWN:	DA
MANAGED:	PG

.AS-1.00

Scale 1" = 60'-0"



AREA CHART

	INTERIOR	EXTERIOR	OVERALL
TOTAL SF 1ST. FLOOR	4,524 SF	8,202 SF	12,726 SF.
TOTAL SF 2ND. FLOOR	6,512 SF	2,517 SF	9,029 SF.
TOTAL BUILDING SF.	11,036 SF	10,719 SF	21, 755 SF.

1 FIRST FLOOR AREA PLAN
AS-1.03 3/64" = 1'-0"

2 SECOND FLOOR AREA PLAN
AS-1.03 3/64" = 1'-0"



WEST ARCHITECTURE + DESIGN, LLC

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PALM BEACH GARDENS

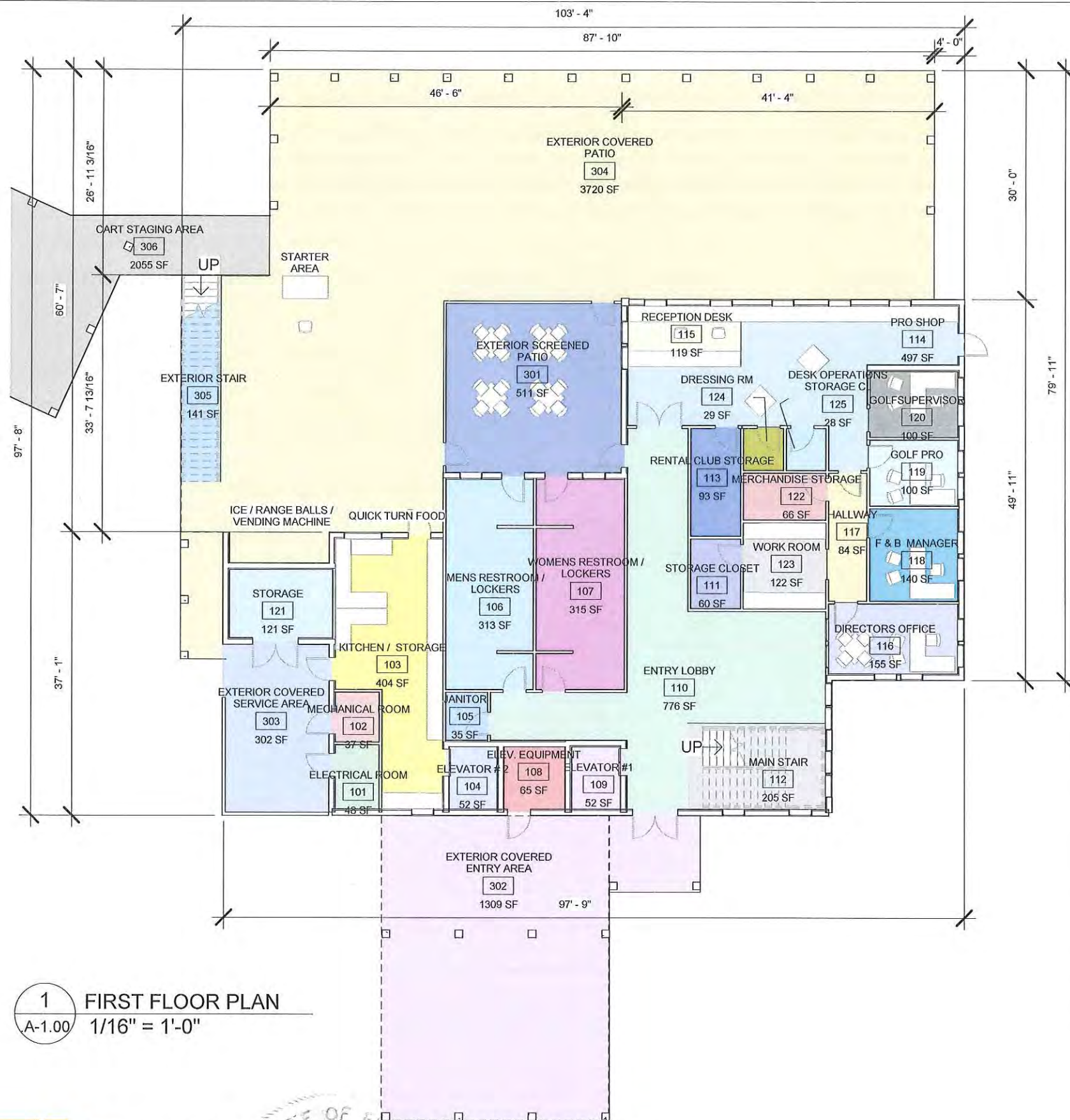
MUNICIPAL GOLF CLUBHOUSE

AREA PLANS

PROJECT #	A14-043
DATE:	08-19-15
DRAWN:	DA
MANAGED:	PG

.AS-1.03

Scale As indicated



1 FIRST FLOOR PLAN
A-1.00 1/16" = 1'-0"

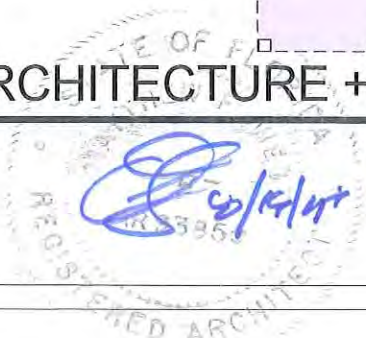
1st FLOOR ROOM SCHEDULE		
101	ELECTRICAL ROOM	48 SF
102	MECHANICAL ROOM	37 SF
103	KITCHEN / STORAGE	404 SF
104	ELEVATOR # 2	52 SF
105	JANITOR	35 SF
106	MENS RESTROOM / LOCKERS	313 SF
107	WOMENS RESTROOM / LOCKERS	315 SF
108	ELEV. EQUIPMENT	65 SF
109	ELEVATOR #1	52 SF
110	ENTRY LOBBY	776 SF
111	STORAGE CLOSET	60 SF
112	MAIN STAIR	205 SF
113	RENTAL CLUB STORAGE	93 SF
114	PRO SHOP	497 SF
115	RECEPTION DESK	119 SF
116	DIRECTORS OFFICE	155 SF
117	HALLWAY	84 SF
118	F & B MANAGER	140 SF
119	GOLF PRO	100 SF
120	GOLFSUPERVISOR	100 SF
121	STORAGE	121 SF
122	MERCHANDISE STORAGE	66 SF
123	WORK ROOM	122 SF
124	DRESSING RM	29 SF
125	DESK OPERATIONS STORAGE CL	28 SF

1st FLOOR EXTERIOR COVERED AREAS		
301	EXTERIOR SCREENED PATIO	511 SF
302	EXTERIOR COVERED ENTRY AREA	1309 SF
303	EXTERIOR COVERED SERVICE AREA	302 SF
304	EXTERIOR COVERED PATIO	3720 SF
305	EXTERIOR STAIR	141 SF
306	CART STAGING AREA	2055 SF



WEST ARCHITECTURE + DESIGN, LLC

MATTHEW F. WEST
AR 93859



318 SOUTH DIXIE HIGHWAY SUITE 4-5
LAKE WORTH FL 33460
T 561-588-2027 F 561-582-9419

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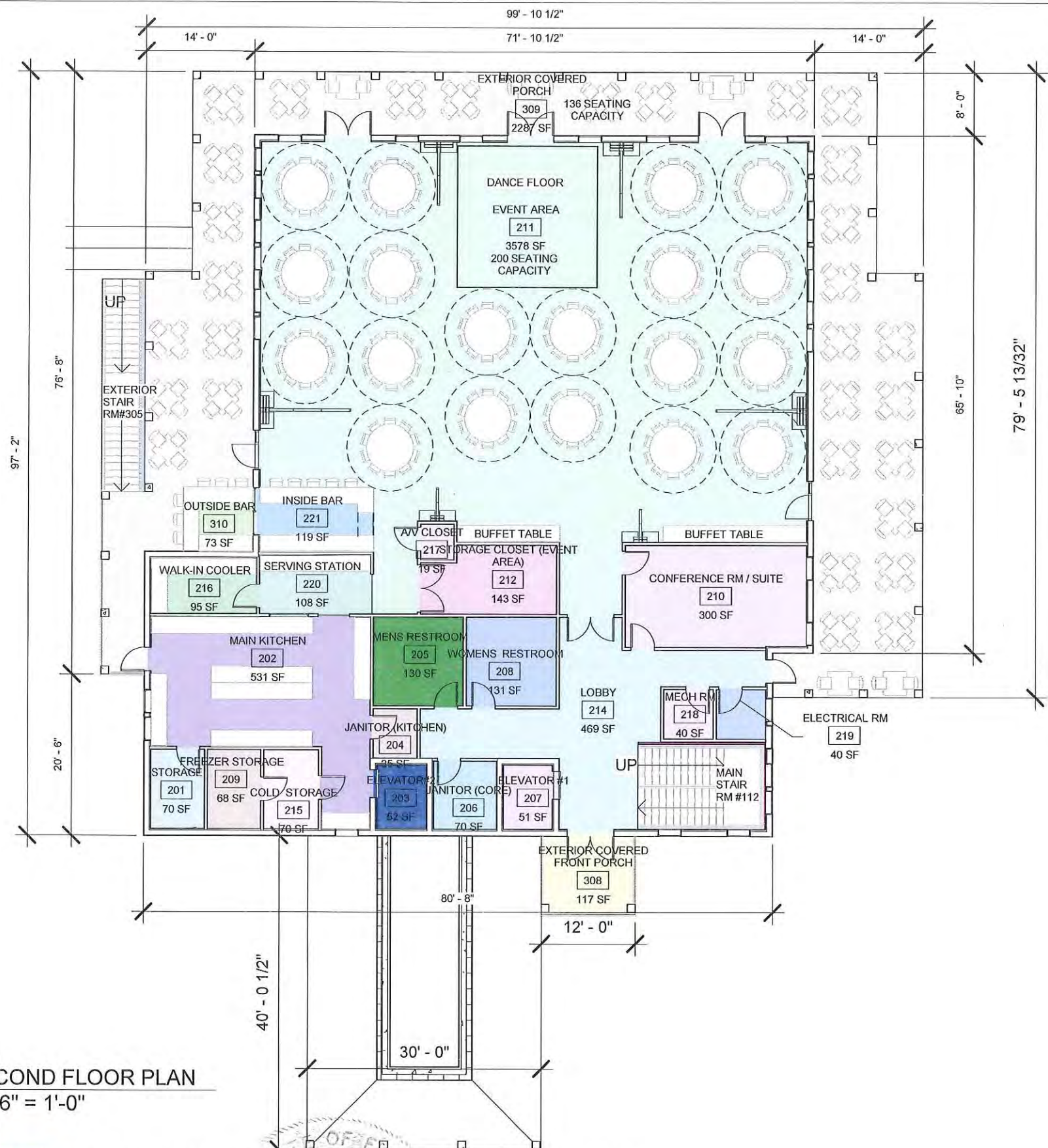
PALM BEACH GARDENS
MUNICIPAL GOLF CLUBHOUSE

FIRST FLOOR PLAN

PROJECT # A14-043
DATE: 08-19-15
DRAWN: DA
MANAGED: PG

.A-1.00

Scale 1/16" = 1'-0"



2nd FLOOR ROOM SCHEDULE		
201	STORAGE	70 SF
202	MAIN KITCHEN	531 SF
203	ELEVATOR#2	52 SF
204	JANITOR (KITCHEN)	35 SF
205	MENS RESTROOM	130 SF
206	JANITOR (CORE)	70 SF
207	ELEVATOR #1	51 SF
208	WOMENS RESTROOM	131 SF
209	FREEZER STORAGE	68 SF
210	CONFERENCE RM / SUITE	300 SF
211	EVENT AREA	3578 SF
212	STORAGE CLOSET (EVENT AREA)	143 SF
213	MAIN SRTAIR	182 SF
214	LOBBY	469 SF
215	COLD STORAGE	70 SF
216	WALK-IN COOLER	95 SF
217	AV CLOSET	19 SF
218	MECH RM	40 SF
219	ELECTRICAL RM	40 SF
220	SERVING STATION	108 SF
221	INSIDE BAR	119 SF

2nd FLOOR EXTERIOR COVERED AREAS		
308	EXTERIOR COVERED FRONT PORCH	117 SF
309	EXTERIOR COVERED PORCH	2287 SF
310	OUTSIDE BAR	73 SF
311	EXTERIOR STAIR	150 SF

1 SECOND FLOOR PLAN
A-1.01 1/16" = 1'-0"



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PALM BEACH GARDENS
MUNICIPAL GOLF CLUBHOUSE

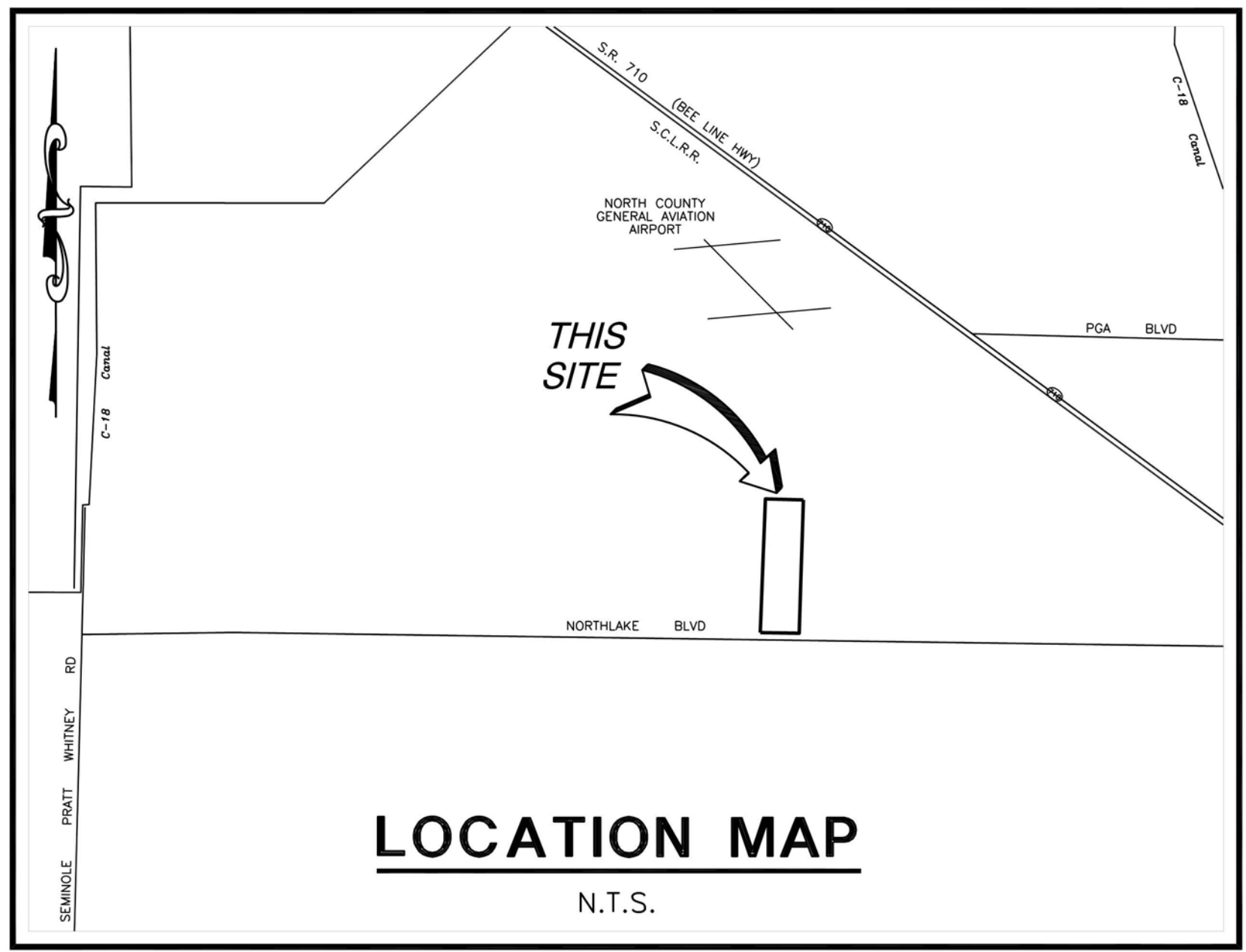
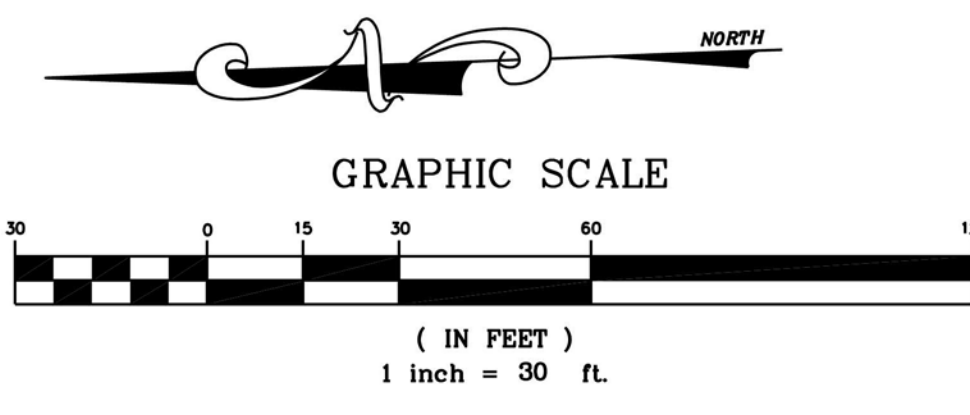
SECOND FLOOR PLAN

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MANAGED:	PG	
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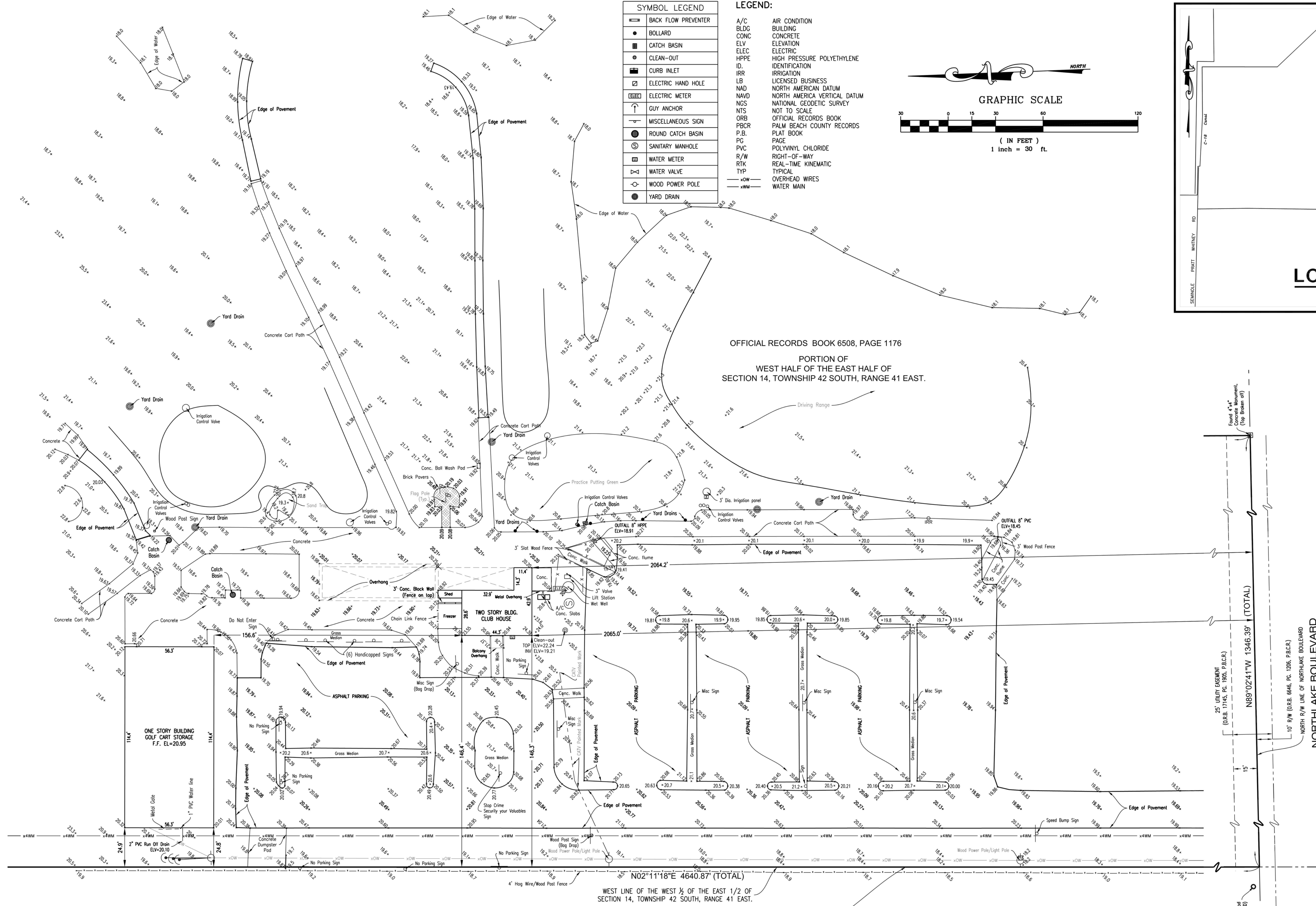
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SYMBOL LEGEND	
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[Symbol]	BOLLARD
[Symbol]	CATCH BASIN
[Symbol]	CLEAN-OUT
[Symbol]	CURB INLET
[Symbol]	ELECTRIC HAND HOLE
[Symbol]	ELECTRIC METER
[Symbol]	GUY ANCHOR
[Symbol]	MISCELLANEOUS SIGN
[Symbol]	ROUND CATCH BASIN
[Symbol]	SANITARY MANHOLE
[Symbol]	WATER METER
[Symbol]	WATER VALVE
[Symbol]	WOOD POWER POLE
[Symbol]	YARD DRAIN

LEGEND:	
A/C	AIR CONDITION
BLDG	BUILDING
CONC	CONCRETE
ELV	ELEVATION
ELEC	ELECTRIC
HPPE	HIGH PRESSURE POLYETHYLENE
ID.	IDENTIFICATION
IRR	IRRIGATION
LB	LICENSED BUSINESS
NAD	NORTH AMERICAN DATUM
NAV	NORTH AMERICAN VERTICAL DATUM
NOS	NATIONAL GEODETIC SURVEY
NTS	NOT TO SCALE
ORB	OFFICIAL RECORDS BOOK
PBCR	PALM BEACH COUNTY RECORDS
P.B.	PLAT BOOK
PG	PAGE
PVC	POLYVINYL CHLORIDE
R/W	RIGHT-OF-WAY
RTK	REAL-TIME KINEMATIC
TYP	TYPICAL
-xOW	OVERHEAD WIRES
-xWM	WATER MAIN



OFFICIAL RECORDS BOOK 6508, PAGE 1176
 PORTION OF
 WEST HALF OF THE EAST HALF OF
 SECTION 14, TOWNSHIP 42 SOUTH, RANGE 41 EAST.



LEGAL DESCRIPTION:
 THE WEST 1/2 OF THE EAST 1/2 OF SECTION 14, TOWNSHIP 42 SOUTH, RANGE 41 EAST, LESS THE SOUTH 687.82 FEET, PALM BEACH COUNTY, FLORIDA.
 ALSO LESS AND EXCEPT THEREFROM:
 THE NORTH 10.00 FEET OF THE SOUTH 697.82 FEET OF THE WEST 1/2 OF THE EAST 1/2 OF SECTION 14, TOWNSHIP 42 SOUTH, RANGE 41 EAST, PALM BEACH COUNTY, FLORIDA.

- SURVEYORS NOTES:**
- THE SURVEY DEPICTED HEREON IS CLASSIFIED AS A TOPOGRAPHIC SURVEY AS DEFINED IN SECTION 53-17.05(10)(4), FLORIDA ADMINISTRATIVE CODE PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES.
 - NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. THIS SURVEY, AS SHOWN HEREON, HAS BEEN PREPARED FOR THE EXCLUSIVE BENEFIT AND USE OF THE CLIENT NAMED HEREON, AND IS NOT INTENDED FOR ANY REUSE WITHOUT THE WRITTEN CONSENT BY THIS SURVEYOR OF RECORD.
 - ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
 - THE HORIZONTAL ACCURACY FOR THE SURVEY CONTROL DATA IS CLASSIFIED AS SUBURBAN: LINEAR: AS DEFINED IN SECTION 53-17.05(15)(6)(i) AND EXCEEDS THE REQUIREMENT OF 1 FOOT IN 7,500 FEET.
 - ALL MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE UNITED STATES STANDARD, FEET. ALL DISTANCES SHOWN HEREON ARE IN U.S. FEET AND PORTIONS THEREOF.
 - THE REVISION BOX DEPICTS DATE AND REVISION TO THE DRAWING FOR ANY GRAPHIC REVISIONS AND DOES NOT CHANGE THE DATE OF THE ORIGINAL SURVEY.
 - ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AND ARE BASED ON THE FOLLOWING BENCHMARKS:

BENCH MARK OF ORIGIN: EASTING (A PUBLISHED PALM BEACH COUNTY BENCHMARK)
 ELEVATION: 21.089 FEET NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88)
 DESCRIPTION: TO REACH THE STATION FROM THE INTERSECTION OF NORTHLAKE BOULEVARD AND S.R. 710 (BEE LINE HIGHWAY), GO WEST ON NORTHLAKE BOULEVARD FOR 3.7 MILES TO THE STATION ON THE LEFT. THE STATION IS LOCATED IN THE TOP OF A CURB INLET ON THE SOUTH SIDE OF NORTHLAKE BOULEVARD 0.4 FOOT EAST OF THE WEST END OF THE CURB INLET, 14.7 FEET NORTH-NORTHWEST OF THE NORTHWEST FACE OF THE FIRST WOODEN POWER POLE WEST OF IBI, NORTHEAST OF A RADIO TOWER, 54 FEET WEST OF THE WEST EDGE OF PAVEMENT TO THE ENTRANCE ROAD TO MEMORIAL GARDENS AND FUNERAL CHAPEL TO THE NORTH. THE STATION IS A P.B.C. BRASS DISK STAMPED "EASTING".

BENCH MARK OF ORIGIN: KINGSLEY (A PUBLISHED PALM BEACH COUNTY BENCHMARK)
 ELEVATION: 21.029 FEET NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88)
 DESCRIPTION: TO REACH THE STATION FROM THE INTERSECTION OF NORTHLAKE BOULEVARD AND S.R. 710 (BEE LINE HIGHWAY), GO WEST ON NORTHLAKE BOULEVARD FOR 4.7 MILES TO THE STATION ON THE RIGHT. (ALSO LOCATED 0.5 MILE EAST OF COCONUT BOULEVARD). THE STATION IS LOCATED IN THE WEST END OF A CURB INLET, 70 FEET WEST OF AN EAST-WEST POWER LINE. THE STATION IS A P.B.C. BRASS DISK STAMPED "KINGSLEY".

- THE TOPOGRAPHIC FEATURES INTENDED TO BE DEPICTED ON THIS MAP ARE NATURAL AND MANMADE FEATURES WITHIN THE LIMITS OF THIS SURVEY. UNDERGROUND UTILITIES AND BUILDING FOUNDATIONS WERE NOT LOCATED WITH THIS SURVEY.
- THE LEVELING FOR THE PROJECT WAS PERFORMED IN ACCORDANCE WITH THE FEDERAL GEODETIC CONTROL SUBCOMMITTEE STANDARD FOR THIRD-ORDER, CLASS II GEODETIC LEVELING. THE EXPECTED ACCURACY FOR ALL LEVEL RUNS FOR THIS PROJECT IS THIRD-ORDER-CLASS II. THIS ACCURACY STANDARD WAS VERIFIED BY APPLYING THE FOLLOWING FORMULA FOR CHECKING ALL LEVEL RUNS: 0.05 TIMES THE SQUARE ROOT OF THE LENGTH OF THE LEVEL RUN IN MILES. ALL LEVEL RUNS FOR THIS PROJECT MET OR EXCEEDED THE EXPECTED ACCURACY STANDARD.
- BEARINGS HEREON ARE BASED ON THE PLAT OF OSPREY ISLES, A PUD, AS RECORDED IN PLAT BOOK 101, PAGES 72-77, PALM BEACH COUNTY PUBLIC RECORDS.
- LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THE SURVEYOR FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD.
- THE SUBJECT PROPERTY, AS SHOWN HEREON, MAY BE SUBJECT TO ANY EXISTING RIGHT-OF-WAY, RESTRICTIONS, AND SETBACK LINES WHETHER OR NOT THEY MAY BE SHOWN HEREON, OR WHETHER OR NOT INSTRUMENT IS RECORDED IN THE PUBLIC RECORDS.
- THE LEGAL DESCRIPTION SHOWN HEREON PER WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 6508, PAGE 1176 AND RIGHT-OF-WAY WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 6646, PAGE 1206, BOTH OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.
- SURVEY DATE: DATE OF LAST FIELD WORK: 03-07-15.

CERTIFIED TO:
 CITY OF PALM BEACH GARDENS, FLORIDA.

SURVEYOR'S CERTIFICATE:
 I HEREBY CERTIFY: THAT THIS "TOPOGRAPHIC SURVEY" OF THE PROPERTY DESCRIBED HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY SUPERVISION. THIS SKETCH COMPLES WITH THE "STANDARDS OF PRACTICE" SET FORTH BY THE FLORIDA STATE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 53-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES.

CALVIN, GIORDANO & ASSOCIATES, INC.

SIGNED: DAVID E. ROHAL
 PROFESSIONAL SURVEYOR AND MAPPER NO. 154315
 STATE OF FLORIDA

NO	DATE	REVISION	BY	NO	DATE	REVISION	BY

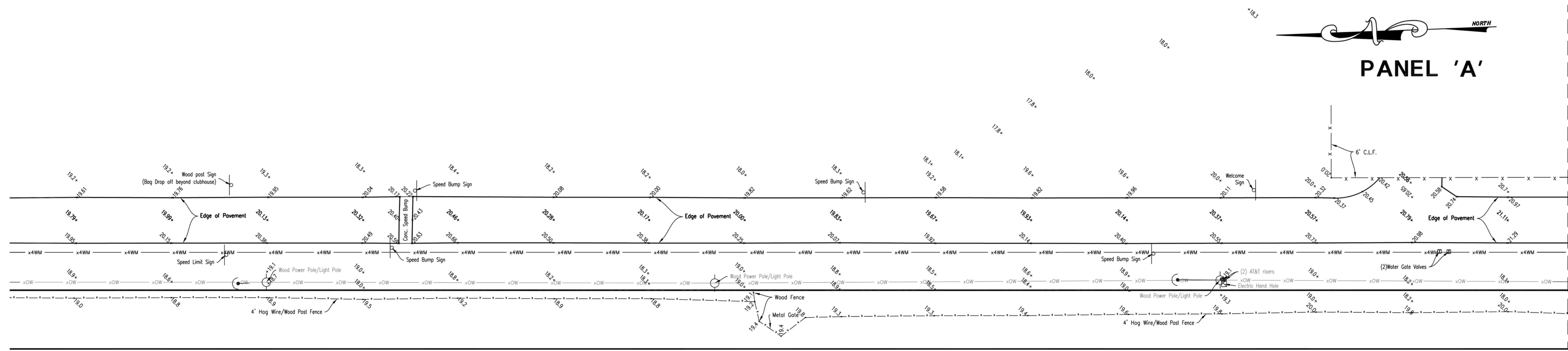
DESIGNED RF 03-09-15
 DATE
 DRAWN GYC 03-09-15
 DATE
 CHECKED der 03-09-15
 DATE

Calvin, Giordano & Associates, Inc.
 EXCEPTIONAL SOLUTIONS™
 560 Village Boulevard • Suite 340 • West Palm Beach, FL 33409
 Phone: 561.684.6161 • Fax: 561.684.6360
 Certificate of Authorization 6791

**PORTION OF W 1/2, of E 1/2 SECTION 14-42-41
 PALM BEACH GARDENS MUNICIPAL GOLF COURSE
 PALM BEACH COUNTY, FLORIDA**

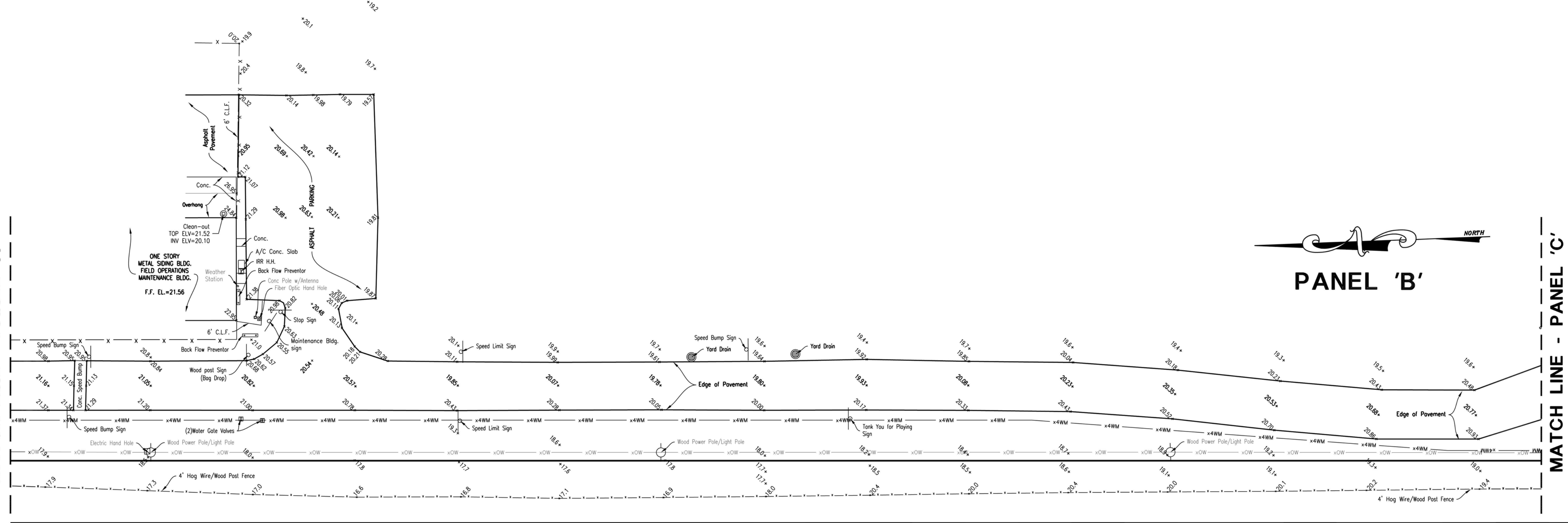
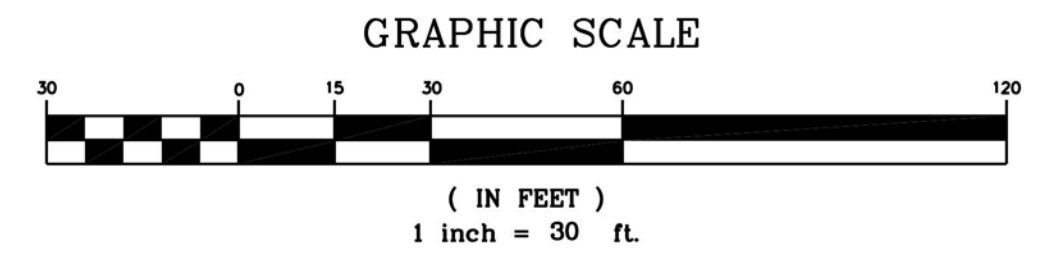
TOPOGRAPHIC SURVEY

SCALE: 1" = 30'	SHEET: 1
PROJECT NO: 07-1032-67	
CAD FILE	



PANEL 'A'

MATCH LINE - PANEL 'B'



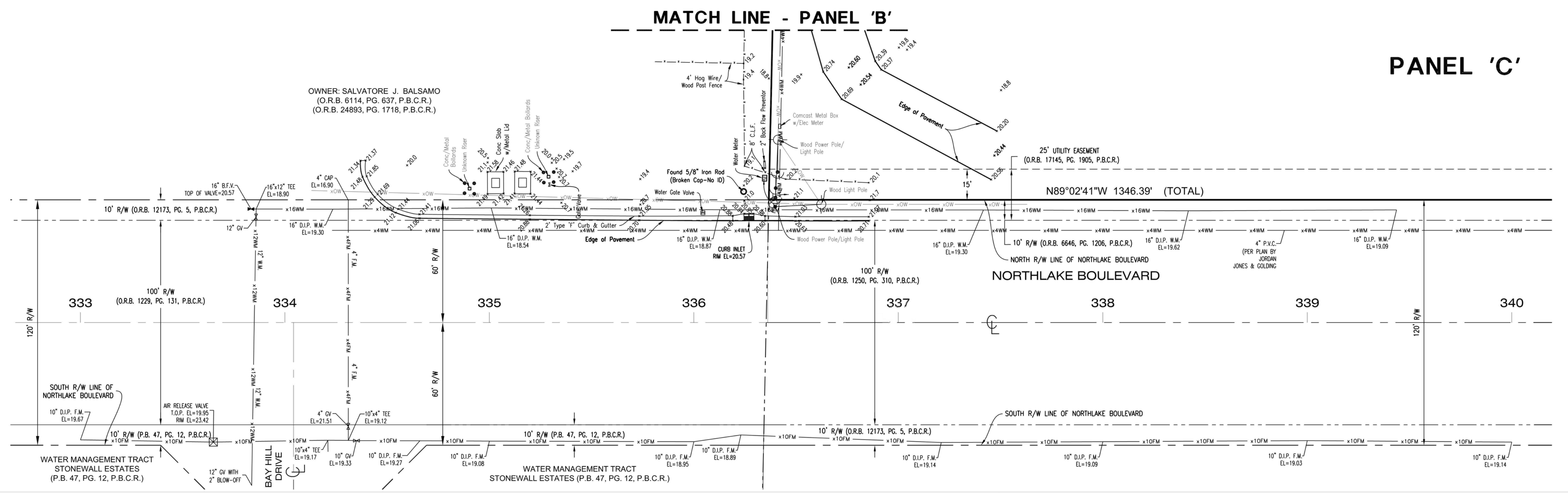
PANEL 'B'

MATCH LINE - PANEL 'A'

MATCH LINE - PANEL 'C'

SYMBOL LEGEND	
[Symbol]	BACK FLOW PREVENTER
[Symbol]	BOLLARD
[Symbol]	CATCH BASIN
[Symbol]	CLEAN-OUT
[Symbol]	CURB INLET
[Symbol]	ELECTRIC HAND HOLE
[Symbol]	ELECTRIC METER
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[Symbol]	WATER VALVE
[Symbol]	WOOD POWER POLE
[Symbol]	YARD DRAIN

LEGEND:	
A/C	AIR CONDITION
BLDG	BUILDING
CONC	CONCRETE
DIP	DUCTILE IRON PIPE
ELEV	ELEVATION
ELEC	ELECTRIC
FM	FORCE MAIN
GV	GATE VALVE
HPPE	HIGH PRESSURE POLYETHYLENE
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ORB	OFFICIAL RECORDS BOOK
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P.B.	PLAT BOOK
PG	PAGE
PVC	POLYVINYL CHLORIDE
R/W	RIGHT-OF-WAY
RTK	REAL-TIME KINEMATIC
TYP	TYPICAL
xOW	OVERHEAD WIRES
xWM	WATER MAIN



PANEL 'C'

MATCH LINE - PANEL 'B'



Geotechnical Engineering Report

PALM BEACH GARDENS GOLF COURSE

PROPOSED CLUB HOUSE

Palm Beach Gardens, Florida

March 17, 2015

Project No. HD155020



Prepared for:

City of Palm Beach Gardens
10500 N. Military Trail
Palm Beach Gardens, FL 33410

Prepared by:

Dunkelberger Engineering & Testing, Inc.
A Terracon Company
West Palm Beach, Florida

DUNKELBERGER
engineering & testing, inc.

A Terracon COMPANY

March 17, 2015

City of Palm Beach Gardens
10500 N. Military Trail
Palm Beach Gardens, FL 33410

Attn: Ms. Ansley Marr, P.E.
Email: amarr@pbgfl.com

Re: Geotechnical Engineering Report
**Palm Beach Gardens Golf Course
Proposed Club House**
11401 Northlake Boulevard
Palm Beach Gardens, Florida
Terracon Project No.: HD155020

Dear Ms. Marr:

Dunkelberger Engineering & Testing, Inc. A Terracon Company (Dunkelberger) has completed geotechnical engineering services for the above referenced project. This study was performed in accordance with our Proposal dated January 22, 2015.

This report presents the findings of the subsurface exploration and provides geotechnical recommendations concerning the proposed club house building.

We appreciate the opportunity to be of service to you on this project. If you have any questions concerning this report, or if we may be of further service, please contact us.

Sincerely,
Dunkelberger Engineering & Testing, Inc.
A Terracon Company

Daniel J. Marieni, P.E.
Staff Engineer
FL Registration No. 78629

Kevin E. Aubry, P.E.
Geotechnical Services Manager
FL Registration No. 38175



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Geotechnical Engineering Report

Palm Beach Gardens Golf Course ■ Proposed Club House

March 17, 2015 ■ Project No. HD155020

DUNKELBERGER
engineering & testing, inc.

A Terracon COMPANY

EXECUTIVE SUMMARY

Subsurface exploration disclosed the site to be mostly underlain by clean, silty and clayey sands. These soils are chiefly in a medium dense condition within the limits explored. Groundwater was found at depths of 3.4 to 4.2 feet beneath the ground surface.

The site is considered suitable for the planned construction when viewed from a geotechnical engineering perspective. Following site preparation activities and in-situ densification of the surface soils by vibratory compaction conducted from the stripped grade, the structure may be supported on shallow spread foundations designed for an allowable bearing pressure of 4,000 pounds per square foot and employ a slab-on-grade for the ground floor.

This summary should be used in conjunction with the entire report for design purposes. It should be recognized that some details were not included or fully developed in this section. Therefore, the report should be read in its entirety to gain a comprehensive understanding of the issues presented herein. The section entitled **General Comments** should be read for an understanding of the report limitations.

**GEOTECHNICAL ENGINEERING REPORT
PALM BEACH GARDENS GOLF CLUB
PROPOSED CLUB HOUSE
Palm Beach Gardens, Florida**

Project No. HD155020

March 17, 2015

1.0 INTRODUCTION

Dunkelberger Engineering & Testing, Inc., a Terracon Company, has completed a subsurface study in connection with the new club house that is planned at the Palm Beach Gardens Golf Club located at 11401 Northlake Boulevard. The study involved drilling and sampling of borings to define the subsurface conditions of the site and development of recommendations for foundation design and related construction. Results of the study are presented herein.

2.0 PROJECT INFORMATION

The project will involve the design and construction of a new two story club house to replace that which now exists at the site. Planning for the project is in a preliminary stage and information concerning the building size, composition of construction and framing loads is not available. For foundation evaluation purposes, we have assumed that the building components will be of reinforced concrete and unit masonry composition and that wall and column loadings will not exceed 10 kips per foot and 250 kips, respectively.

Improvements to the existing parking lot will be made and likely consist of milling and overlays of asphalt concrete wearing courses and localized reconfiguration of landscape islands.

3.0 SITE DESCRIPTION

The site of the proposed construction now supports a two story club house with an elongated entry canopy on the north side, asphalt roadways, concrete pathways and a large at grade vehicular parking lot surfaced with flexible paving. Terrain throughout the area is flat and featureless.

4.0 SUBSURFACE CONDITIONS

4.1 Soil Survey Maps

The U.S. Department of Agriculture – Soil Conservation Service (SCS) of Palm Beach County Area, Florida, issued 1978, maps were reviewed for the project area. The maps indicate the

project limits to be underlain by Riviera sand, depressional. Riviera sand, depressional is a nearly level, poorly drained soil with a loamy subsoil found in shallow, well defined depressions. The soil is covered with up to 2 feet of water for at least 6 months out of the year.

It should be noted that the Soil Survey is not intended as a substitute for site-specific geotechnical exploration; rather it is a useful tool in planning a project scope in that it provides information on soil types likely to be found.

4.2 Field Exploration

Subsurface conditions at the site were explored with seven borings arranged as shown on the Boring Location Plan, Sheet 1. Those completed in the proposed building area were drilled to depths in the range of 20 to 30 feet below grade. Borings drilled in the parking lot were extended to 10 feet. The borings were drilled utilizing a Central Mine Equipment Model 45B (CME 45B) drilling rig.

Soil samples were recovered from the borings using a standard split-barrel driven with a 140-pound hammer falling 30 inches (the SPT after ASTM D 1586) employing continuous sampling techniques to 10 feet below surface grades, and 5 feet on center thereafter. The boreholes were backfilled with sand and gravel.

Samples of the subsurface materials recovered from the borings were returned to our laboratory where they were visually examined in the laboratory using the Visual-Manual Method (ASTM D 2488), and classified using the Unified Soil Classification System (ASTM D 2487). Profiles of the borings, including their soil types and SPT data are shown on Sheet 2.

4.3 Pavement

Concrete pavement thicknesses varied from 4 to 4.75 inches. Flexible pavement sections consisted of asphalt wearing courses some 2.25 to 3 inches thick overlying nine inches of aggregate base course.

4.4 Stratigraphy

Beneath the pavement areas, the borings found interlayered clean, silty and clayey sands that persist to about 28 feet below grade. A formation of weakly cemented sand and shell (coquina) follows and continues to the terminal depths of exploration. The soils are medium dense to locally very dense except near 20 feet where they are very loose.

4.5 Groundwater

Groundwater levels were measured in the borings when the free water surface was initially intercepted. The depth to the water table varied from 3.4 to 4.3 feet beneath the surface grades

when the borings were drilled (February 24 and 25, 2015). The variations in water table depth are attributed to differences in the ground surface elevations from which the borings were drilled in as much as the phreatic surface should be comparatively flat across the area. Fluctuations in the water table position both above and below levels that were measured in the borings should be anticipated in response to rainfall, drainage and other factors. Groundwater depths and dates of measurement are shown on Sheet 2 adjacent to the respective subsurface profile.

5.0 LABORATORY TESTING

5.1 Index Properties

Representative samples recovered from the borings were tested for moisture content (ASTM D 2216) and grain-size distribution (ASTM D 422). The test results are summarized in the following table.

Table 1 – Summary of Index Property Test Results

Boring No.	Stratum No.	Depth (feet)	MC (%)	Amount Passing Sieve Size (%)						
				No.4	No.10	No.20	No.40	No.60	No.100	No.200
TB-1	1	0.3 – 2.0	16.2	100	100	99.8	97.3	86.7	44.2	5.9
TB-4	1	1.0 – 2.0	13.0	100	100	99.5	92.0	66.3	28.7	11.0
TB-3	2	6.0 – 7.5	15.9	-	-	-	-	-	-	3.9

The laboratory testing results indicate that the percent passing the No. 200 Sieve (i.e. percent fines) was between 6 and 11 percent for the two samples collected from Stratum 1, indicating the samples are slightly clayey sand. The Stratum 2 sample has a fines content of about 4 percent, indicating relatively clean sand.

5.2 Carbonates

Samples of the aggregate base materials recovered from Borings TB-5 and TB-6 were tested for their percentage of calcium and magnesium carbonates content using ASTM D 4373. The carbonates contents of the samples were 61.8 and 61.9 percent, respectively. The materials have the appearance of shell rock for which the FDOT “Standard Specification for Roads and Bridges” prescribes a minimum carbonates content of 50 percent when used as a base course.

6.0 GEOTECHNICAL EVALUATION

Results of this study confirms that the site is suitable for the proposed construction when viewed from a geotechnical engineering perspective. The new club house may be supported on shallow spread footings and employ a slab-on-grade for the ground floor.

7.0 DISCUSSIONS AND RECOMMENDATIONS

7.1 Clearing, Grubbing and Stripping

Clearing, grubbing and stripping of the building area should be performed at the outset of construction. These activities should include the complete removal and disposal of slabs, asphalt, timber, brush, stumps, roots, rubbish, debris and obstructions resting on or protruding through the surface of the existing ground and surfaces of excavated areas. Areas receiving fill and/or structures should be plowed to a depth of at least 12 inches. All existing debris and roots greater than 1 inch in diameter or high concentrations of smaller diameter roots exposed by plowing should be removed to a depth of not less than 12 inches.

Surface soils containing organic matter and the root systems of the existing vegetation should be stripped and either wasted off-site or stockpiled for future landscaping use.

The site preparation activities should be closely monitored to detect any remnants of the structure that formerly existed such as foundations and buried utilities. These features should be removed and their alignments trimmed to neat lines and grades to accept motorized earthwork machinery that will be needed for in-situ densification and controlled filling with approved material.

7.2 Proof Rolling

The surficial soils of the new building area should be proof rolled to produce a uniform condition of relative density. The proof rolling should be conducted from the stripped grade or proposed subgrade (whichever is lower in elevation) using a self-propelled vibratory compactor that imparts a dynamic drum force of not less than 44,000 pounds. The compactor should be operated at its maximum vibrational frequency and travel at a speed of no more than 1.5 miles per hour (normal walking speed). Rolling should continue until no further settlement can be visually discerned at the subgrade surface. In no case should any section of subgrade receive less than ten (10) roller passes, with five (5) in a longitudinal direction and five (5) in a transverse direction.

Subgrades should be closely observed during the rolling operations to detect signs of instability such as pumping, weaving and shoving. Instability of this type will likely indicate that weak and compressible soils exist within the influence depth of the roller. Correction of this condition should include excavation of the weak soils followed by replacement with well compacted granular fill.

Density control should be exercised in the upper 12 inches of the proof rolled subgrade soils. These materials should be compacted to at least 95 percent of the ASTM D 1557 maximum dry density.

7.3 Building Pad Fill

Structural fill required for the building pad should consist of sands or sand-gravel mixtures (ASTM D 2487) with a maximum size of 1 inch, not more than 2 percent organic matter and not more than 10 percent passing the U.S. Standard No. 200 sieve. Soils with Unified Soil Classification System group symbols of SP and SP-SM will meet these requirements. The structural fill should be placed in thin lifts (12-inch thick loose measure), have a moisture content within 2 percent of the optimum for compaction, and be uniformly compacted to a firm and stable condition to at least 95 percent of the ASTM D 1557 maximum dry density.

7.4 Foundation Design and Construction

Following implementation of the procedures described earlier in the report, the structure may be supported on shallow spread foundations that are based in the improved profile components and designed for a net allowable bearing pressure of 4,000 pounds per square foot (psf). To provide an adequate factor of safety against a shearing failure in the subsoils: (1) all foundations should be based not less than 18 inches below the lowest adjacent grade, (2) continuous footings should be at least 24 inches wide and (3) isolated footings should have a width not less than 36 inches.

The recommended bearing pressure refers to dead plus normal live loads and reflects a net increase in pressure over and above that due to the overburden soils. A 25 percent increase in the bearing pressure is permissible for total loads, including those due to wind forces.

Foundations subjected to lateral forces will resist those forces throughout earth pressure mobilized on the vertical faces of the footings located at right angles to the direction of load application and shearing forces acting at the footing-subgrade interface. Earth pressure resistance may be determined using an equivalent fluid pressure of 180 pounds per square foot per foot (psf/ft) for granular soils above the water table and 90 psf/ft for submerged granular soils. Base shearing resistance may be computed using a coefficient of friction of 0.35. The design of the footings against sliding should include a factor of safety of not less than 1.5.

Individual footing areas should be excavated, formed, and maintained in a dry condition until placement of the substructure concrete. The excavation bottoms should be tamped with a hand-held or walk-behind compactor prior to placement of reinforcing steel. The compactive effort should achieve a relative compaction of 95 percent (ASTM D 1557) for a minimum depth of 12 inches below the excavation bottom.

Foundations designed and constructed in the recommended manner are estimated to sustain a maximum total settlement of one inch provided the wall and column loads for the structure do not exceed those presented earlier in the report. Differential settlements that occur between adjacent foundations are not expected to exceed one-half inch. Angular distortions along wall

footings due to differential settlement should not be more than 1 in 1000. Because the subsurface materials of the site are granular in texture, foundation settlements should occur as rapidly as the loads are applied and be nearly complete by the end of the construction period.

7.5 Slabs-on-Grade

Slab-on-grade construction may be used for the ground floor of the structure. The slab concrete should be cast upon granular engineered fill compacted to 95 percent of the ASTM D 1557 maximum dry density. If the design employs elastic methods to account for point loads, a modulus of subgrade reaction of 150 pounds per cubic inch (pci) should be used for the supporting soils when well compacted.

An impervious membrane should be installed between the underside of the floor slabs and the soil substrate to serve as a barrier to moisture rise from the subgrade. Ordinarily, a 10-mil thick film of polyethylene is sufficient for this purpose. Should the contemplated floor coverings be particularly sensitive to moisture flux, however, a thicker membrane and/or one of alternative composition may be needed.

8.0 GENERAL COMMENTS

Dunkelberger should be retained to review the final design plans and specifications to assure the proper interpretation and implementation of our geotechnical recommendations in these documents. It should be recognized that observation and testing services will be needed for quality assurance during grading, excavation, proof rolling, foundation construction and other related construction phases of the project.

The recommendations and professional advice provided in this report are based upon the data obtained from the borings performed at the indicated locations and from other information discussed in this report. This report does not reflect variations that may occur between borings, across the site, or due to the modifying effects of construction or weather. The nature and extent of such variations may not become evident until, during or after construction. If variations appear, we should be immediately notified so that further evaluation and supplemental recommendations can be provided if necessary.

The scope of services for this project did not include either specifically or by implication any environmental or biological (e.g. mold, fungi, bacteria) assessment of the site or identification of pollutants, hazardous materials or conditions. If the owner is concerned about the potential for such contamination or pollution, other studies should be undertaken.

This report has been prepared for the exclusive use of our client for specific application to the project discussed herein and has been prepared in accordance with generally accepted geotechnical engineering practices. No warranties, either expressed or implied, are intended or

Geotechnical Engineering Report

Palm Beach Gardens Golf Course ■ Proposed Club House

March 17, 2015 ■ Project No. HD155020

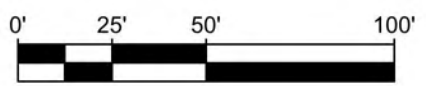
DUNKELBERGER
engineering & testing, inc.

A Terracon COMPANY


made. Site safety, excavation support, and dewatering requirements are the responsibility of others. In the event that changes in the nature, design or location of the project as outlined in this report are planned, the conclusions and recommendations contained in this report shall not be considered valid unless Terracon reviews the changes and either verifies or modifies the conclusions of this report in writing.



SOURCE: GOOGLE EARTH PRO



LEGEND

 - STANDARD PENETRATION TEST BORING LOCATION AND NUMBER

Locations are approximate.

DRAWN	JJ
CHECKED	DM
APPROVED	TT
SCALE	SEE SCALE BAR
REVISED	

BORING LOCATION PLAN PALM BEACH GARDENS GOLF CLUB PROPOSED CLUB HOUSE PALM BEACH GARDENS, FLORIDA			
DUNKELBERGER engineering & testing, inc. <small>A Terracon COMPANY</small>			
DATE	3-10-15	PROJ. NO.	HD155020
		SHEET	1

BORING NO.

TB-1

TB-2

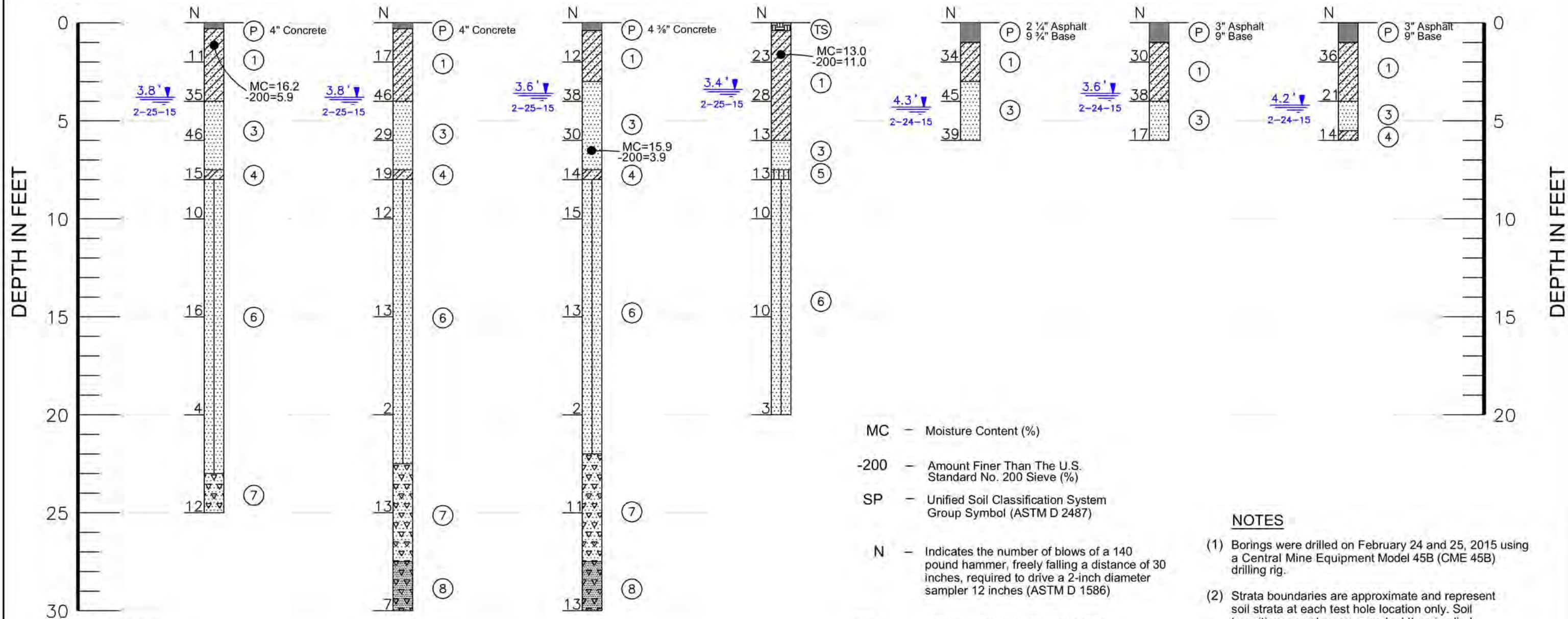
TB-3

TB-4

TB-5

TB-6

TB-7



LEGEND

- Concrete pavement or Asphaltic concrete pavement over shellrock base course (PAVEMENT)
- Brown to dark brown fine SAND, some grass, roots and gravel, some organic matter (TOPSOIL)
- Light brown to brown fine to medium SAND, some clayey sand lenses, some lenses with shell fragments and limerock gravel (SP, SP-SC, SC)
- Dark brown slightly silty fine SAND, organic stain, some small roots (SP-SM)
- Light brown to light gray fine to medium SAND (SP)

- Gray to brown clayey SAND (SC)
- Light gray silty to clayey SAND, some gravel sized cemented sand and shell fragments (SM, SC)
- Gray to brown fine to medium SAND, slightly silty (SP-SM)
- Gray slightly silty to silty fine SAND, some shell fragments (SP-SM, SM)
- Gray cemented sand and shell (COQUINA)

MC - Moisture Content (%)

-200 - Amount Finer Than The U.S. Standard No. 200 Sieve (%)

SP - Unified Soil Classification System Group Symbol (ASTM D 2487)

N - Indicates the number of blows of a 140 pound hammer, freely falling a distance of 30 inches, required to drive a 2-inch diameter sampler 12 inches (ASTM D 1586)

TB-1 - Standard Penetration Test (SPT) boring and number

- Depth of groundwater (feet) & date measured

NOTES

- (1) Borings were drilled on February 24 and 25, 2015 using a Central Mine Equipment Model 45B (CME 45B) drilling rig.
- (2) Strata boundaries are approximate and represent soil strata at each test hole location only. Soil transitions may be more gradual than implied.
- (3) Groundwater depths shown on the subsurface profiles represent groundwater surfaces on the dates shown. Groundwater level fluctuations should be anticipated throughout the year.

DRAWN	JJ
CHECKED	DM
APPROVED	TT
SCALE	1" = 5'
REVISED	

SUBSURFACE PROFILES		
PALM BEACH GARDENS GOLF CLUB PROPOSED CLUB HOUSE PALM BEACH GARDENS, FLORIDA		
DUNKELBERGER engineering & testing, inc. A Terracon COMPANY		
DATE	3-17-15	PROJ. NO. HD155020
		SHEET 2



CURSORY STRUCTURAL CONDITION ASSESSMENT/ STRUCTURAL DESIGN ANALYSIS

**PBG Municipal Golf Building
Palm Beach Gardens, FL
Project No.: 592.008**

February 22, 2015

321 LA Kirksey Street • Suite 200, West Palm Beach, FL 33401
Phone: (561) 835-9994 | Fax: (561) 835-0184
www.onmj.net

**PBG MUNICIPAL GOLF BUILDING
PALM BEACH GARDENS, FL
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- II. Project Description
- III. Executive Summary
- IV. General Observations
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 - B. Mezzanine Framing System
 - C. Ground Floor Framing System
 - D. Exterior Wall Framing System
 - E. Building Lateral Resisting System
- VI. General Notes
- VII. Photo Exhibits

I. SCOPE

Pursuant to your request, we performed a visual site visit review and design analysis on the Municipal Golf Building located at 11401 Northlake Blvd., Palm Beach Gardens, FL.

The purpose of the investigation was to perform a cursory structural condition assessment of the building and to evaluate the overall condition of the property. The inspection methods used to formulate our conclusions were based on a visual review of the exterior / interior of the building. In addition, a cursory design analysis was performed to determine what repairs / modifications will be required to bring the overall structure up to current code (Florida Building Code, 2010 Edition). This design analysis will provide us with additional information to make a determination as to feasibility of upgrading the existing building structure. The design analysis used to formulate our conclusions was based on a plan review of limited structural / architectural drawings.

Limited design construction documents were made available for review. No destructive testing of materials / components undertaken. Our evaluation is based only on visual examination of the areas, which were opened on the date of our visit.

II. PROJECT DESCRIPTION

The existing golf building is a two-story structure of approximately 2,500 square feet constructed in the early 1990s.

The foundation consists of reinforced concrete, isolated spread footings supporting structural wood and tubular steel columns at the exterior perimeter with monolithic footings supporting the exterior masonry walls. Isolated reinforced concrete spread footings support the interior structural wood columns. The floor slab is a 4" thick concrete slab with welded wire fabric reinforcement on 6 mil vapor barrier on treated compacted soil.

The mezzanine floor system consists of 1" thick plywood decking on 15" deep pre-engineered, pre-manufactured wood truss joists. The exterior balcony deck framing system consists of 2" x 6" wood decking on 2" x 10" wood floor joists.

The exterior walls are painted, stucco clad, 8" masonry block walls on the lower level, and painted horizontal wood siding on 5/8" exterior plywood sheathing/insulated 2" x 4" wood framed walls at the upper level.

The roof framing system of the main clubhouse consists of standing seam galvanized metal roof cladding, insulation, 5/8" thick plywood sheathing on 2" x 12" / 3" x 12" wood rafters and 4" x 14" wood beams. The roof over the covered balcony deck is constructed of standing seam galvanized metal roof cladding, 5/8" thick plywood sheathing on pre-engineered, pre-manufactured wood trusses.

An open metal framed golf cart storage area is present on the north elevation of the building.

Asphalt paved parking areas are provided on the south and north elevations of the clubhouse building.

III. EXECUTIVE SUMMARY

The cursory design investigation revealed that the "PBG Municipal Golf Building structure will require extensive repairs/modifications to upgrade to current building codes (The Florida Building Code, 2010 Edition). The existing wood structure will not withstand the current hurricane wind load requirements without the upgrades that have been recommended in the report.

In addition, the windows and doors do not meet the current wind load requirements. The exterior openings are very susceptible to blow-out causing additional instability to the overall structure.

We recommend that the wood building be replaced versus repaired due to the extensive amount of structural retrofit that will be required if the building is to remain for future expansion/renovation. The Florida Building Code 2010 Existing Building will mandate that the entire building (new and existing) be upgraded to current code for any major future expansion/renovation. This upgrade will not only include the structure, but also all other building systems (mechanical, electrical, plumbing, life safety, accessibility, etc.) The Building Department having jurisdiction should be consultant on this upgrade issue. These structural/architectural upgrades to retrofit the existing structure are expensive and may be cost prohibitive. A preliminary cost estimate to repair the structure to meet current code is approximately \$190/SF. We also recommend that your insurance carrier be consultant on any cost savings for a new concrete/steel frame building versus the existing wood framed building.

IV GENERAL OBSERVATIONS

A. EXTERIOR:

North Elevation: (Exhibits 3, 20)

1. Painted upper level wood siding satisfactory – no structural defects apparent.
2. Painted stucco clad concrete / masonry walls in satisfactory condition – no structural defects apparent.
3. Painted aluminum / glass windows in satisfactory condition – Note: Hurricane shutter tracks in place.
4. Metal framed open golf cart storage framing in satisfactory condition – no structural deficiencies observed.
5. Wood picket balcony railing observed to be in satisfactory condition. Some warping / minor checking of members noted.

East Elevation: (Exhibit 5)

1. Painted peak roof, fascia wood truss / wood plank siding in satisfactory condition – no structural defects noted.
2. Painted wood siding at lower level in acceptable condition – Note: Hurricane shutter tracks in place.

South Elevation: (Exhibit 4)

1. Painted upper level wood siding satisfactory – no structural defects apparent.
2. Painted stucco clad concrete / masonry walls in satisfactory condition – no structural defects apparent.
3. Painted aluminum / glass windows in satisfactory condition – Note: Hurricane shutter tracks in place.
4. Wood picket balcony railing observed to be in satisfactory condition. Some warping / minor checking of members noted.

West Elevation: (Exhibit 2)

1. Painted upper level wood siding satisfactory – no structural defects apparent.
2. Painted stucco clad concrete / masonry walls in satisfactory condition – no structural defects apparent.
3. Painted aluminum / glass windows in satisfactory condition – Note: Hurricane shutter tracks in place.
4. Wood framed balcony over main entrance observed to be in satisfactory condition.
5. Wood / glass front entry doors in acceptable condition.

Roof Cladding: (Exhibits 2-5, 20)

1. The painted standing seam galvanized metal roof on the entire building was observed at all elevations to be in satisfactory condition.
2. The roof eave rain gutters and rain leaders were noted to be in satisfactory condition.

IV GENERAL OBSERVATIONS

3. The wood roof soffit framing, wood outlookers, wood planking and wood fascia board were noted to be in satisfactory condition – no structural defect observed.

B. INTERIOR:

Roof Framing: (Exhibits 7-12 and 16-19)

1. The gable roof framing system for the main roof of the clubhouse consists of 5/8" textured plywood (T1-11) siding on 2" x 12" wood rafters pitched at 8/12. All structural wood framing is painted pressure treated, connections fastened with metal connectors. All of the observed areas of the main roof framing system were found to be in satisfactory structural condition, consistent with the available structural drawings except for the hanger supports.
2. The gable roof framing system of the east covered deck, consisting of pre-engineered, pre-manufactured wood trusses pitched at 5/12 slope were observed to be satisfactory structural condition, consistent with the available structural documents, no structural deficiencies apparent.
3. A minor split (check) was observed in two different 2x12 wood rafters.

Mezzanine (Upper Level) Framing: (Exhibit 6)

1. The structural framing system of the mezzanine floor consists of 1" plywood floor sheathing on pre-engineered, pre-manufactured 15" deep wood truss joists. The framing system and its components were observed to be consistent with the available structural drawings, with no apparent structural deficiencies noted.
2. The structural floor framing system of the balcony covered deck consists of 2" x 6" wood decking on 2" x 10" wood floor joists. The floor framing system and its components were observed to be satisfactory structural condition, consistent with the available structural documents.

Ground Floor Framing:

1. No direct observations of the ground floor framing were possible. A review of the available structural drawings indicates the following:
 - a. A 4" reinforced concrete slab with a layer of welded wire fabric on a vapor barrier on well compacted subgrade.
 - b. Exterior un-reinforced masonry walls supported on reinforced continuous monolithic footing.
 - c. Exterior steel and wood columns are supported on individual reinforced concrete spread footings.
 - d. Interior wood columns are supported on individual reinforced concrete footings.

Exterior Wall Framing System: (Exhibits 13-15 and 20)

1. The lower section of the exterior wall framing system is constructed with stucco clad, un-reinforced masonry block. No apparent structural deficiencies observed. The wall framing was consistent with the available structural drawings.
2. The upper sections of the exterior wall framing system consisting of painted 1" x 6" wood lap board horizontal siding, vapor barrier, 5/8" plywood wall sheathing, insulation, and 2" x 4" wood stud framing was observed to be in satisfactory structural condition, no structural deficiencies observed. The wall framing system was found to be consistent with the available structural drawings except for the amount of nail fasteners.

V. DESIGN INVESTIGATION

The purpose of this cursory investigation was to perform a load analysis on the building structure to determine what repairs / modifications will be required to bring the overall structure up to current code (Florida Building Code, 2010 Edition). The design analysis will provide us with additional information to make a determination as to the feasibility of upgrading the existing building structure. The design analysis, used to formulate our conclusions, was based on a plan review of the original architectural / structural drawings dated October 30, 1990 by Adeeb Architects and Environmental Planners (Sheets S1, S2, S3 and A1, A2, A3, and A5).

A. ROOF FRAMING SYSTEM:

1. Description: 2" x 12" wood roof rafters 24" on center - 8/12 pitch for main building.

Comments: Rafters structurally inadequate for gravity and uplift wind loads (25% overstressed) per the current Florida Building Code (FBC). In addition, a horizontal thrust load is being applied to the exterior wood wall making the overall roof/wall structure unstable.

Repair: Additional rafters are required to be fastened to existing. In addition, horizontal collar tie backs required at intervals to reduce lateral thrust loads to walls.
2. Description: 2"x12" wood rafter to rafter connections for main building.

Comments: Existing hangers with 16d common nails are structural adequate to support gravity.

Repair: None
3. Description: 2"x12" wood rafter to stud wall connections for main building.

Comments: Existing Hughes strap with 16d common nails are structurally inadequate to support uplift/lateral wind loads (100% overstressed).

Repair: Replace light gage straps with steel plate angles/thru bolts.
4. Description: 5/8" plywood exterior roof sheathing. (8/12 pitch) for main building.

Comments: The 5/8" plywood sheathing is structurally adequate to resist current gravity loads, but inadequate to resist the current uplift wind loads per the current FBC.

Repair: Re-nailing with 8d ring shank nails to provided 4" on-center spacing at the edges and 6" on-center at the field for main building roof.

V. DESIGN INVESTIGATION

5. Description: Pre-engineered, pre-manufactured wood roof trusses at 24" on center with 5/12 pitch for exterior deck.

Comments: Specialty Engineer responsible for the design of wood trusses was to design trusses and submit signed and sealed calculations. No structural calculations provided on the structural drawings to verify the design of pre-engineered wood trusses (gable end). There has been a significant increase in the roof uplift loads in the current code.

Repair: Due to the significant increase in uplift loads, it can be concluded that the pre-engineered wood trusses/connections/bracing are not structurally adequate for current uplift lateral loads.

6. Description: 5/8" plywood exterior roof sheathing. (5/12 pitch) for exterior deck.

Comments: The 5/8" plywood sheathing is structurally adequate to resist current gravity loads, but inadequate to resist the current uplift wind loads per the current FBC.

Repair: Re-nailing with 8d ring shank nails to provided 4" on-center spacing at the edges and 6" on-center at the field for deck roof.

B. MEZZANINE FRAMING SYSTEM:

1. Description: Pre-engineered, pre-manufactured 15" wood truss joists at 24" on-center (interior).

Comments: 15" wood truss joists are structurally adequate to resist gravity loads.

Repair: None

2. Description: 1" plywood deck sheathing (interior).

Comments: 1" plywood deck sheathing is structurally adequate for gravity loads, but not for diaphragm action.

Repair: Re-nail with 8d Ring Shank nails to provide 6" o.c. spacing at edges and 12" o.c. at intermediate supports required for diaphragm action.

V. DESIGN INVESTIGATION

3. Description: 2" x 10" floor joists at 16" on-center (exterior).

Comments: Structurally inadequate (60-70% overstressed) to resist gravity loads.

Repair: Recommend adding 2-2x10" wood floor joists @ 16" o.c.

4. Description: 2" x 6" wood plank decking (exterior).

Comments: 2" x 6" wood plank decking is structurally adequate.

Repair: None.

C. GROUND FLOOR FRAMING SYSTEM:

1. Description: 4" x 4" x 0.185" rectangular tube columns.

Comments: 4" x 4" x 0.185" rectangular tube columns are structurally adequate.

Repair: None.

2. Description: 6" x 6" wood post columns.

Comments: 6" x 6" wood post columns are structurally adequate.

Repair: None.

3. Description: Continuous reinforced concrete monolithic footing for exterior wall support, and reinforced concrete interior/exterior spread column footings.

Comments: Continuous reinforced concrete monolithic footing and reinforced concrete interior/exterior spread column footings are adequate for bearing. Foundations assumed designed for soil bearing pressure of 2500 psf. Geotechnical Engineer to verify soil bearing pressure.

Repair: None.

V. DESIGN INVESTIGATION

4. Description: 4" concrete slab on grade.

Comments: Typical reinforced 4" concrete slab-on-grade is structurally adequate.

Repair: None

D. EXTERIOR WALL FRAMING SYSTEM:

1. Description: 8" un-reinforced concrete block walls (CMU) on 1st floor.

Comments: Exterior 8" un-reinforced concrete block walls are not structurally adequate for component and cladding wind pressures (lateral loads) per the current FBC.

Repair: Exterior CMU walls will require vertical reinforcement (#5 at 48" on-center). The existing CMU cell will be cut open, #5 reinforcement drill and dowelled into the existing concrete footing and bond beam. Fill cell to be poured solid with coarse grout.

2. Description: 2" x 4" wood stud framing, exterior 1" x 6" lap board siding and 5/8" plywood sheathing on the 2nd floor.

Comments: Exterior wood stud framing wall system is not structurally adequate for component and cladding wind pressures (uplift/lateral loads) per the current FBC.

Repair: Add 2"x6" wood vertical stud framing at 16" c/c, re-nail 5/8" plywood sheathing with 8d Ring Shank nails to provide 4" on center spacing at the edges and 6" o.c. at the field including all new hurricane fasteners. In addition, all window/door jambs/header/sills will require additional wood reinforcement/hurricane fasteners.

3. Description: Aluminum / glass windows and Doors.

Comments: The aluminum / glass windows and wood / glass doors are not structurally adequate for component and cladding wind pressures (lateral loads).

Repair: Replacement of system with impact resistant window / door system to current Florida Building Code requirements. In lieu of replacement,

V. DESIGN INVESTIGATION

provide approved Florida Building Code hurricane shutters. Note: Existing hurricane shutters to be evaluated for compliance with the current FBC.

E. BUILDING LATERAL RESISTING SYSTEM:

1. Description: The lateral resisting system consists of exterior walls, wood framed floor and wood / steel columns.


Comments: Structurally inadequate to resist lateral wind loads in the north-south and east-west directions, due to amount of window openings on the 2nd floor, wood walls and the lack of reinforcing in the 1st floor masonry walls. The connections between the 2nd floor wood wall and 1st floor masonry, including connections to the roof/floor framing, are structurally inadequate to provide diaphragm action required to transfer lateral wind loads.

Repair: Provide additional wood shear walls on the 2nd/ground floors and reinforce existing 1st floor masonry walls including reinforcing the 2nd floor walls with 2x6" wood studs @ 16" c/c/metal connections.

VI. GENERAL NOTES

This report is based upon clearly visible, open and unobstructed areas of the premises on the date of our review and cursory examination of the limited available architectural / structural drawings. No opinion is rendered with regards to structural elements, which are concealed and the report does not represent to have discovered all deficiencies. This limited review does not guarantee the structural integrity of the premises under its current use nor any proposed alterations.

O'DONNELL, NACCARATO, MIGNOGNA & JACKSON, INC



Joseph F. Mincuzzi, P.E.
Vice President

John Dawson, BSCE
Project Engineer

STATE OF FLORIDA
Registered Professional Engineer No. 38162
Registered Professional Special Inspector No. 0952
Registered Building Inspector No.: BN-0002673

VII. PHOTO EXHIBIT LOG

PROJECT: PBG MUNICIPAL GOLF BUILDING

PROJECT NO.: 592.008

EXHIBIT NO.	DESCRIPTION
1	Entry sign at Northlake Blvd.
2	West elevation – main entrance
3	North elevation – golf cart canopy
4	South elevation
5	East elevation
6	Mezzanine level – stairs from main floor
7	Overall main roof framing.
8	Main roof framing – rafter to beam connection
9	Double beam with fitch connection
10	Check in rafter
11	Check in rafter
12	Main roof framing at gable end (south)
13	Roof rafters at east exterior wall
14	East exterior wall – roof rafter plate strap
15	Roof rafter tie-down strap to plate
16	Roof truss framing – roof over east balcony
17	Typical plate – truss web members to bottom chord
18	Rafter connection to girder at covered deck
19	Connection at center roof peak
20	North elevation second floor windows



Exhibit 1



Exhibit 2



Exhibit 3



Exhibit 4



Exhibit 5



Exhibit 6



Exhibit 7

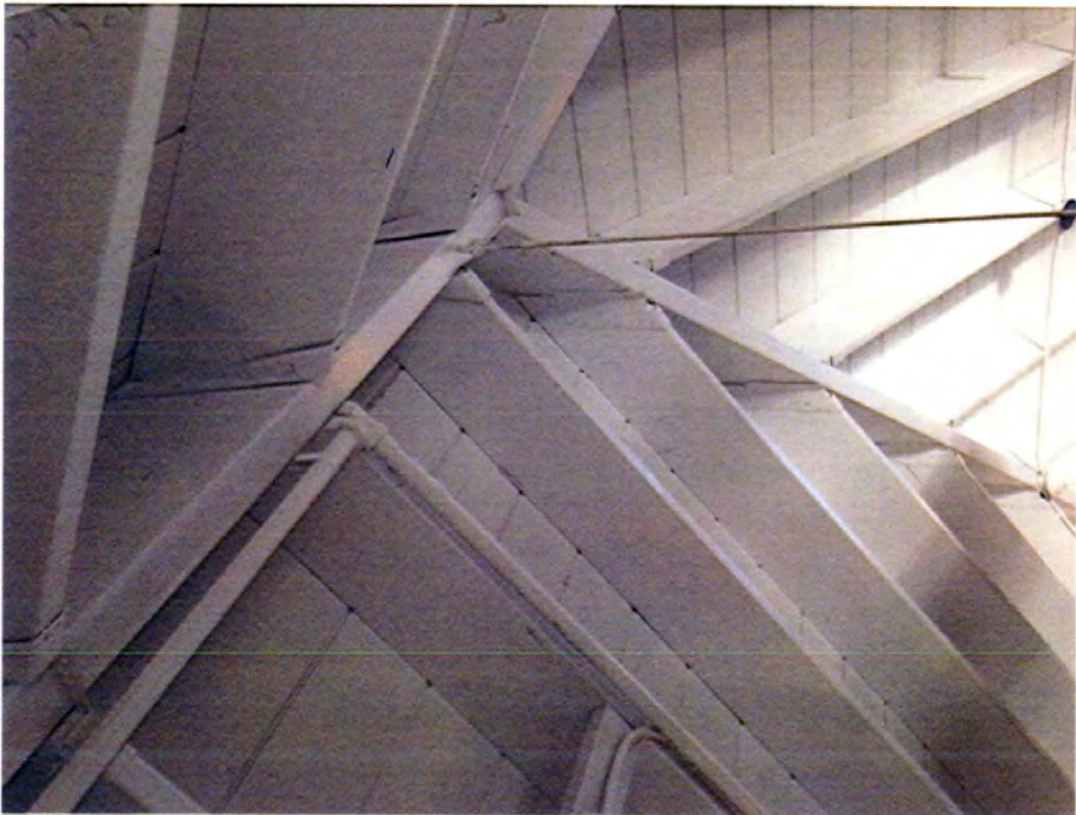


Exhibit 8

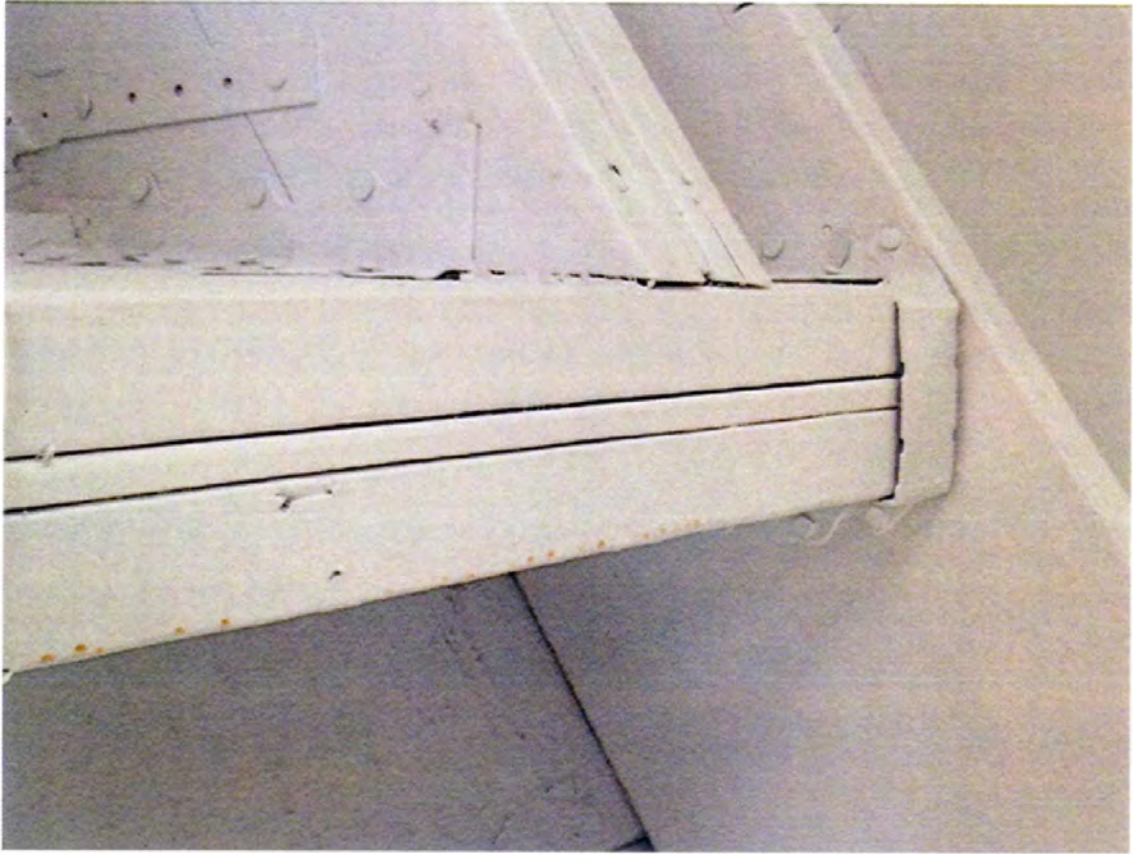


Exhibit 9

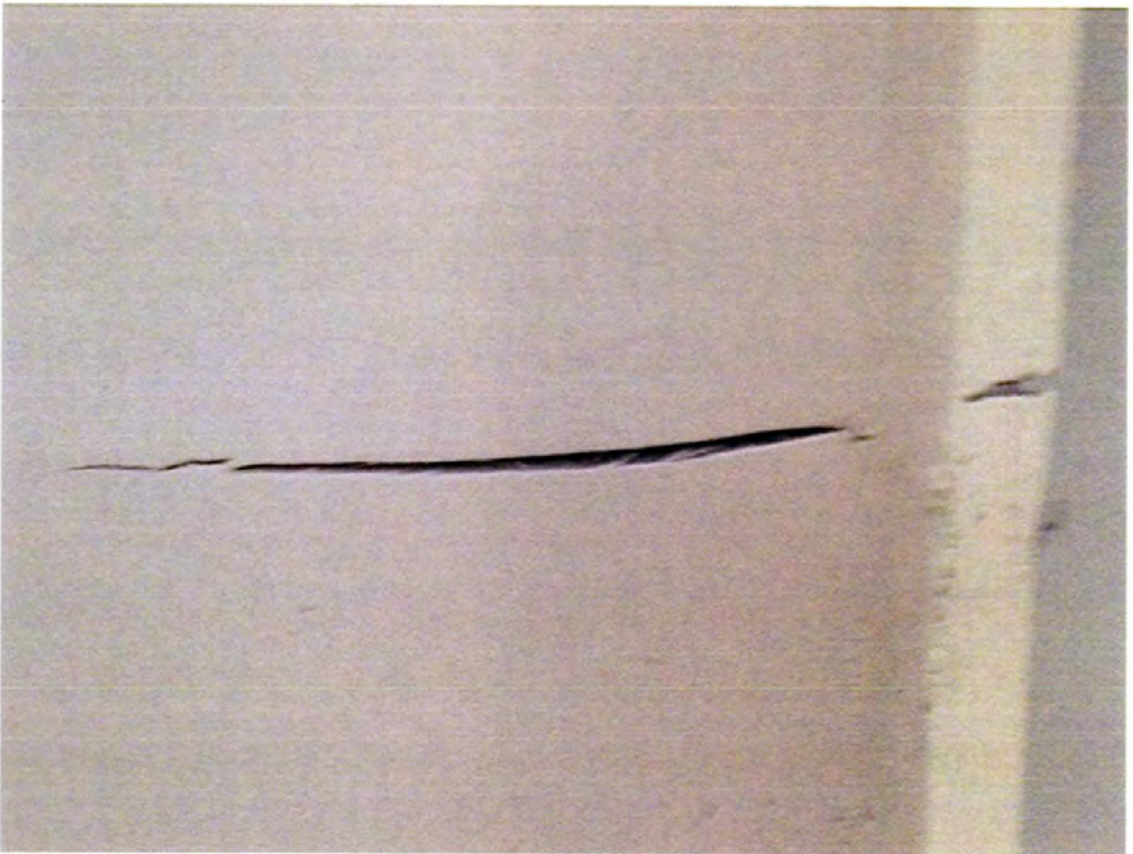


Exhibit 10



Exhibit 11



Exhibit 12



Exhibit 13



Exhibit 14



Exhibit 15

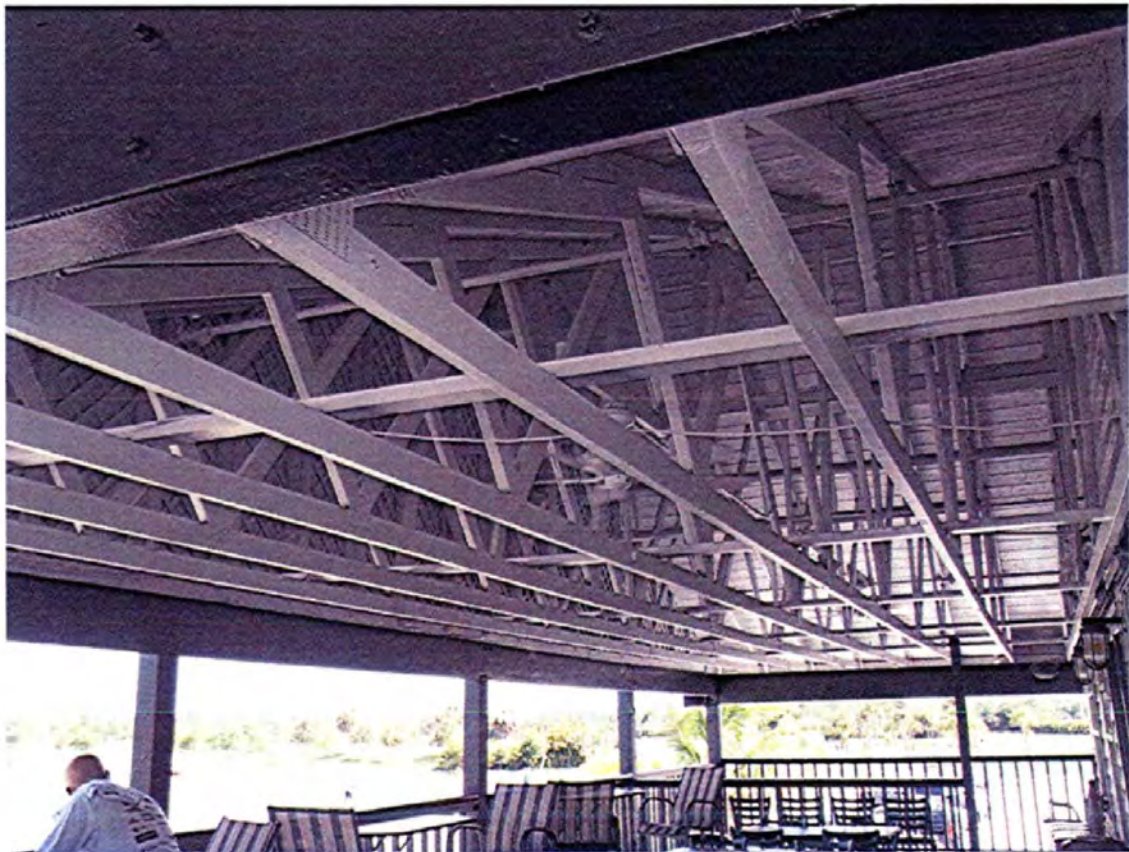


Exhibit 16

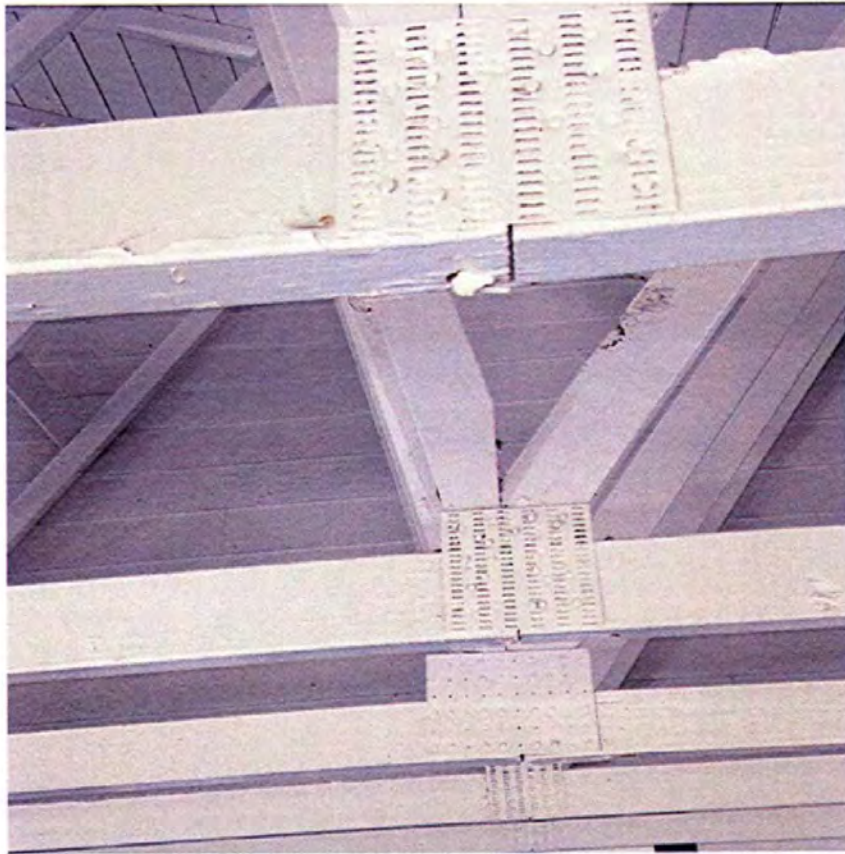


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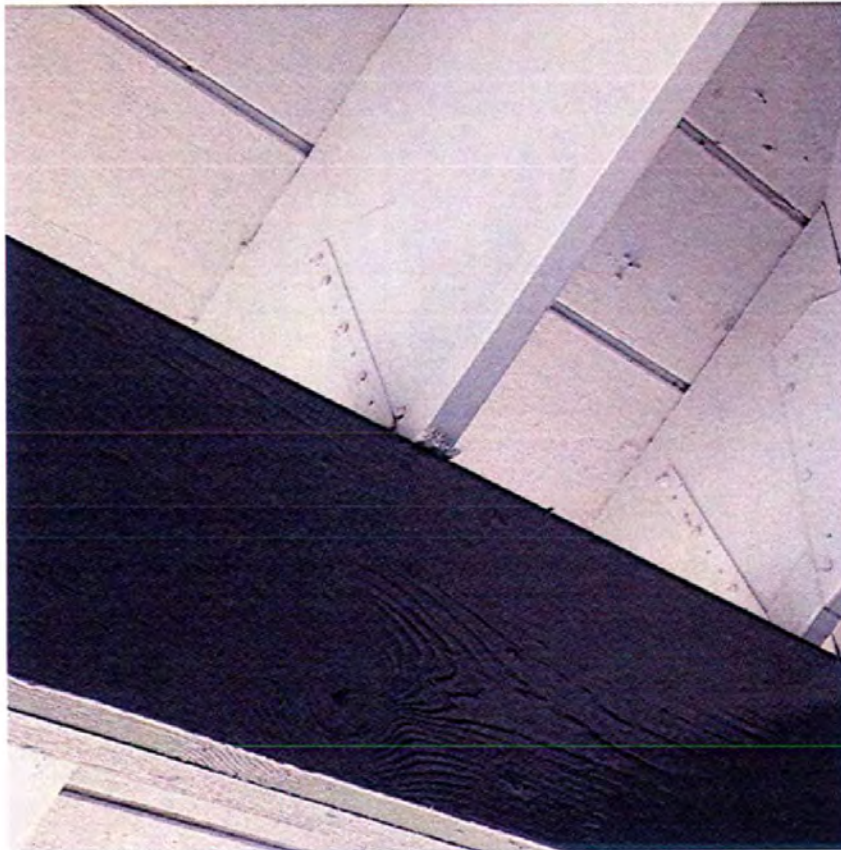


Exhibit 18



Exhibit 19



Exhibit 20

City of Palm Beach Gardens
Charlotte Presensky

<u>Locations</u>	<u>Description</u>	<u>Picture Number</u>	<u>Value</u>
Esplanade			
Lobby	Four retail cabinets	1-4	
Tranquility	Two chairs	5	
Tranquility	One wood side table	5	
Tranquility	Red chair + side table	6	
Tranquility	Casepiece	7	
Clubhouse			
Womens Card Room	Armoire 5d ^w x 250 x 80 H	8	
Palm Room	Two credenzas	9	74 x 21 D x 36 H
	Wood Built in unit →	10	103w x 10H x 27D
Staircase upper wall	Tapestry	11	
Solarium	Two side tables	12	30 x 30 x 28 H
Upstair Dining Room	Wood casepiece	13	43w x 19 D x 34 H

Cell
561-436-
6823

Electrician on
Hold

City of Palm Beach Gardens
Charlotte Presensky

<u>Locations</u>	<u>Description</u>	<u>Picture Number</u>	<u>Value</u>
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Esplanade

Lobby	Four retail cabinets	1-4	
Tranquility	Two chairs	5	
Tranquility	One wood side table	5	
Tranquility	Red chair + side table	6	
Tranquility	Casepiece	7	

Clubhouse

Womens Card Room	Armoire 5d ^w x 250 x 80 H	8	
Palm Room	Two credenzas	9	74 x 21 D x 36 H
	Wood Built in unit →	10	103w x 10H x 27D
Staircase upper wall	Tapestry	11	
Solarium	Two side tables	12	30 x 30 x 28 H
Upstair Dining Room	Wood casepiece	13	43w x 19 D x 39 H

~~Upstair Dining Room~~



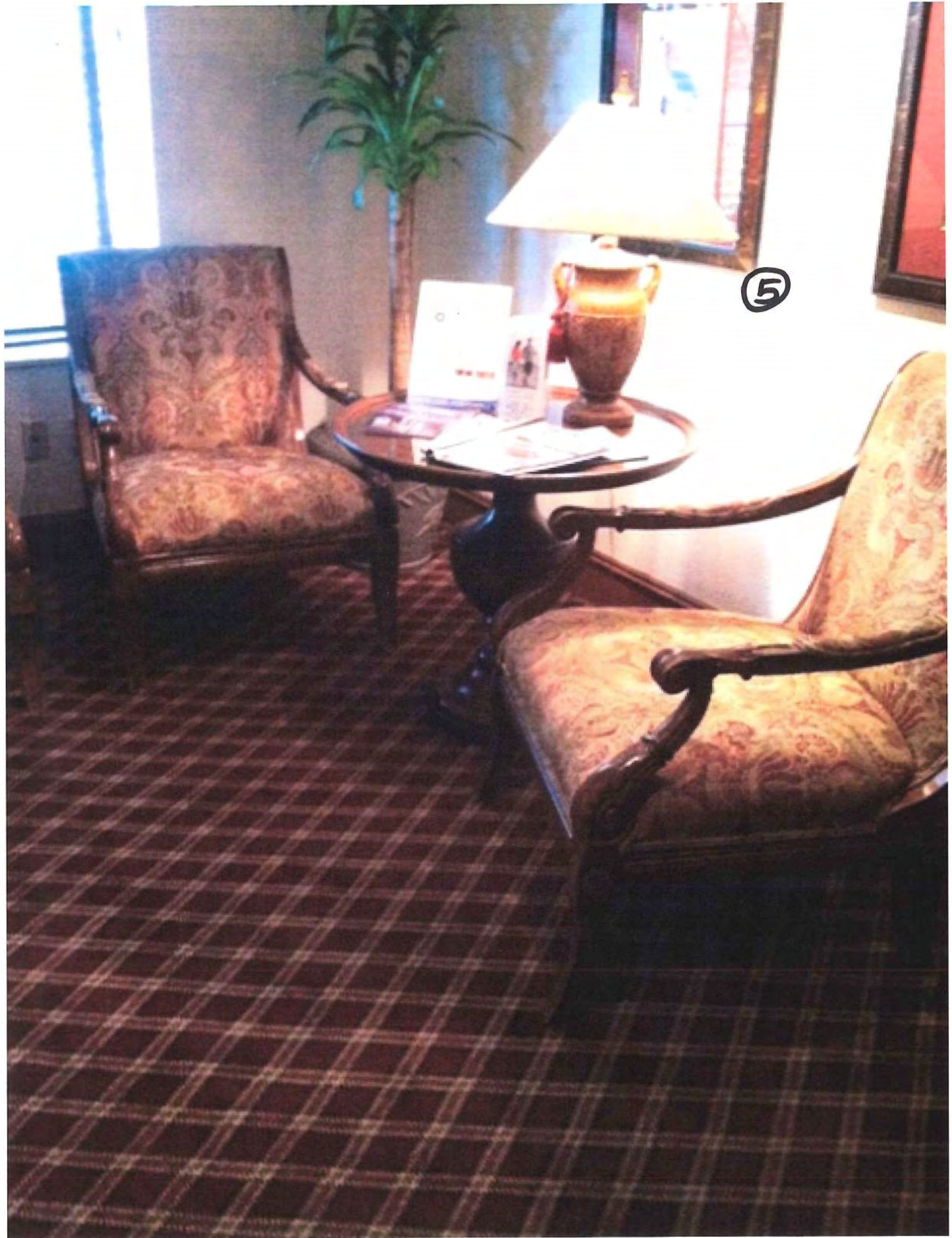
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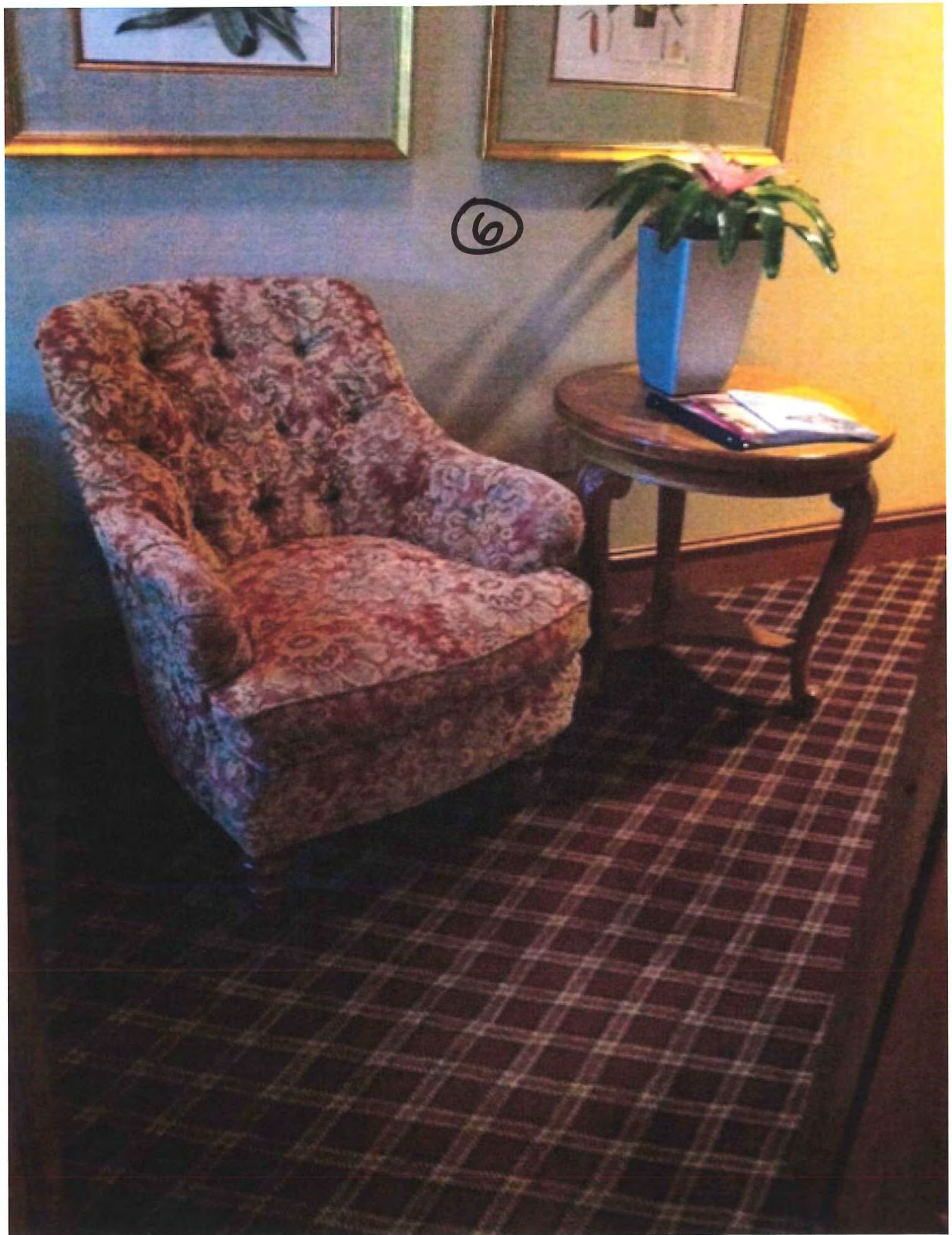




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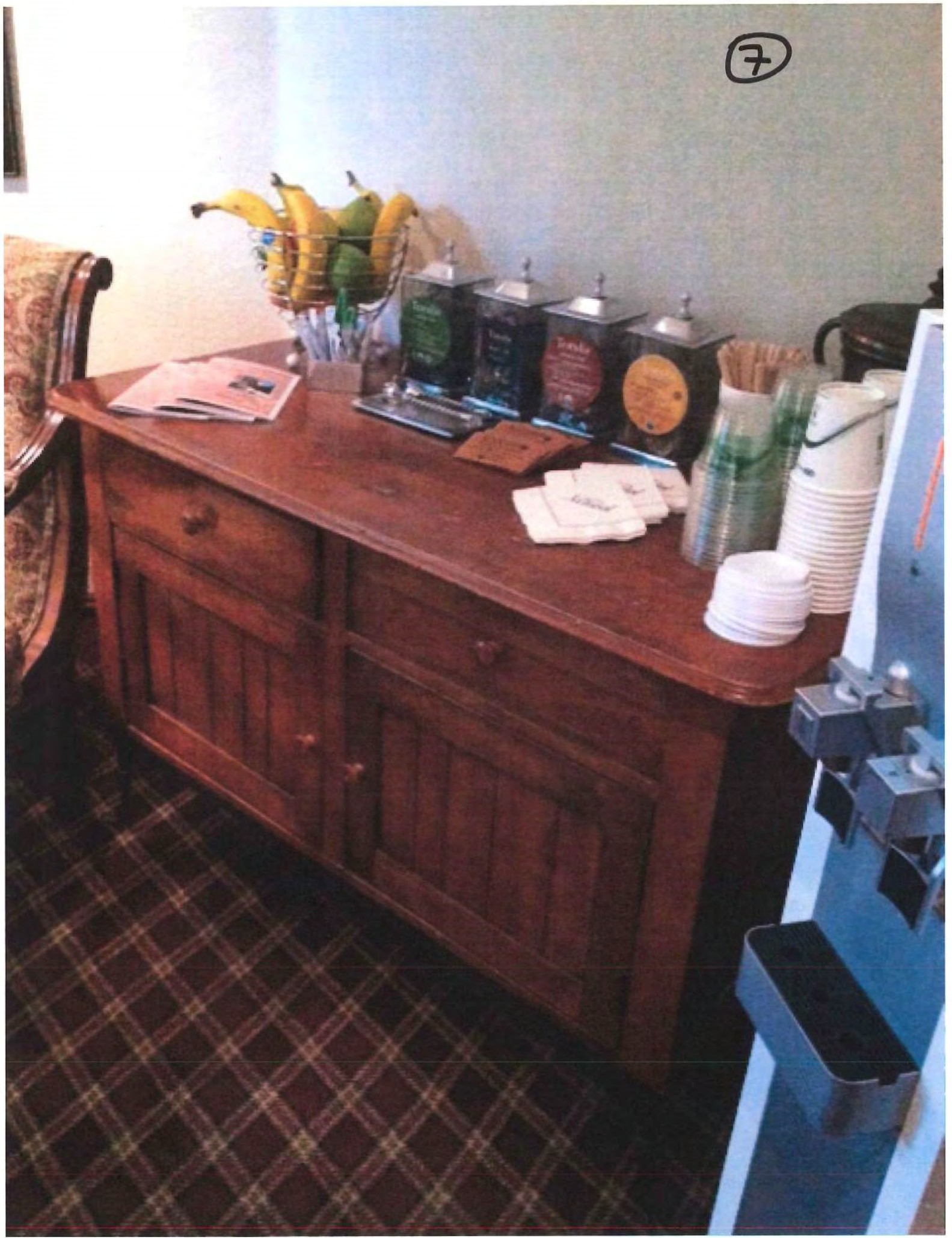






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7





8



⑨



11

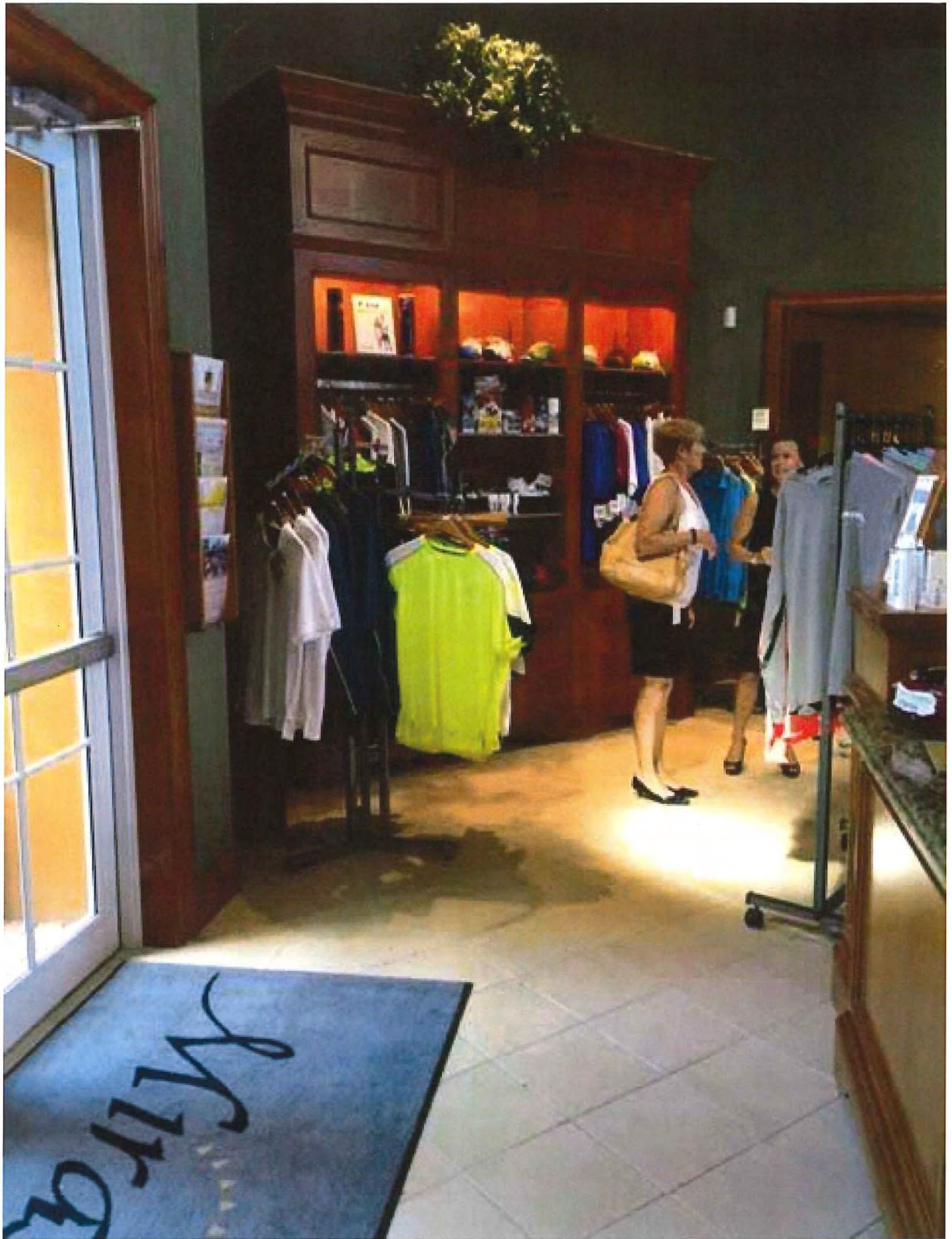






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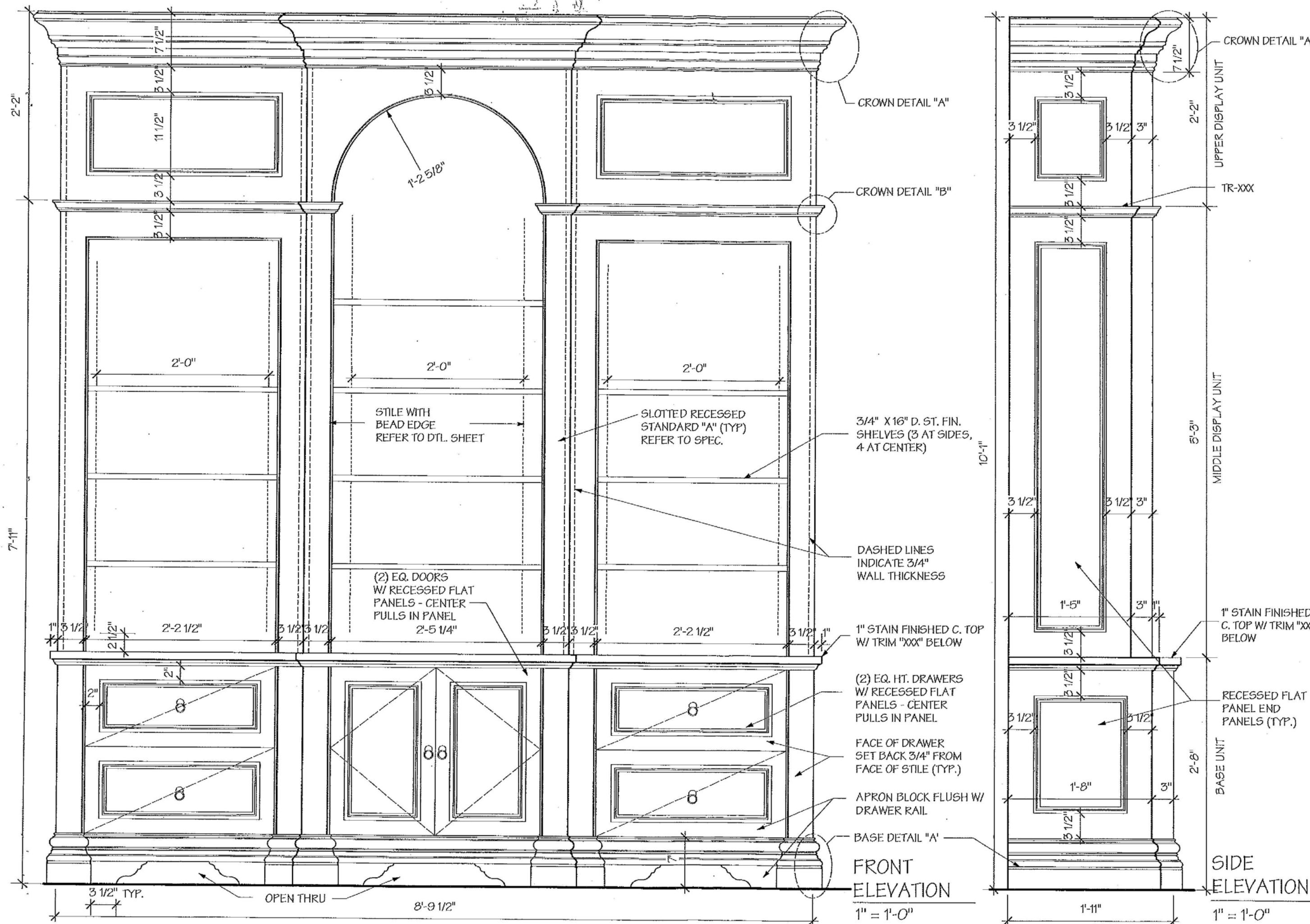












B. ANDREWS

200 APPLBEE ST.
SUITE 202
BARRINGTON, IL
60010

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PH 381.7444
FX 381.6085

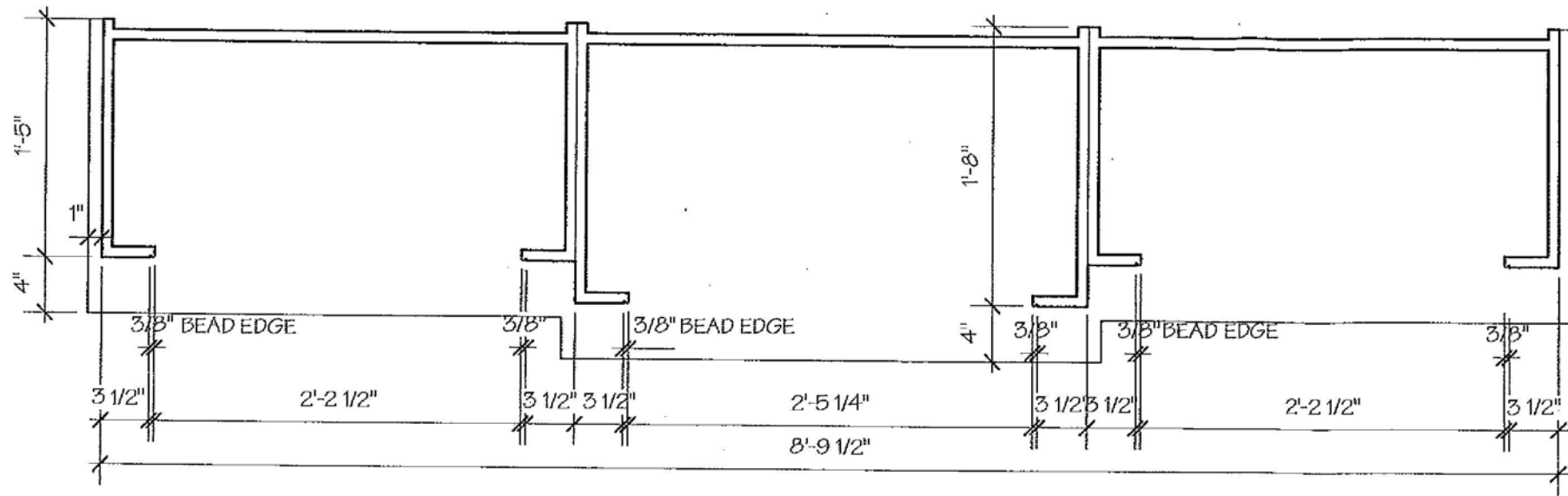
Fixture F-2
Mirasol - Esplanade
Palm Beach Gardens, Florida

TITLE:

ISSUE DATE:
01.24.02

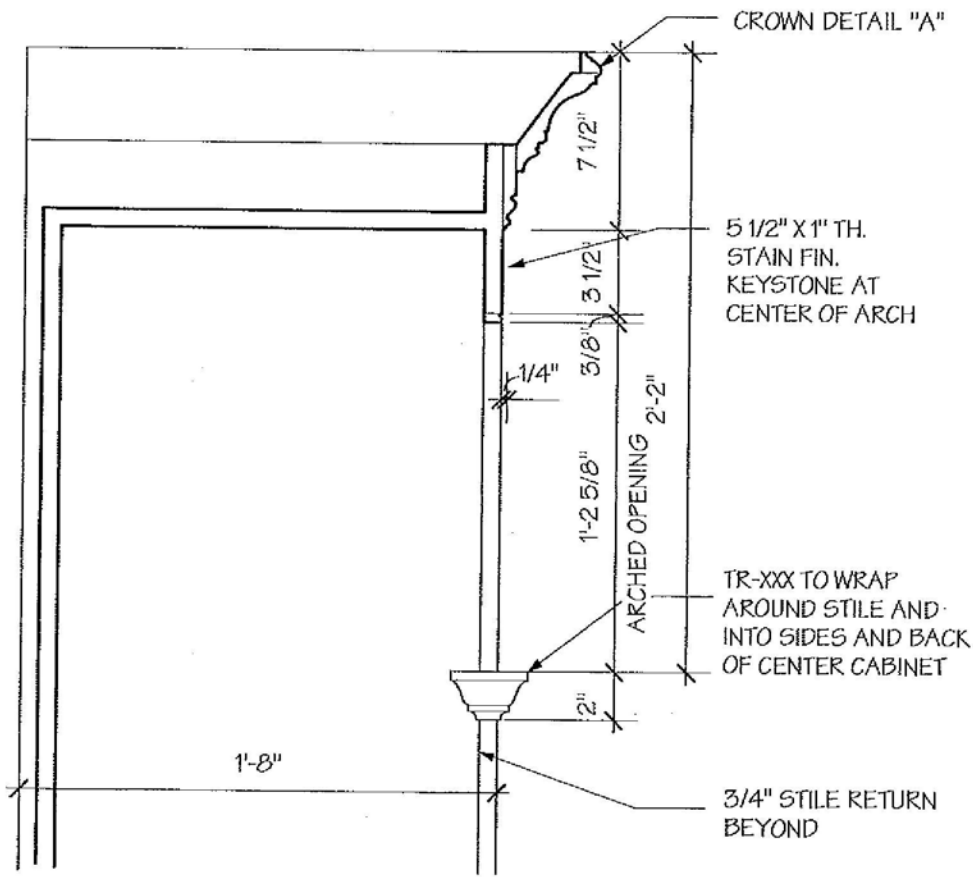
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REVISIONS:



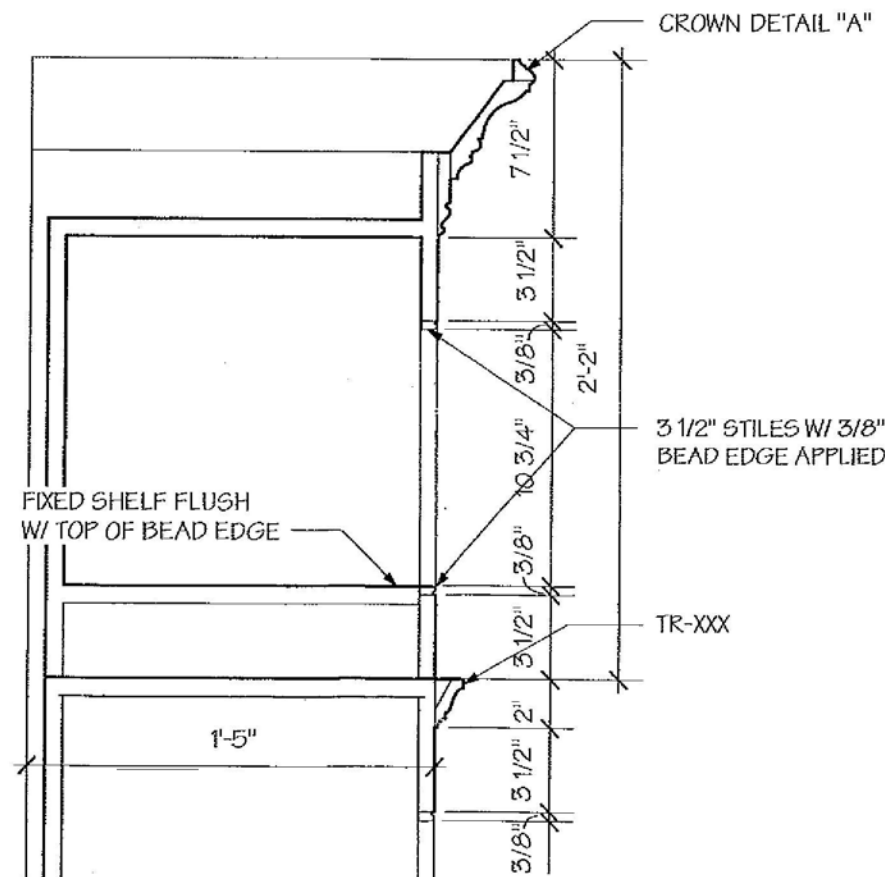
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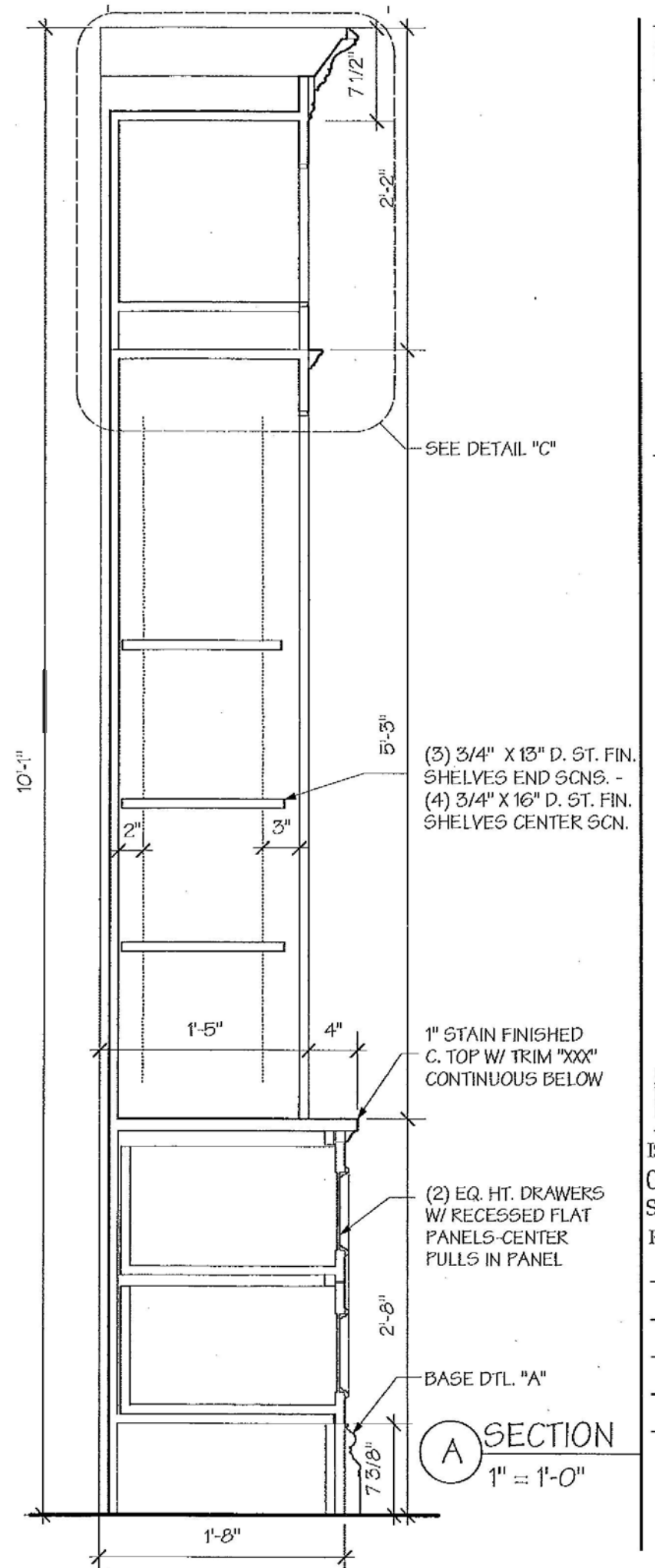
B SECTION

1 1/2" = 1'-0"



C SECTION

1 1/2" = 1'-0"



A SECTION

1" = 1'-0"

B. ANDREWS

200 APPLEBEE ST.
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8 . 4 . 7

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Fixture F-2
Mirasol - Esplanade
Palm Beach Gardens, Florida

TITLE:

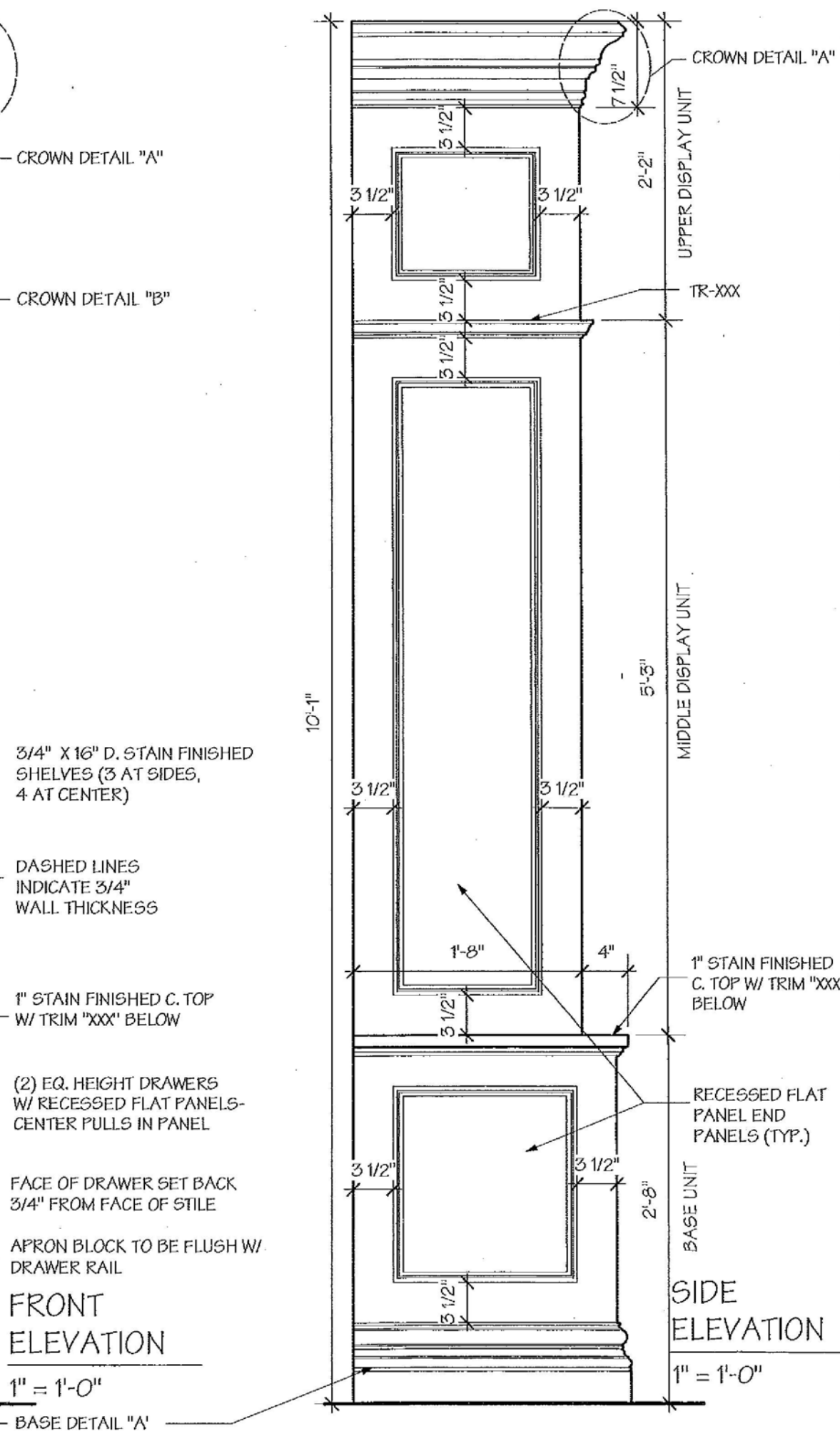
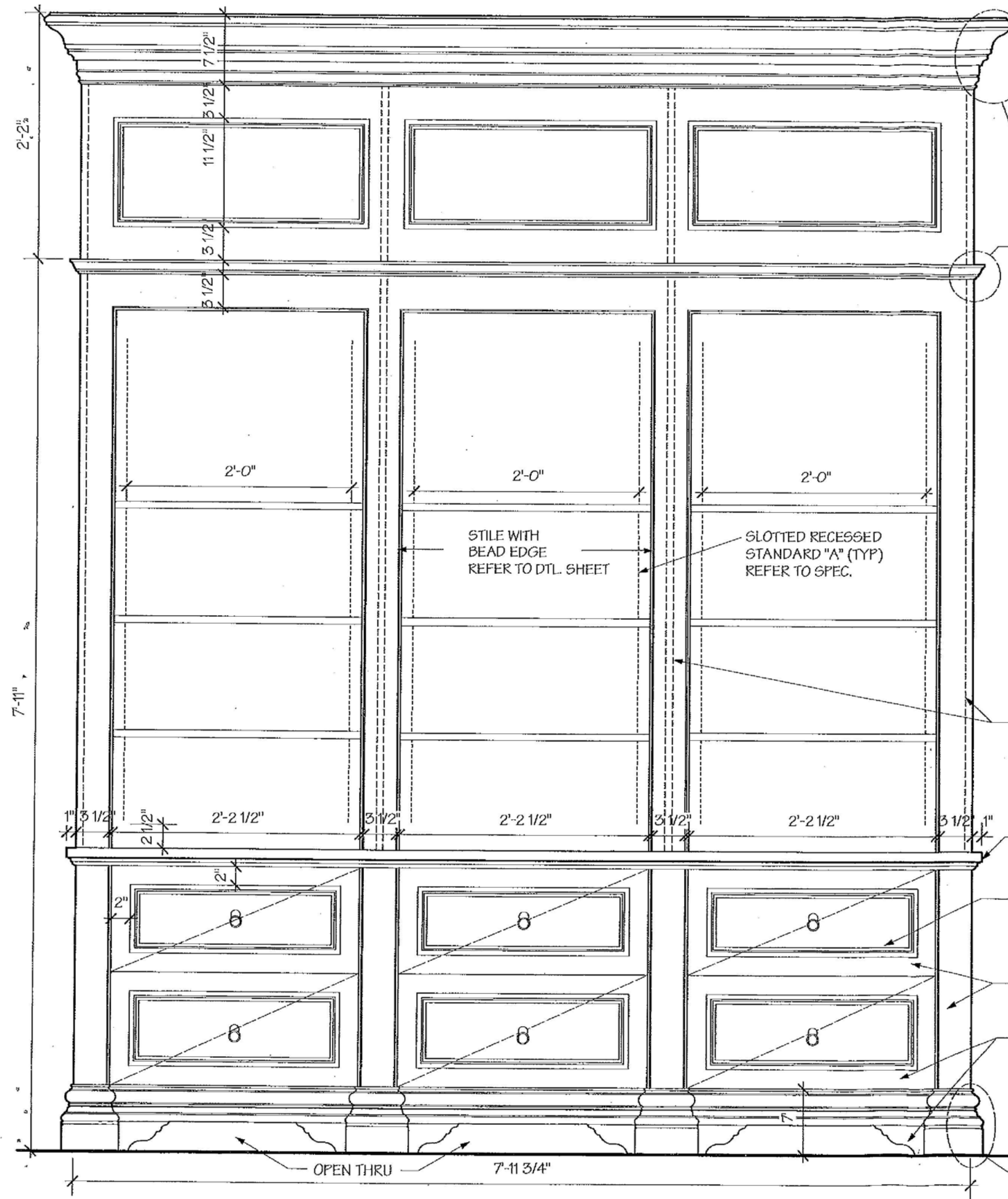
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01.24.02

Scale: As Noted

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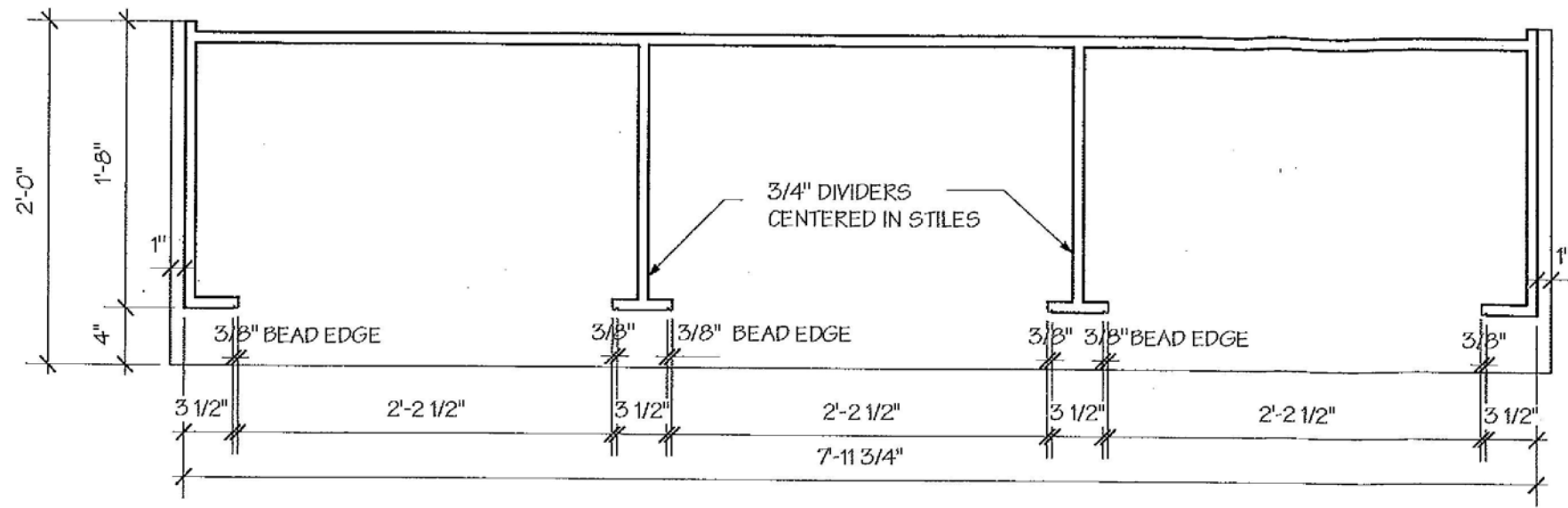
A-8



B. ANDREWS
 200 APPLBEE ST.
 SUITE 202
 BARRINGTON, IL
 60010
 8 . 4 . 7
 PH 381.7444
 FX 381.6085

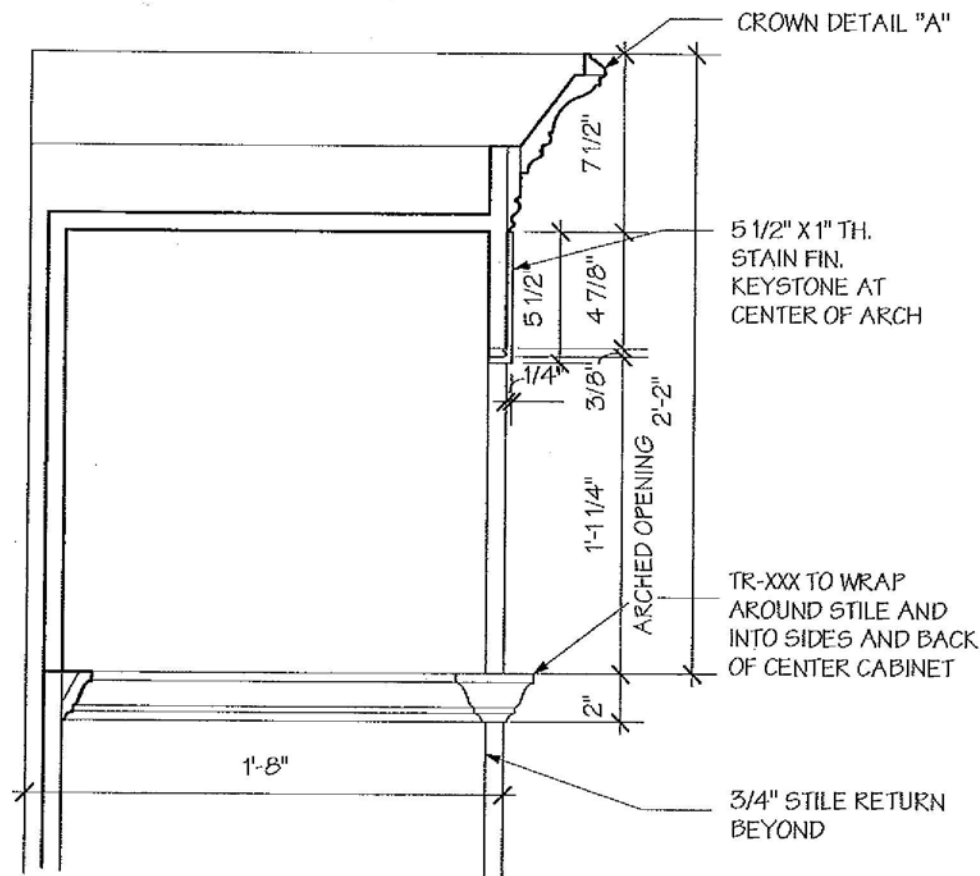
Fixture F-3
 Mirasol - Esplanade
 Palm Beach Gardens, Florida

TITLE:
 ISSUE DATE:
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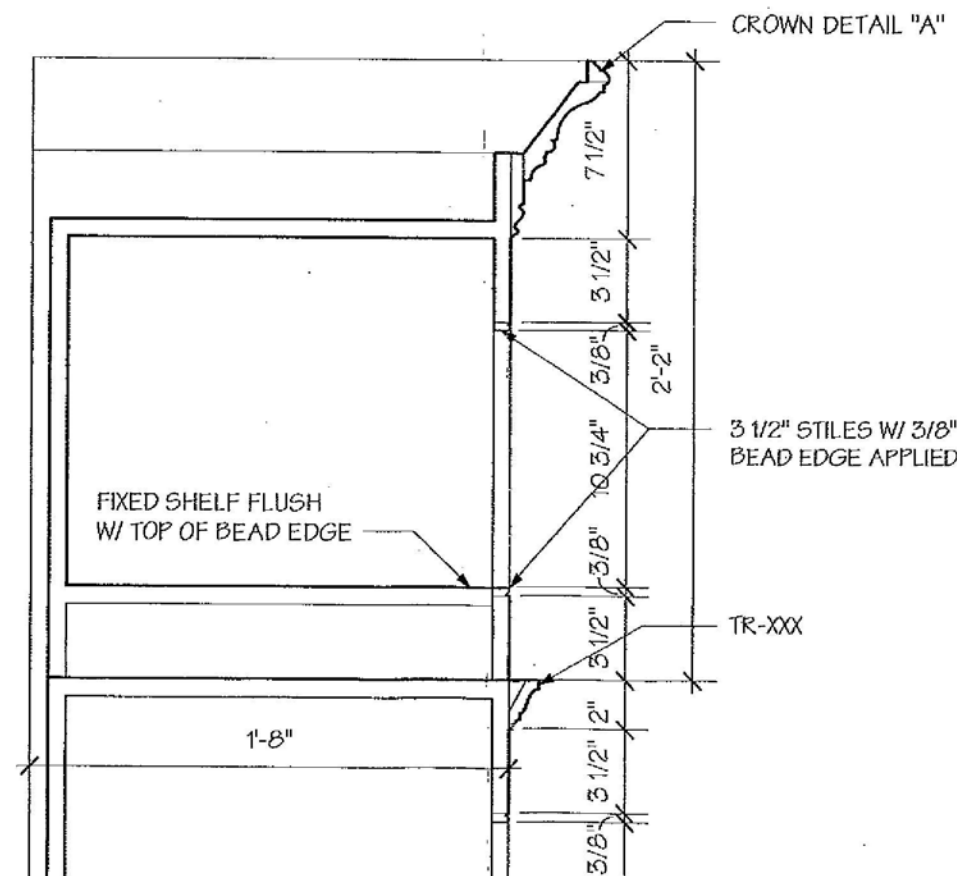


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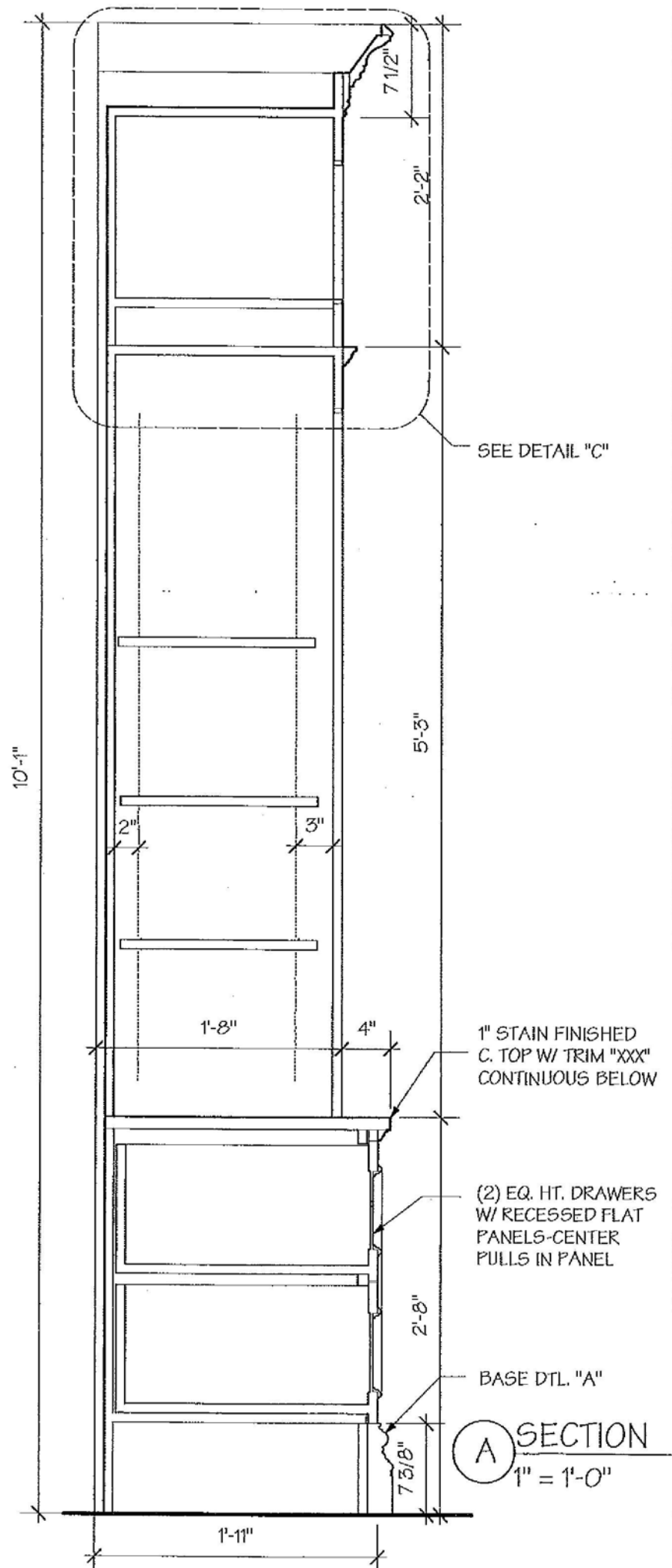
1" = 1'-0"



B SECTION
1 1/2" = 1'-0"



C SECTION
1 1/2" = 1'-0"



A SECTION
1" = 1'-0"

B. ANDREWS

200 APPLEBEE ST.
SUITE 202
BARRINGTON, IL
60010

8 . 4 . 7
PH 381.7444
FX 381.6085

Fixture F-3
Mirasol - Esplanade
Palm Beach Gardens, Florida

TITLE:

ISSUE DATE:
01.24.02
Scale: As Noted
REVISIONS:

A-10

PALM BEACH GARDENS MUNICIPAL GOLF COURSE IN PALM BEACH GARDENS, FLORIDA SEWERAGE SYSTEM IMPROVEMENT PLANS

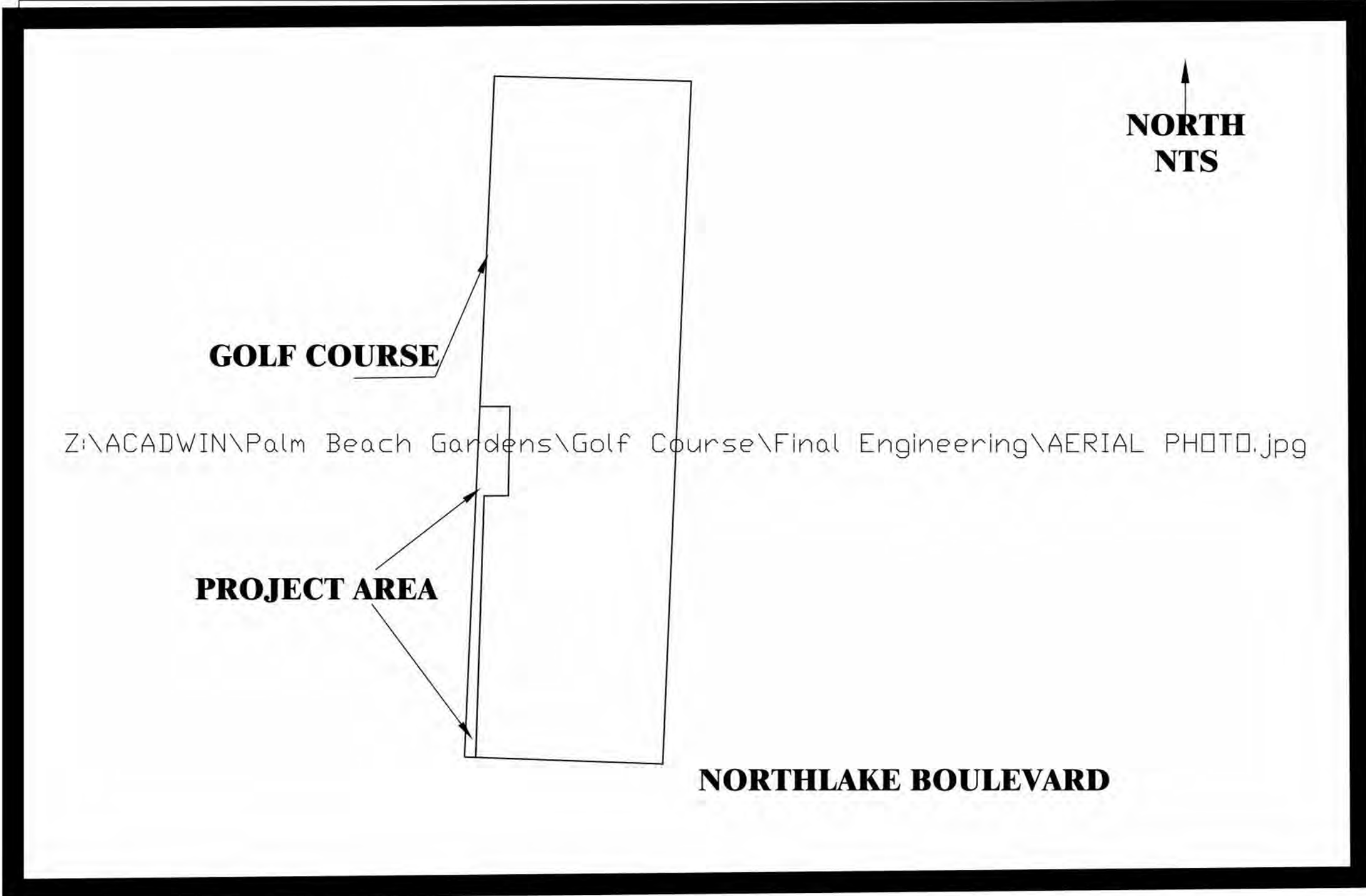
PREPARED FOR:



PALM BEACH GARDENS
"A unique place to live, learn, work & play"

City of Palm Beach Gardens, Florida
10500 North Military Trail
Palm Beach Gardens, Florida 33410

PURCHASE ORDER NO. 10324CS-044
PROJECT NO. E goIO182.20



<u>INDEX OF SHEETS</u>	
<u>SHEET NO.</u>	<u>DESCRIPTION</u>
1	COVER SHEET
2	COMMENTARY
3-6	INFRASTRUCTURE IMPROVEMENT PLANS
7-8	LIFT STATIONS - CLUBHOUSE & MAINT. AREA
9-12	DETAILS AND SPECIFICATIONS

LOCATION MAP
SECTION 24 TOWNSHIP 42 RANGE 42
(PALM BEACH GARDENS, PALM BEACH COUNTY, FLORIDA)

FEBRUARY 2015
PREPARED BY:
SOUTHERN DESIGN GROUP, INC.
609 NORTH HEPBURN AVENUE, SUITE 204
JUPITER , FLORIDA 33458
561-743-0501
EB# 5142

COMMENTARY/GENERAL NOTES/GENERAL SPECIFICATIONS (AS APPLICABLE)

GENERAL DIRECTIVES:

--CONTRACTOR(S) SHALL OBTAIN LATEST EDITION OF REGULATORY AGENCY MANUALS, GUIDELINES/SPECIFICATIONS, AND MAINTAIN COPIES ON SITE FOR REFERENCE.
 --CONTRACTOR(S) IN COORDINATION WITH OWNER SHALL REVIEW FOR COMPATIBILITY ALL PERTINENT AND RELATED CONSTRUCTION PLANS, AND PERMITS. ANY DISCREPANCIES/CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER OF RECORD, IN WRITING, WITHIN 3 DAYS OF DETERMINATION.
 --ALL STAKING FOR CONSTRUCTION SHALL BE IN ACCORDANCE WITH HORIZONTAL CONTROL PREPARED BY FLA. REGISTERED SURVEYOR. IF CONTRACTOR DEEMS ADDITIONAL TOPOGRAPHIC SURVEY DATA OR SURVEY DATA OF ANY KIND IS REQUIRED BEYOND THAT SHOWN ON PLANS, CONTRACTOR SHALL PROVIDE SURVEY SERVICES BY A REGISTERED SURVEYOR TO OBTAIN SURVEY REQUIRED TO PROPERLY PERFORM CONSTRUCTION. IN AREAS WITH MULTIPLE FACILITIES THE CONTRACTOR SHALL ORDER STAKING OF NOT ONLY THE PROPOSED SYSTEM BUT ALSO ANY SYSTEM THAT MAY BE AFFECTED OR INVOLVED IN THE OVERALL SYSTEM CONSTRUCTION (I.E. STAKE SIDEWALKS WHEN CONSTRUCTING FIRE HYDRANTS SO HYDRANT CLEARS SIDEWALK) STAKE CURBS SO VALVES ARE NOT CONSTRUCTED WITHIN CURB AREAS, ETC.).
 --ALL AS-BUILT/RECORD DRAWINGS SHALL BE DEVELOPED BY A FLORIDA REGISTERED SURVEYOR. SURVEYOR(S) TO OBTAIN AS-BUILT/RECORD DRAWING REQUIREMENTS FROM REGULATORY AGENCIES. CONTRACTOR SHALL REVIEW ALL RECORD DATA PRIOR TO CONSTRUCTION OF ROADWAYS AND AS ROADWAYS ARE CONSTRUCTED TO ENSURE COMPLIANCE WITH PLANS. UPON REVIEW BY CONTRACTOR RECORD DATA SHALL BE SUBMITTED TO OWNER AND ENGINEER OF RECORD FOR REVIEW.
 --CONTRACTOR(S) SHALL LOCATE ALL EXISTING FACILITIES INCLUDING BUT NOT LIMITED TO WATER/FORCE MAINS, DRAINAGE PIPES, WIRE UTILITIES, ETC. PRIOR TO ANY CONSTRUCTION AND ORDERING OF MATERIALS AND VERIFY LOCATION RELATIVE TO DESIGN PLANS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER OF RECORD IN WRITING WITHIN 3 WORKING DAYS. IF CONTRACTOR FAILS TO LOCATE ALL EXISTING FACILITIES AND A CONSTRUCTION DELAY IS ENCOUNTERED CONTRACTOR SHALL NOT HAVE RECOURSE FOR ADDITIONAL COSTS TO OWNER OR ENGINEER.
 --CONTRACTOR(S) SHALL PROTECT EXISTING FACILITIES (I.E. POWER POLES, WIRE UTILITIES, EXISTING MAINS, DRAINAGE, ETC.) FROM DAMAGE DURING CONSTRUCTION. THE CONTRACTOR(S) SHALL COORDINATE DIRECTLY WITH THE UTILITY COMPANIES ON ANY CONFLICTS OF WIRE UTILITIES, GAS MAINS, ETC. AND SHALL COORDINATE FOR PROTECTION (I.E. SECURING OF POWER POLES, RELOCATION OF CATV OR TELEPHONE LINES, ETC.).
 CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE DONE TO EXISTING FACILITIES IN COORDINATION WITH THE JURISDICTIONAL AUTHORITY OF THE FACILITY.
 --OWNER AND CONTRACTOR TO COORDINATE DIRECTLY WITH GAS COMPANY IF GAS FACILITIES ARE PROPOSED. THE GAS FACILITIES SHALL BE COMPATIBLE WITH THE PROPOSED INFRASTRUCTURE DESIGN AND SHALL NOT REQUIRE REVISION OF THE MAIN INFRASTRUCTURE SYSTEM(S) COMPOSED OF WATER, SEWER, DRAINAGE AND INGRESS/EGRESS FACILITIES (VEHICULAR AS WELL AS PEDESTRIAN).
 --ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF PALM BEACH GARDENS REQUIREMENTS AND REGULATORY AGENCY CRITERIA AND PERMITS (AVAILABLE FROM OWNER/ENGINEER OF RECORD) INCLUDING BUT NOT LIMITED TO:
 1. CITY OF WEST PALM BEACH AND SEACOAST UTILITY AUTHORITY
 2. CITY OF PALM BEACH GARDENS
 3. PALM BEACH COUNTY HEALTH DEPARTMENT
 4. DEPT. OF ENVIRONMENTAL REGULATION
 5. PALM BEACH COUNTY ENGINEERING

COPIES OF ALL PERMITS SHALL BE OBTAINED BY THE CONTRACTOR(S) AND ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS SHALL BE REVIEWED AND COMPLIED WITH BY THE CONTRACTOR.

POLLUTION PREVENTION PROGRAM (PPP)

--CONTRACTOR(S) SHALL DEVELOP AND FILE (NOTICE OF INTENT (NOI) A POLLUTION PREVENTION PROGRAM(S) (PPP) AS REQUIRED BY FEDERAL AND STATE LAW. CONTRACTOR SHALL BE RESPONSIBLE TO INSTITUTE, MAINTAIN AND MONITOR PROGRAM IN ACCORDANCE WITH REGULATIONS. UPON COMPLETION OF THE PROJECT THE CONTRACTOR SHALL FORMALLY FILE A NOTICE OF TERMINATION (NOT) IN ACCORDANCE WITH REGULATIONS.

TRAFFIC CONTROL(S)

--CONTRACTOR(S) SHALL BE RESPONSIBLE FOR INSTALLING, MAINTAINING, AND DAILY MONITORING OF ALL BARRICADE SYSTEMS AND METHODS OF TRAFFIC CONTROL (MOT). MOT'S SHALL ADHERE TO PBCE ENGINEERING STANDARDS AND/OR FDOT STANDARDS WHICHEVER IS MOST RESTRICTIVE.

GENERAL INFORMATION

OWNER-CITY OF PALM BEACH GARDENS C/O ANSLEY MARR P.E.-561-799-4275
 ENGINEER OF RECORD-SOUTHERN DESIGN GROUP, INC.- 561-743-0501
 SURVEYOR (HORIZ. CONTROL)-CALVIN/GIORDONO
 WATER PROVIDER-CITY OF WEST PALM BEACH IN CORR. WITH SUA
 PROJECT CONTAINED WITHIN MUNICIPAL LIMITS OF CITY OF PALM BEACH GARDENS

NORTHLAKE BOULEVARD IS UNDER THE JURISDICTION OF PALM BEACH COUNTY.

SPECIAL NOTES-PBCE-FOR WORK IN NORTHLAKE R/W IF APPLICABLE

- PAVEMENT MARKING AND SIGNING SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS AND PALM BEACH COUNTY TYPICAL NO. T-P-13
- CONTRACTOR SHALL CONTACT PBC TRAFFIC OPERATIONS (AT 561-233-3900) 48 HOURS PRIOR TO CONSTRUCTION, IF ANY WORK IS BEING DONE WITHIN 10' OF SIGNALIZED INTERSECTION.
- DAMAGES TO LOOPS OR ANY SIGNAL EQUIPMENT CAUSED BY CONSTRUCTION OF THIS PROJECT MUST BE REPAIRED OR REPLACED TO ORIGINAL OR BETTER CONDITION BY THE PERMITTEE AT NO COST TO PBC. DETERMINATION OF REPAIR OR REPLACEMENT TO BE DETERMINED BY PBC.

COMMENTARY ON PLAN SET

--CONTRACTOR(S) SHALL ALSO REFERENCE DETAILS AND ADDITIONAL SPECIFICATIONS CONTAINED WITHIN THE PLAN SET.
 --CONTRACTOR(S) SHALL ALSO REFERENCE CONSTRUCTION MANUALS OF REGULATORY AGENCIES FOR FURTHER DETAILS, SPECIFICATIONS, AND PROCEDURAL ASPECTS OF EACH AGENCY.
 --STAKING OF PROJECT CONSTRUCTION SHALL BE BASED UPON DETAILS, ROAD SECTIONS, WRITTEN SPECIFICATIONS AND SURVEYOR'S HORIZONTAL CONTROL. ENGINEERING PLANS ARE SUBSTANTIALLY TO SCALE HOWEVER MANY ITEMS SUCH AS FIRE HYDRANTS, VALVES, MANHOLE LIDS, ETC. ARE EXAGGERATED SO THEY MAY BE SEEN IN THE PLANS. THE COMPUTERIZED LOCATION OF AN EXAGGERATED FACILITY IS NOT TO BE USED FOR STAKING THAT FACILITY IN THE FIELD. UTILIZE THE DIMENSIONS AS SHOWN AND A SCALE WHEN NECESSARY.

FIELD OBSERVATIONS

--FIELD OBSERVATIONS SHALL BE COORDINATED THROUGH ENGINEER OF RECORD AND A MINIMUM 48 HOURS (2 WORKING DAYS) IS REQUIRED TO SCHEDULE ANY OBSERVATION.

COMMENTARY - WATER/SEWER FACILITIES

--REQUIRED SHOP DRAWINGS, MATERIALS LISTS, CONTRACTOR'S LICENSES, ETC. IN ACCORDANCE WITH SUA REQUIREMENTS SHALL BE SUBMITTED FOR REVIEW AND APPROVED PRIOR TO SCHEDULING A PRE-CONSTRUCTION MEETING.
 --A PRE-CONSTRUCTION CONFERENCE SHALL BE SCHEDULED AT SUA PRIOR TO ANY CONSTRUCTION OF INFRASTRUCTURE WITH ALL PROJECT PERSONNEL
 --ALL CURRENT SUA SPECIFICATIONS APPLY.
 --NO WATER SERVICE TAPS SHALL BE MADE UNDER A PAVED/SIDEWALK AREA UNLESS SHOWN ON PLANS OR PRIOR APPROVAL RECEIVED FROM SUA AND PBG
 --REQUIRED MINIMUM SEPARATIONS SHALL BE ADHERED TO. SUA TO FIELD REVIEW ALL CROSSINGS OF PIPES AND ALSO ALL CROSSINGS OF SEWER SERVICES OVER WATER MAINS AND DRAINAGE LINES (REF. DETAILS FOR SEPARATION STATEMENT OUTLINING SEPARATION REQUIREMENTS). SURVEYOR SHALL OBTAIN ALL PIPE CROSSING DATA AND SHOW IT IN THE AS-BUILT/RECORD DRAWINGS. SEPARATIONS FROM "WIRE" UTILITIES, TRANSFORMERS, SWITCH BOXES, ETC. SHALL BE IN ACCORDANCE WITH SUA STANDARDS AND SHOWN ON AS-BUILTS.
 --AS-BUILTS/RECORD DRAWINGS SHALL BE SUBMITTED THROUGH THE EOR TO SUA FOR REVIEW AND APPROVAL PRIOR TO ANY FLUSHING, PRESSURE TESTING, OR BACTERIOLOGICAL CLEARANCE OF WATER MAINS. PRESSURE TESTING SHALL BE DONE AFTER BASE COURSE OF ROADWAYS IS INSTALLED. AS-BUILTS/RECORD DRAWINGS SHALL BE PREPARED IN ACCORDANCE WITH SUA GUIDELINES AND REQUIREMENTS.
 --VALVES, MANHOLE RIMS/LIDS SHALL NOT BE CONSTRUCTED IN SIDEWALKS OR CURBS UNLESS NOTED. VALVES AND MANHOLE RIMS SHALL BE FIELD ADJUSTED AT TIME OF BASE COURSE INSTALLATION.

COMMENTARY-PAVING, GRADING AND DRAINAGE SYSTEMS

--LANDSCAPING, YARD DRAINS, IRRIGATION SYSTEMS, LIGHTING, ETC., BY OTHERS SHALL BE FIELD ADJUSTED TO AVOID CONFLICTS WITH UTILITY SYSTEMS PER REGULATORY AGENCY REQUIREMENTS.
 --ALL OPEN AREAS AND LOTS (IN FUTURE) SHALL BE GRADED TO POSITIVELY DRAIN AWAY FROM BUILDING(S) AND TOWARDS ROADWAYS AND DRAINAGE FACILITIES WITHOUT RECOURSE TO ADJACENT PROPERTIES (COMMON SWALE AREAS ARE ALLOWED).
 --ALL CATCH BASINS AND DRAINAGE FACILITIES RECEIVING STORM RUNOFF SHALL HAVE CLEAN MURAFI FILTERS (OR EQUAL) INSTALLED AND MAINTAINED THROUGHOUT CONSTRUCTION. CONTRACTOR(S) SHALL TAKE ANY AND ALL MEASURES REQUIRED TO PREVENT SOIL EROSION AND GENERAL DEBRIS FROM ENTERING THE SYSTEMS. ALL PROVISION OF THE PPP SHALL ALSO APPLY.
 --UPON COMPLETION OF CONSTRUCTION IN ANY AREA, ALL DISTURBED AREAS INCLUDING EXISTING FACILITIES, RIGHTS-OF-WAY, SIDEWALKS, LANDSCAPING, ETC. SHALL BE RESTORED AND SODDED AS NEEDED. ALL SLOPES/GRADED AREAS SHALL BE SODDED, SEEDED AND MULCHED, PLANTED, AND/OR FILTER FABRIC INSTALLED, AS DIRECTED BY OWNER, TO PREVENT EROSION AND/OR WIND BORN DUST, DEBRIS, ETC.
 --NO CONSTRUCTION DEBRIS, BASE ROCK, ETC. SHALL REMAIN IN LANDSCAPE AREAS. IF EXCESS PAVING BASE COURSE IS WITHIN LANDSCAPE AREAS) ALL BASE MATERIALS SHALL BE REMOVED TO DEPTHS, ETC. AS SPECIFIED BY LANDSCAPE PLANS.
 --STRIPING OF ROADWAYS, ETC. SHALL ADHERE TO CURRENT COUNTY AND/OR MUNICIPAL REQUIREMENTS. STRIPING CONTRACTOR TO VERIFY STRIPING REQUIREMENTS PRIOR TO INSTALLATION OF ANY STRIPING.
 --ALL LANDSCAPING, SODDING, GRASSING SHALL BE IN ACCORDANCE WITH THE LANDSCAPE PLANS AND OWNER'S DIRECTIVES RELATIVE TO THE LANDSCAPE PLANS WITH FIELD ADJUSTMENTS AS NOTED ABOVE.
 --HANDICAPPED RAMPS SHALL ALL HAVE TACTILE SURFACES IN ACCORDANCE WITH FDOT REGULATIONS. THE SIDEWALK AT HANDICAPPED RAMPS THAT END AT FLUSH HEADER CURB OR VALLEY GUTTER WILL BE GRADED TO BE FLUSH WITH THE CURB AND HAVE NO MORE THAN AN 8% SLOPE FOR SIX FEET. FOR SIDEWALK HANDICAPPED RAMPS THAT END AT A RAISED CURB ('F' OR 'D') THE RAISED CURB SHALL HAVE TAPERED RETURNS ON EITHER SIDE OF RAMP FOR MIN. SIX FEET. MAXIMUM CROSS SLOPE FOR A SIDEWALK IS 2%. (FOR FURTHER INFO REF. FDOT INDEX 304)
 --24" WHITE STOP BARS AND R1-1 "STOP SIGN" AT INTERSECTIONS THAT HAVE A SIDEWALK (PEDESTRIAN CROSSING) SHALL BE PLACED A MINIMUM OF 4' BEHIND THE SIDEWALK. WHERE THERE IS NO SIDEWALK OR PEDESTRIAN CROSSING THE STOP BAR AND STOP SIGN SHALL BE LOCATED A MINIMUM OF 12' (MAXIMUM OF 20') FROM THE EDGE OF PAVING OF THE INTERSECTING THROUGH LANE.
 --ALL DEBRIS, TRASH, ETC. SHALL BE LEGALLY DISPOSED OF.
 --OWNER AND CONTRACTOR(S) TO COORDINATE WITH "WIRE" UTILITY COMPANIES AND GAS COMPANY ON LOCATION AND INSTALLATION OF FACILITIES WITH RESPECT TO WATER, DRAINAGE AND SEWER SYSTEMS AND EACH OTHER. NO SYSTEMS SHALL BE STAKED WITHOUT FINISH GRADE BEING NOTED ON STAKES SO THAT REQUIRED COVER AND DEPTHS CAN BE OBTAINED.
 --OWNER TO COORDINATE WITH CONTRACTOR(S) ON INSTALLATION OF PVC PIPE CROSSINGS UNDER ROADS TO SERVICE FUTURE LIGHTING SYSTEMS, IRRIGATION SYSTEMS, UTILITY CROSSINGS, ETC. CROSSING PIPE "BUNDLES" SHALL BE SURVEYED AND RELATED TO ABOVE GROUND FIXED FEATURES SO THE CROSSING LOCATIONS MAY BE LOCATED IN THE FUTURE.
 --ALL HANDICAP RAMPS SHALL MEET ALL APPLICABLE LOCAL, REGIONAL, STATE AND FEDERAL ACCESSIBILITY GUIDELINES AND REGULATIONS. ANY MODIFICATIONS SHALL BE APPROVED BY THE ENGINEER-OF-RECORD.

SPECIAL NOTE: SERVICE INTERRUPTIONS.

THE CONTRACTOR IS REQUIRED TO COORDINATE WITH THE CITY OF PBG, ANY SERVICE INTERRUPTIONS TO THE EXISTING CLUBHOUSE, AND MAINTENANCE FACILITIES. THE CITY OF PBG REQUIRES A MINIMUM OF 2 WEEKS NOTICE FOR INTERRUPTIONS BECAUSE ALL FACILITIES WILL BE IN FULL OPERATION.

REQUIRED SUBMITTALS FROM CONTRACTOR PRIOR TO ANY CONSTRUCTION:

- ISSUED FDEP PPP PLAN PERMIT INCLUDING COPY OF PLAN
- ALL MATERIAL SHOP DRAWINGS FOR ALL STRUCTURES, PIPING, ETC.
- PIT TESTS FOR BASE MATERIAL
- ASPHALT PLANT MIX REPORT
- COMPLETE METHOD OF TRAFFIC CONTROL ALONG WITH DRAWINGS
- COMPLETE DETAILED CONSTRUCTION SCHEDULE
- COPY OF VIDEO OF PRE-CONSTRUCTION CONDITIONS OF ENTIRE WORK AREA IN DVD FORMAT

REQUIRED SUBMITTALS FROM CONTRACTOR POST CONSTRUCTION:

- COMPLETE SIGNED AND SEALED AS-BUILTS BY FLA. REG. SURVEYOR
 --MIN. 5 COPIES AFTER REVIEW FOR COMPLETENESS
- SIGNED AND SEALED COPY OF ALL DENSITY TESTS
- SIGNED AND SEALED COPIES OF ALL CONCRETE CYLINDER TESTS FOR ALL CONC. WORK
- FDEP RELEASE OF PPP PLAN
- LETTER OF ACCEPTANCE BY WPB/SUA/PBCHD FOR ALL WORK ON WATER SYSTEMS
- EXECUTED COMPLETE RELEASE OF LIEN FOR ALL SUBCONTRACTORS AND MATERIALS

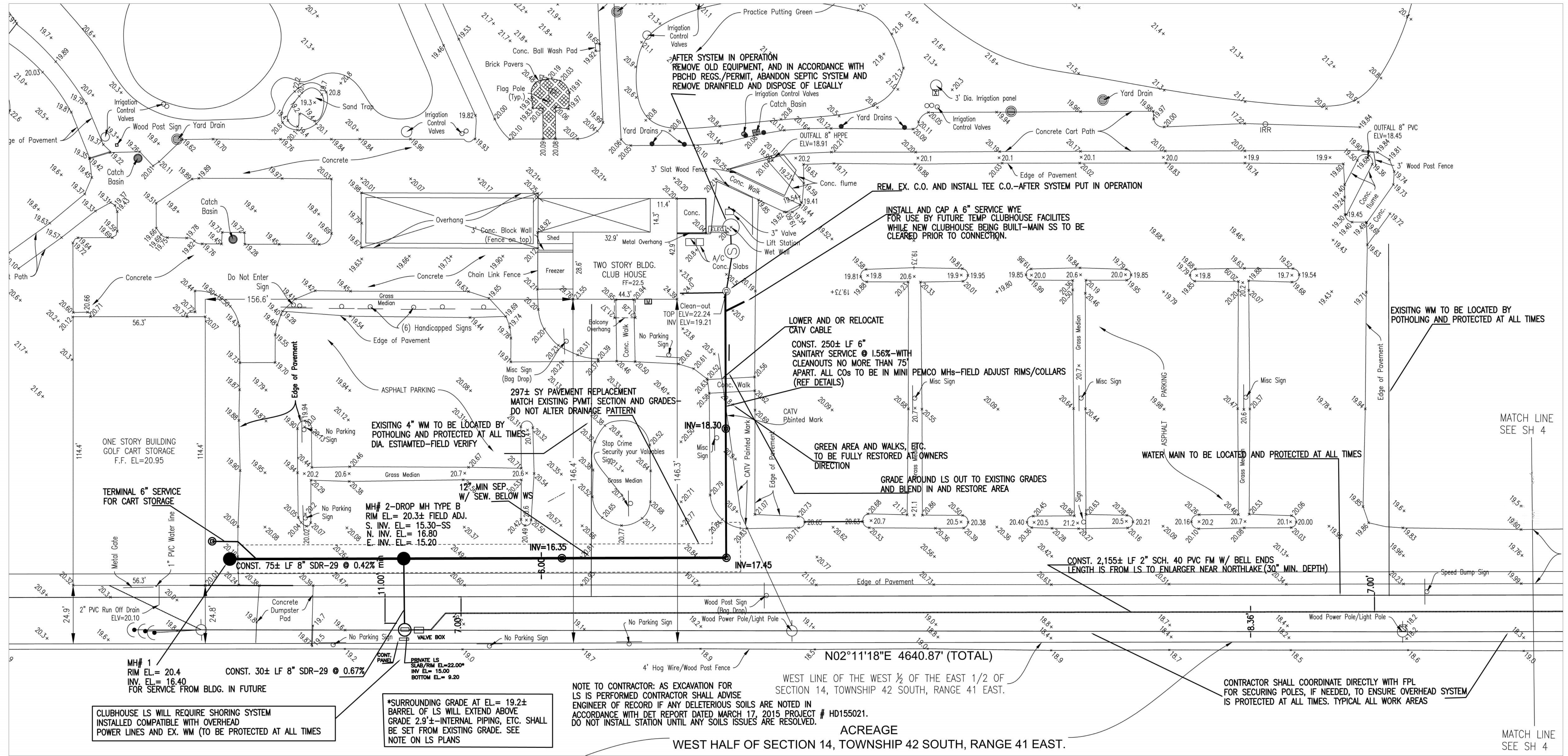
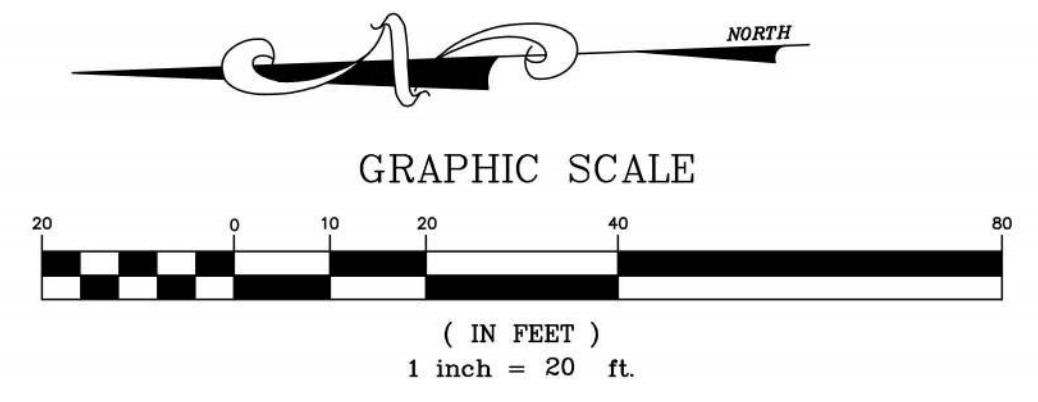
SPECIAL NOTES/SPECIFICATIONS:

- CONTRACTOR SHALL MAKE A DETAILED VIDEO RECORDING OF ENTIRE WORK AREA PRIOR TO ANY CONSTRUCTION-TO BE FILED WITH CITY FOR REVIEW PRIOR TO CONSTRUCTION.
- CONTRACTOR'S MOT SHALL ENSURE THAT ALL ACCESSES SHALL REMAIN OPEN AND BE ACCESSIBLE AT ALL TIMES DURING CONSTRUCTION. MOT TO BE REVIEWED BY CITY PRIOR TO ANY CONSTRUCTION.

SURVEY DATA IS NGVD 1929
 REFERENCE SURVEY NOTES/SYMBOLS IN DETAIL SHEETS

LAURENT B. VAN COTT, P.E.

				PBG GOLF COURSE					
				COMMENTARY				SEAL	
				SOUTHERN DESIGN GROUP, INC.					
				Engineering, Planning & Project Management 609 Heppburn Avenue, Suite 204 Jupiter, Florida 33458 561-743-0501				SHEET 2 OF X	
		DATE	RECORD DRAWING DATA	BY		DRAWN	EB# 5142	DATE	JOB NO.
						LVC		2/15	13007
		DESIGNED	CHECKED	SCALE		DRAWING NO.			
		LVC	LVC	N/A					
NO.	DATE	REVISIONS	BY						



NOTE TO CONTRACTOR: AS EXCAVATION FOR LS IS PERFORMED CONTRACTOR SHALL ADVISE ENGINEER OF RECORD IF ANY DELETERIOUS SOILS ARE NOTED IN ACCORDANCE WITH DET REPORT DATED MARCH 17, 2015 PROJECT # HD150521. DO NOT INSTALL STATION UNTIL ANY SOILS ISSUES ARE RESOLVED.

ACREAGE
WEST HALF OF SECTION 14, TOWNSHIP 42 SOUTH, RANGE 41 EAST.

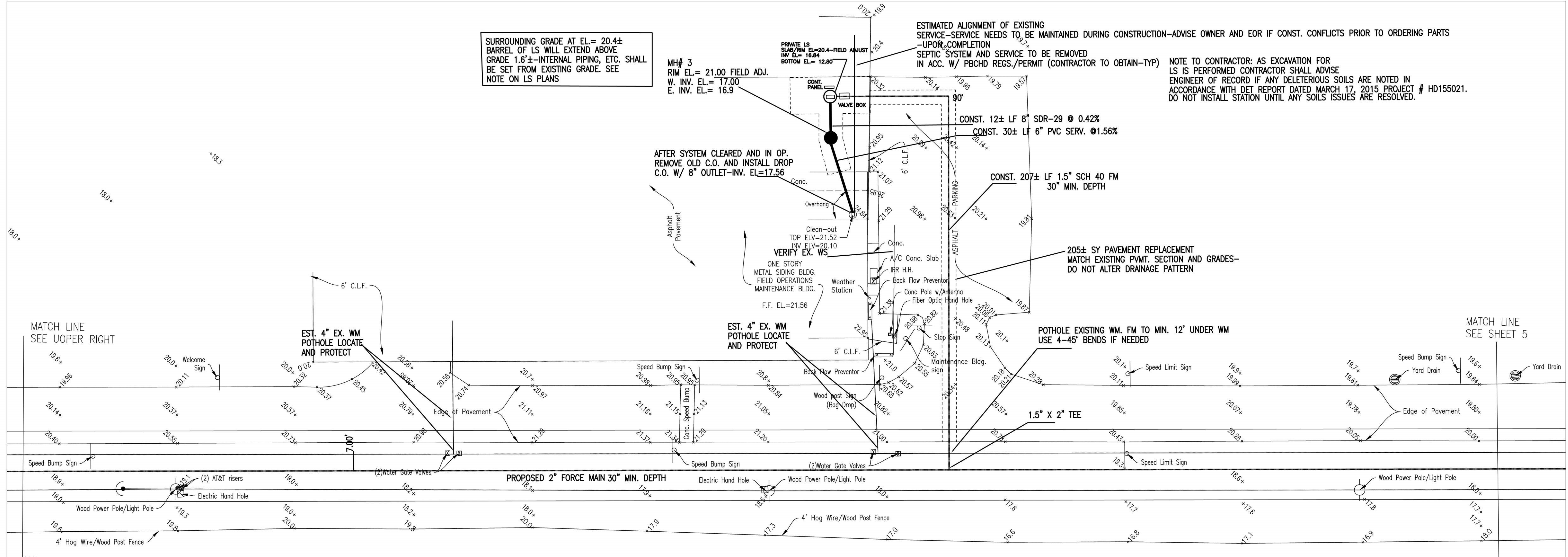
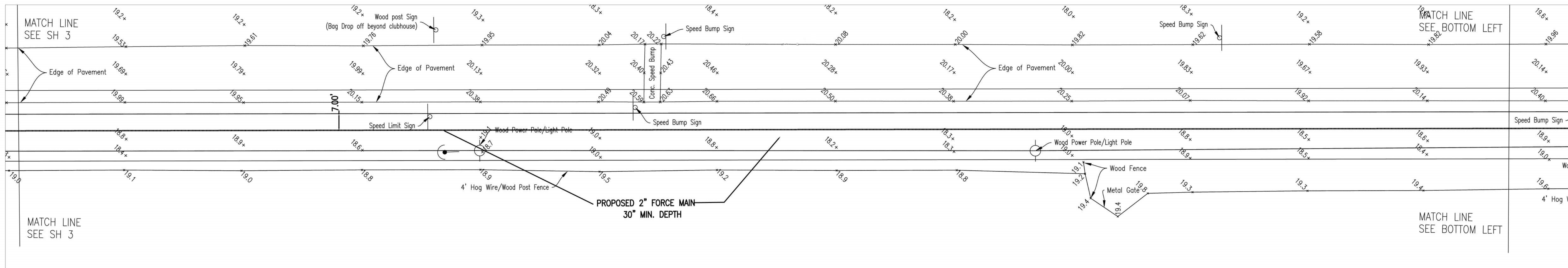
CONTRACTOR SHALL COORDINATE DIRECTLY WITH FPL FOR SECURING POLES, IF NEEDED, TO ENSURE OVERHEAD SYSTEM IS PROTECTED AT ALL TIMES. TYPICAL ALL WORK AREAS

CLUBHOUSE LS WILL REQUIRE SHORING SYSTEM INSTALLED COMPATIBLE WITH OVERHEAD POWER LINES AND EX. WM (TO BE PROTECTED AT ALL TIMES)

*SURROUNDING GRADE AT EL. = 19.2± BARREL OF LS WILL EXTEND ABOVE GRADE 2.9±—INTERNAL PIPING, ETC. SHALL BE SET FROM EXISTING GRADE. SEE NOTE ON LS PLANS

LAURENT B. VAN COTT, P.E.

DATE		RECORD DRAWING DATA	BY	PBG GOLF COURSE		SEAL
DATE		DESIGNED	BY	ON-SITE LS AND FM		
DATE		CHECKED	BY	SOUTHERN DESIGN GROUP, INC.		
DATE		SCALE	DATE	Engineering, Planning & Project Management		
DATE		DRAWING NO.	DATE	609 Hepburn Avenue, Suite 204		
DATE			DATE	Jupiter, Florida 33458		
DATE			DATE	561-743-0501		
DATE			DATE	JOB NO.		
DATE			DATE	13007		
DATE			DATE	DRAWING NO.		
DATE			DATE	12		

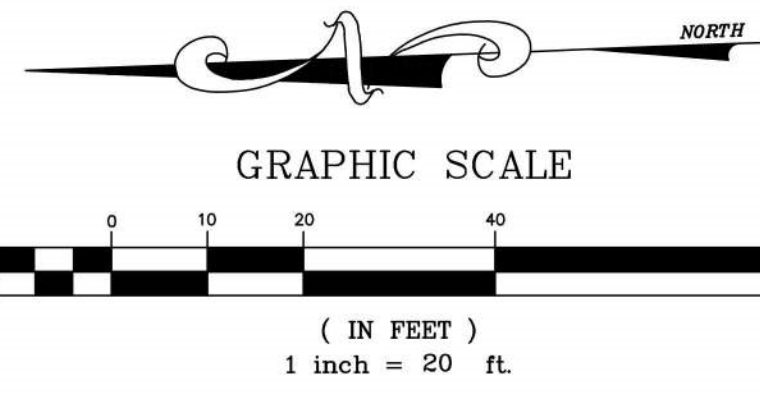


SURROUNDING GRADE AT EL= 20.4±
 BARREL OF LS WILL EXTEND ABOVE
 GRADE 1.6'±-INTERNAL PIPING, ETC. SHALL
 BE SET FROM EXISTING GRADE. SEE
 NOTE ON LS PLANS

MH# 3
 RIM EL= 21.00 FIELD ADJ.
 W. INV. EL= 17.00
 E. INV. EL= 16.9

ESTIMATED ALIGNMENT OF EXISTING
 SERVICE-SERVICE NEEDS TO BE MAINTAINED DURING CONSTRUCTION-ADVISE OWNER AND EOR IF CONST. CONFLICTS PRIOR TO ORDERING PARTS
 -UPON COMPLETION
 SEPTIC SYSTEM AND SERVICE TO BE REMOVED
 IN ACC. W/ PBCHD REGS./PERMIT (CONTRACTOR TO OBTAIN-TYP)

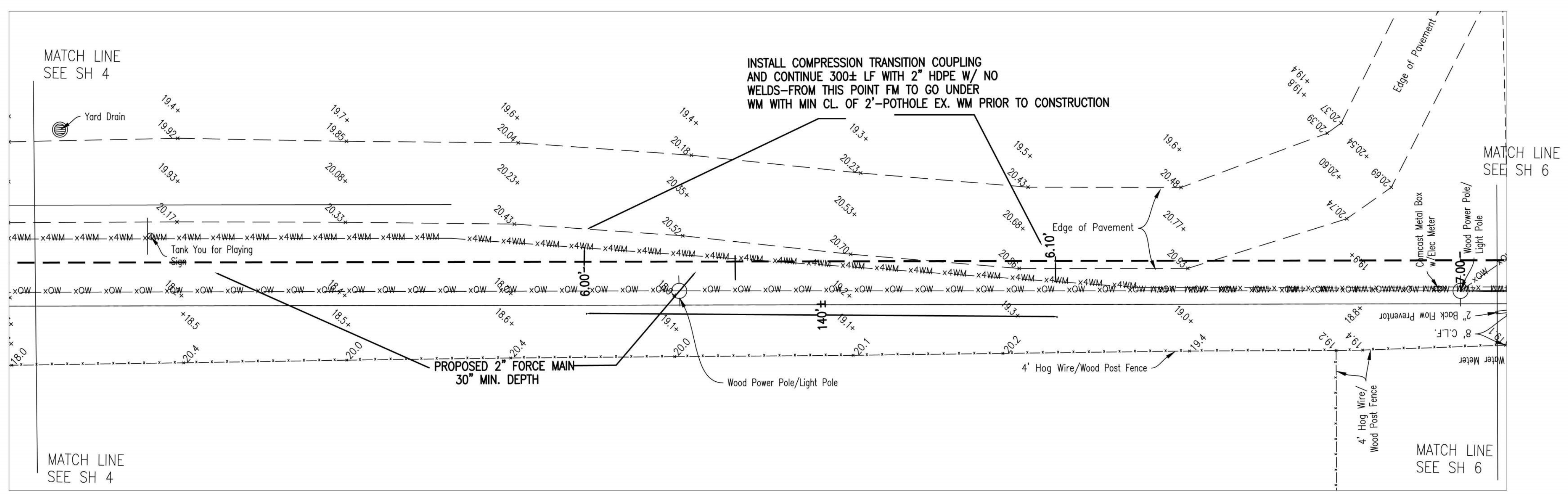
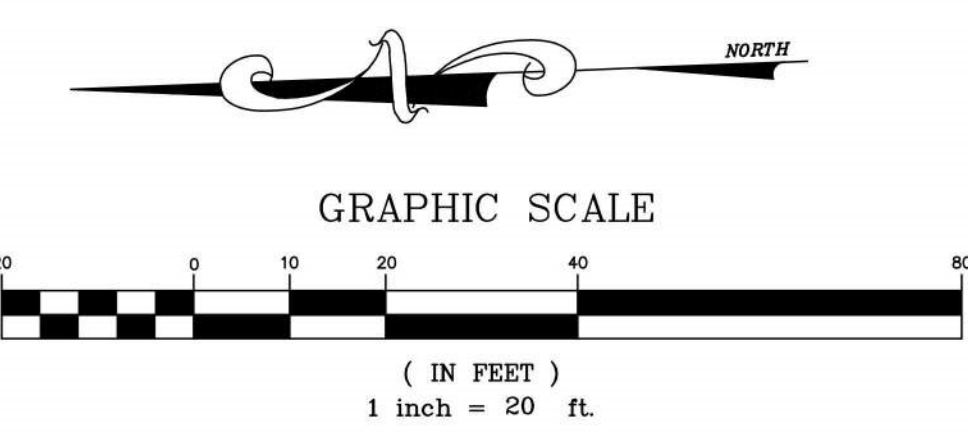
NOTE TO CONTRACTOR: AS EXCAVATION FOR
 LS IS PERFORMED CONTRACTOR SHALL ADVISE
 ENGINEER OF RECORD IF ANY DELETERIOUS SOILS ARE NOTED IN
 ACCORDANCE WITH DET REPORT DATED MARCH 17, 2015 PROJECT # HD155021.
 DO NOT INSTALL STATION UNTIL ANY SOILS ISSUES ARE RESOLVED.



DATE		RECORD DRAWING DATA	BY	PBG GOLF COURSE		SEAL
DATE		RECORD DRAWING DATA	BY	ON-SITE LS AND FM		SEAL
DATE		RECORD DRAWING DATA	BY	SOUTHERN DESIGN GROUP, INC.		SEAL
DATE		RECORD DRAWING DATA	BY	Engineering, Planning & Project Management 609 Hepburn Avenue, Suite 204 Jupiter, Florida 33458 561-743-0501		SEAL
DRAWN	LVC	EB# 5142	DATE	2/15	JOB NO.	13007
DESIGNED	LVC	CHECKED	LVC	SCALE	N/A	DRAWING NO.
NO.	DATE	REVISIONS	BY			

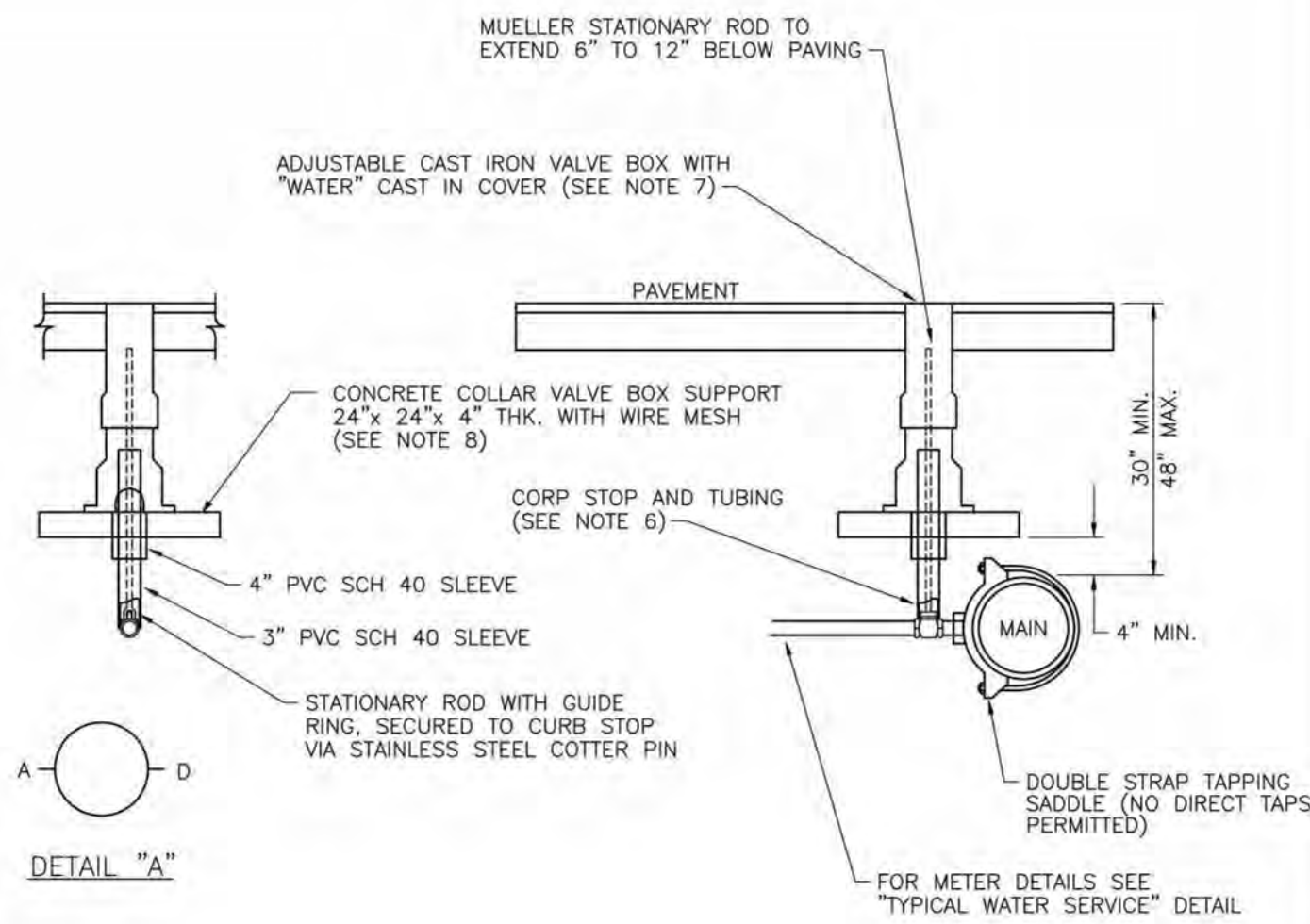
LAURENT B. VAN COTT, P.E.

SHEET
4
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12



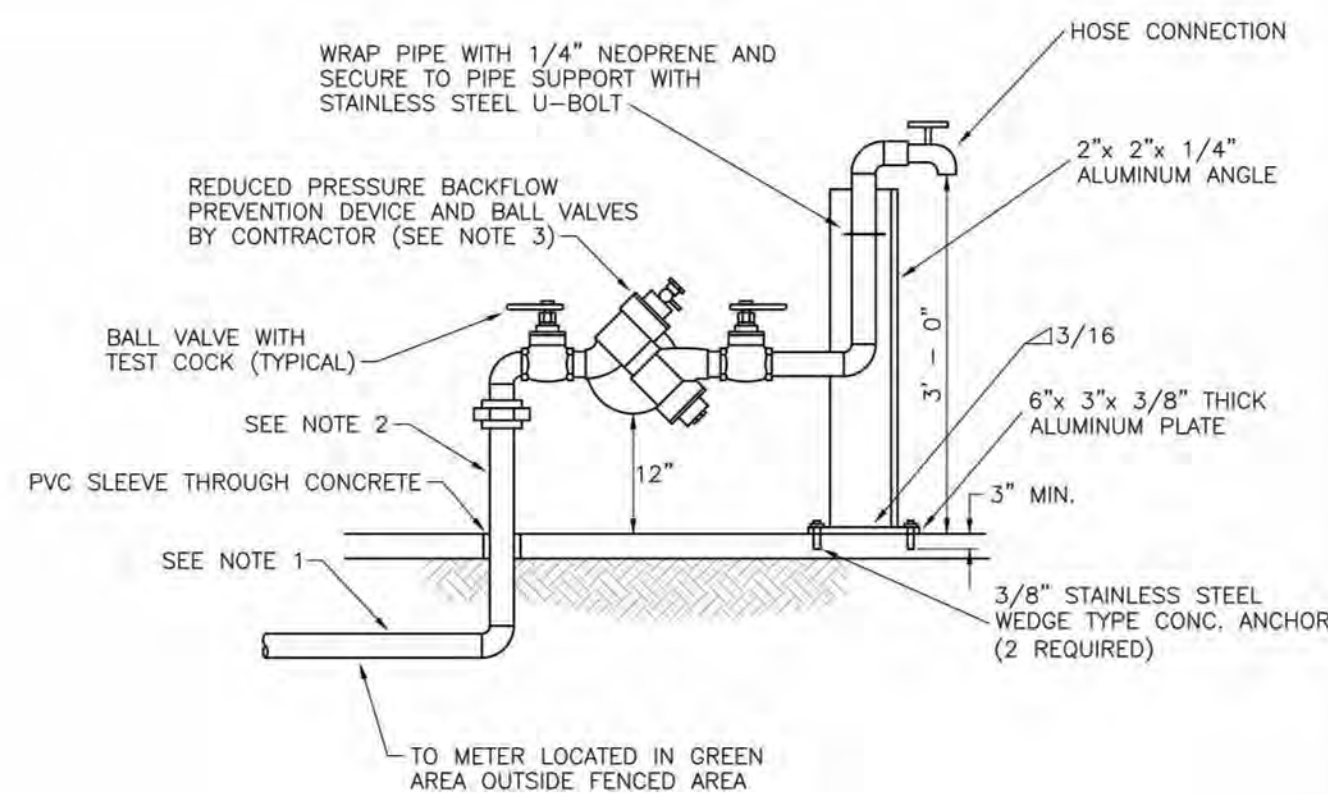
LAURENT B. VAN COTT, P.E.

		PBG GOLF COURSE		SEAL	
DATE	RECORD DRAWING DATA	BY	ON-SITE LS AND FM		
			SOUTHERN DESIGN GROUP, INC.		
			Engineering, Planning & Project Management 609 Hepburn Avenue, Suite 204 Jupiter, Florida 33458 561-743-0501		
DRAWN	LVC	EB# 5142	DATE	2/15	JOB NO. 13007
DESIGNED	LVC	CHECKED	LVC	SCALE	N/A
NO.	DATE	REVISIONS	BY	DRAWING NO.	
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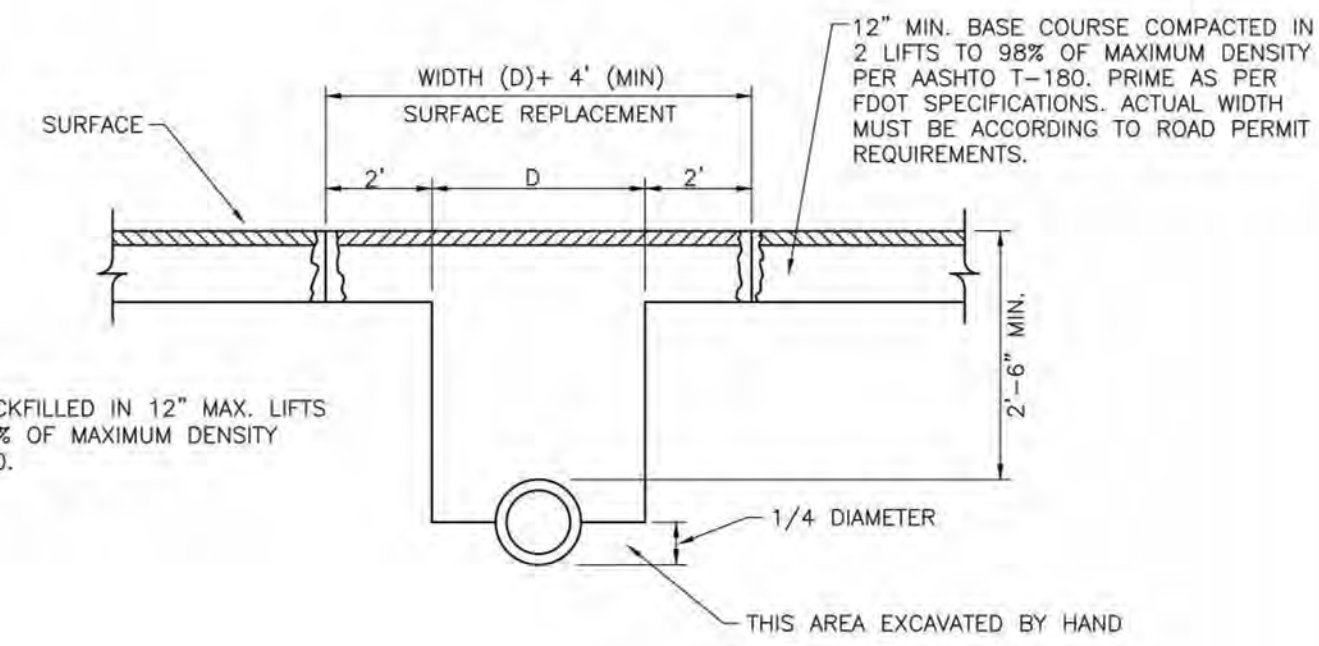
- NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)
- SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED A MINIMUM OF 18" OFFSET AND AT 90° FROM THE CENTERLINE AS SHOWN ON DETAIL "A".
 - COPPER TUBING SHALL BE TYPE "K" WITH COMPRESSION FITTINGS.
 - POLYETHYLENE TUBING SHALL BE SDR 9, COPPER TUBE SIZE.
 - BOTH COPPER AND POLYETHYLENE TUBING SERVICE LINES SHALL BE CONTINUOUS FROM CURB STOP TO ANGLE METER STOP WITH NO FITTINGS IN BETWEEN.
 - TAPPING SADDLES TO HAVE AWWA THREADS.
 - CORPORATION STOP AT THE MAIN TO HAVE MALE AWWA THREADS ON ONE SIDE AND BE COMPRESSION ON THE OTHER SIDE.
 - VALVE BOX SHALL BE 5 1/4" CAST IRON SCREW TYPE ADJUSTABLE.
 - CONCRETE COLLAR VALVE BOX SUPPORT TO BE PLACED ON COMPACTED SOIL TO SUPPORT VALVE BOX SO THAT A MINIMUM OF 4 INCHES EXISTS BETWEEN THE BOTTOM OF THE CONCRETE COLLAR AND THE TOP OF THE WATER MAIN.

Water Service Tap Under Pavement
August 27, 2014



- NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)
- TYPE "K" COPPER TUBING (SOFT DRAWN).
 - BOTH RISERS SHALL BE TYPE "K" COPPER TUBING (HARD DRAWN) WITH COPPER/BRASS SOLDER FITTINGS AND ADAPTERS. ONLY LEAD FREE SOLDER AND FLUX SHALL BE PERMITTED.
 - APPROVED BACKFLOW PREVENTION DEVICES WITH SILICONE RUBBER SEAL RINGS OR DISKS:
 - WATTS MODEL LF919 3/4" TO 2"
 - AMES MODEL LF400B 3/4" TO 2"
 - WILKINS XL2 3/4" TO 2"
 - BACKFLOW PREVENTION DEVICE SHALL BE EQUIPPED WITH BALL VALVES.
 - FOR PLACEMENT OF BACKFLOW ASSEMBLY WITHIN FENCED AREA SEE "TYPICAL LIFT STATION SITE PLAN" DETAIL.
 - BACKFLOW PREVENTION DEVICE SHALL BE SUPPORTED AT BOTH RISERS WITH ALUMINUM ANGLE AS SHOWN ABOVE. RISERS TO BE SECURED TO ANGLE WITH TYPE 304 SST MOUNTING HARDWARE AND NEOPRENE INSULATORS BETWEEN ALL DISSIMILAR METALS.

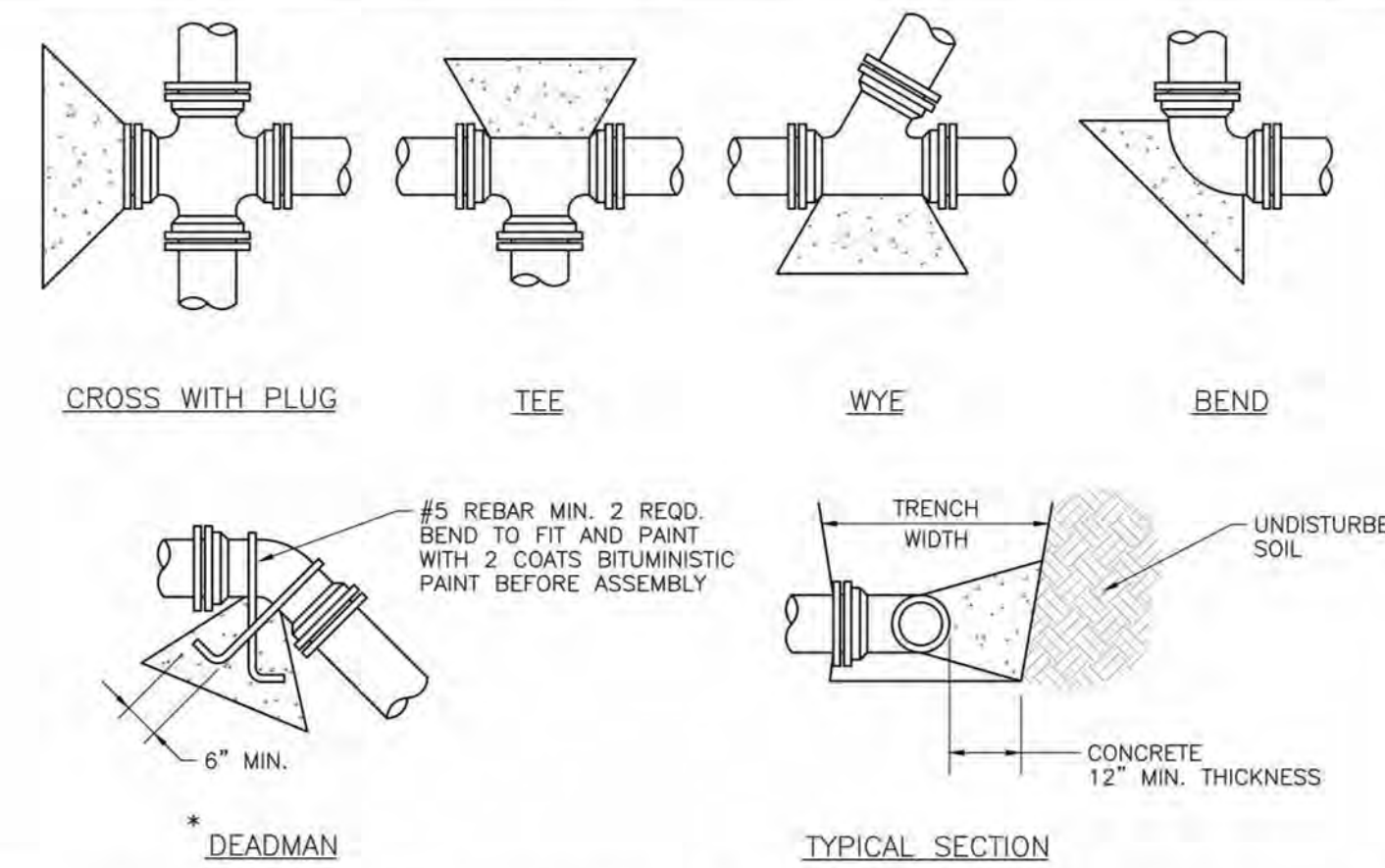
Lift Station Backflow Preventer Assembly
August 27, 2014



- NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)
- REPLACED BASE MATERIAL OVER DITCH SHALL BE A MINIMUM OF TWICE THE THICKNESS OF THE ORIGINAL BASE.
 - BASE MATERIAL SHALL BE PLACED IN A MINIMUM OF 2 LIFTS AND THOROUGHLY ROLLED OR TAMPED TO 98% OF MAXIMUM DENSITY PER AASHTO T-180.
 - ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWED.
 - SURFACE MATERIAL SHALL BE CONSISTENT WITH EXISTING SURFACE, WITH ASPHALT A MINIMUM OF 2" THICK.
 - A MINIMUM OF TWO DENSITY TESTS SHALL BE TAKEN FOR EACH SIX (6") INCH LIFT OF SUBGRADE AND EACH OPEN CUT CROSSING. ROAD CROSSINGS GREATER THAN 24 FEET IN WIDTH SHALL REQUIRE ONE ADDITIONAL TEST SITE FOR EACH ADDITIONAL 12 FEET OF PAVEMENT. WHEN THE SPECIFIED COMPACTED BASE IS GREATER THAN SIX AND ONE-HALF (6 1/2") INCHES, THE BASE SHALL BE CONSTRUCTED IN TWO OR MORE COURSES. PROCTORS FOR MATERIALS USED IN BACKFILLING SHALL BE OBTAINED BY A CERTIFIED LABORATORY. DENSITY TESTS SHALL BE CONDUCTED BY A CERTIFIED LABORATORY. THE PERCENTAGE OF MAXIMUM DENSITY REQUIRED SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "THE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AT THE TIME THE PERMIT WAS ISSUED. ALL DENSITY TESTS SHALL BE COMPLETED AND ACCEPTED ON EACH LAYER PRIOR TO ADDITIONAL BACKFILLING. A COPY OF ALL COMPLETED AND ACCEPTED DENSITY TESTS SHALL BE FURNISHED TO SUA UPON REQUEST. BACKFILL COMPACTION SHALL BE 98% OF MAXIMUM DENSITY PER AASHTO T-180.
 - ANY DAMAGE TO TRAFFIC SIGNALIZATION EQUIPMENT SHALL BE REPAIRED BY THE PALM BEACH TRAFFIC DIVISION AT THE CONTRACTOR'S EXPENSE.
 - THESE SPECIFICATIONS MAY BE SUPERSEDED BY THE PERMITTING AGENCY.
 - TEMPORARY ASPHALT OR CONCRETE PATCH MUST BE APPLIED THE SAME DAY AS THE BACKFILL.
 - TRAFFIC AREAS OR WHERE SAFETY TO THE PUBLIC IS AT ISSUE A TEMPORARY ASPHALT OR CONCRETE PATCH MUST BE IMMEDIATELY PLACED.

Pavement Replacement
August 27, 2014

INCLUDED ONLY FOR UNFORESEEN CIRCUMSTANCES INVOLVING EXIST. UTILITIES



ALL THRUST BLOCKS SHALL BE FORMED, LAID FORMS SHALL BE INSPECTED BY SUA PRIOR TO THE POURING OF CONCRETE AND SHALL ALSO BE INSPECTED BY SUA PRIOR TO COVER-ING. TYPICAL LOCATIONS WHICH REQUIRE CONCRETE REACTIONS (THRUST) BLOCKS, FOR PRESSURE MAINS FOUR INCHES (4") AND GREATER CONCRETE SHALL HAVE 2500 P.S.I. MINIMUM STRENGTH AT TWENTY EIGHT (28) DAYS AND BEAR AGAINST UNDISTURBED STABLE SOILS. AREA OF CONTACT SHALL BE GOVERNED BY PIPE SIZE, MAXIMUM PRESSURE IN PIPE, AND BEARING CAPACITY OF SOIL. PROTECT FITTINGS, BOLTS, ETC. BY COVERING WITH VISQUEUR OR OTHER ACCEPTABLE MATERIAL. CONCRETE SHALL BE A MINIMUM OF TWELVE INCHES (12") THICK.

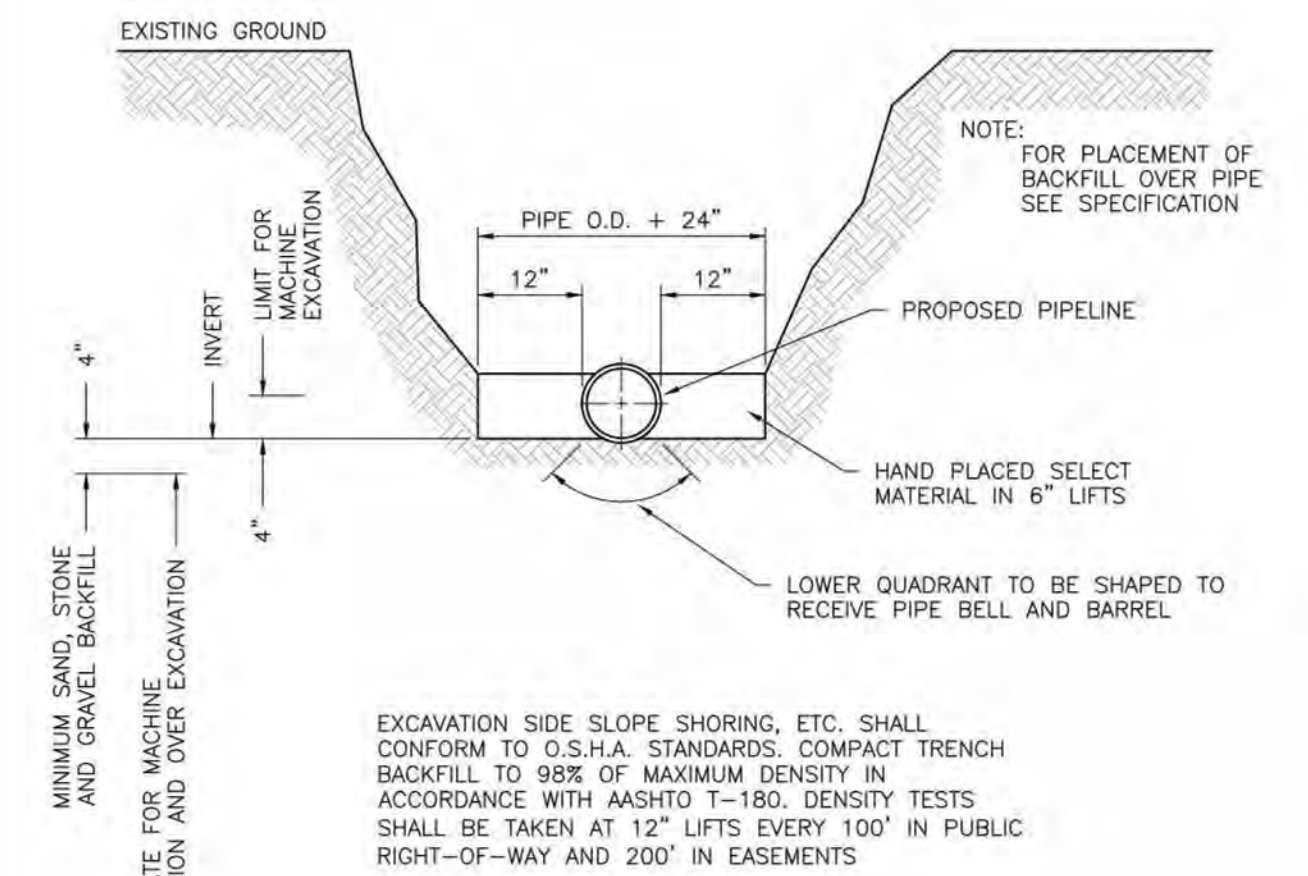
(PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)

PIPE	THRUST BLOCK SOIL BEARING AREA REQUIRED	PIPE	THRUST BLOCK SOIL BEARING AREA REQUIRED	REMARKS
4"	2.0 SQ. FT.	18"	30.0 SQ. FT.	VALUES ARE FOR 90° BEND, BASED ON 2000 P.S.F. SAFE BEARING LOAD AND PIPE PRESSURE OF 150 P.S.I. PLUS 33% SAFETY FACTOR FOR OTHER SOILS AND PRESSURES.
6"	4.0 SQ. FT.	20"	37.0 SQ. FT.	
8"	6.6 SQ. FT.	24"	53.0 SQ. FT.	
10"	10.0 SQ. FT.	27"	80.0 SQ. FT.	
12"	14.0 SQ. FT.	30"	98.0 SQ. FT.	
14"	18.0 SQ. FT.	36"	127.0 SQ. FT.	
16"	24.0 SQ. FT.			

* THE ENGINEER OF RECORD SHALL CALCULATE THE SIZE OF THE DEADMAN REQUIRED AS WELL AS ANY INSTALLATION WHICH IS NOT COVERED BY THE ABOVE.

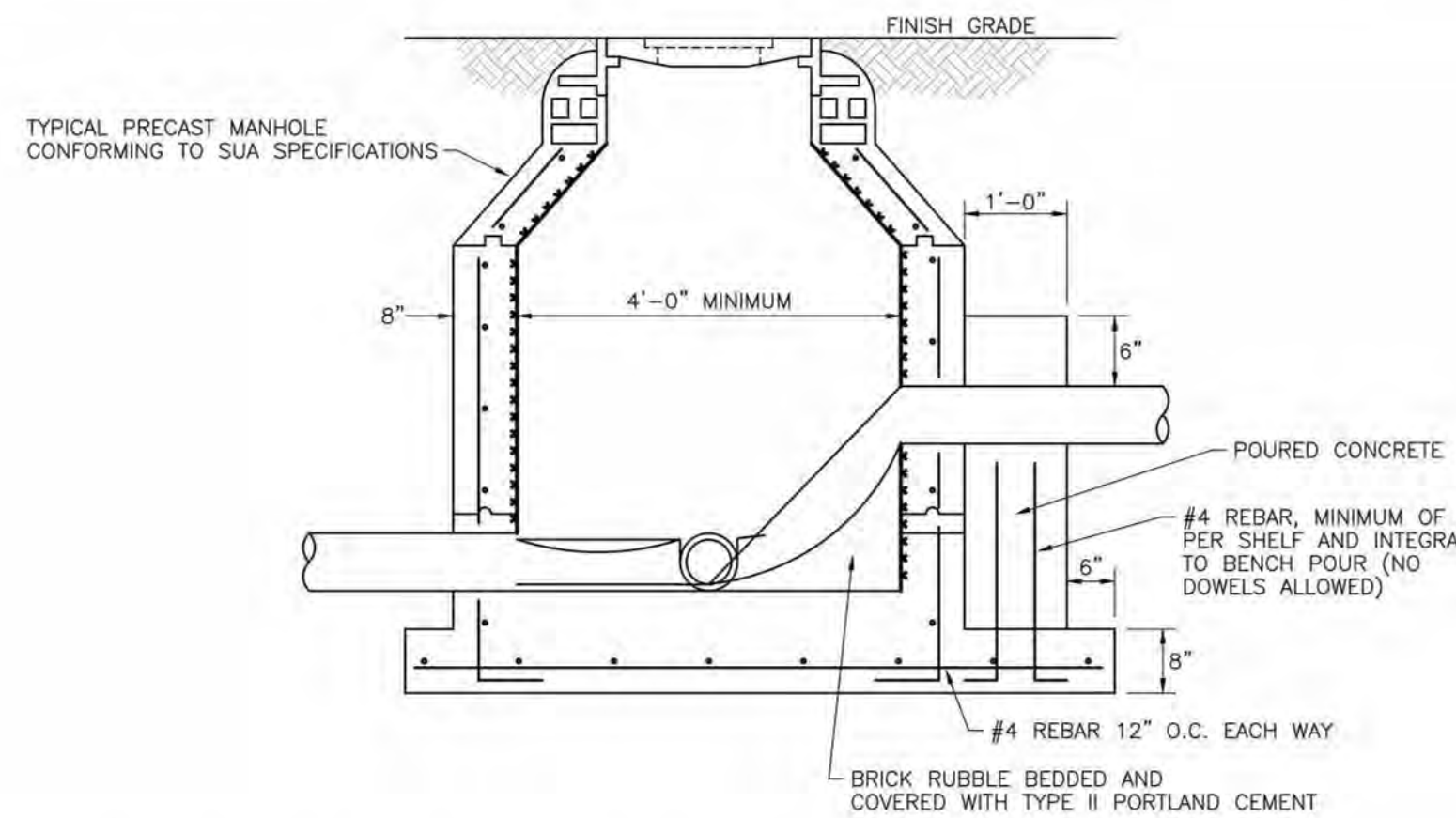
Thrust Blocks
August 27, 2014

(PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)



CONTRACTOR SHALL AT ALL TIMES COMPLY WITH THE REQUIREMENTS OF THE FLORIDA TRENCH SAFETY ACT.

Standard Trenching Procedure
August 27, 2014



- NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)
- INSIDE DROP TO BE USED WHEN DROP IS GREATER THAN 6 INCHES AND LESS THAN 24 INCHES.
 - A FLOW CHANNEL SHALL BE CONSTRUCTED INSIDE MANHOLE TO DIRECT INFLUENT INTO FLOW STREAM.
 - CONSTRUCTION OF DROP SHALL PROVIDE AN OVERSIZED SLAB TO EXTEND UNDER THE DROP CONNECTION.
 - MINIMUM PIPE SIZE FOR DROP IS 8".
 - SEE "STANDARD PRECAST MANHOLE" DETAIL FOR ADDITIONAL REQUIREMENTS.

Precast Manhole - Drop Connection Type B
August 27, 2014

NOTE-REFERENCE TO "SPECIFICATIONS" IS FOR THE CURRENT SUA MANUAL. CONTRACTOR SHALL HAVE ACCESS TO MANUAL AT ALL TIMES IN THE FIELD AND BE ABLE TO PRODUCE SAID MANUAL UPON REQUEST.

All pipe and pipe fittings installed under this project will be color coded or marked in accordance with subparagraph 62-555.320(21)(b)3, F.A.C., using blue as a predominant color. (Underground plastic pipe will be solid-wall blue pipe, will have a co-extruded blue external skin, or will be white or black pipe with blue stripes incorporated into, or applied to, the pipe wall; and underground metal or concrete pipe will have blue stripes applied to the pipe wall. Pipe striped during manufacturing of the pipe will have continuous stripes that run parallel to the axis of the pipe, that are located at no greater than 90-degree intervals around the pipe, and that will remain intact during and after installation of the pipe. If tape or paint is used to stripe pipe during installation of the pipe, the tape or paint will be applied in a continuous line that runs parallel to the axis of the pipe and that is located along the top of the pipe; for pipe with an internal diameter of 24 inches or greater, tape or paint will be applied in continuous lines along each side of the pipe as well as along the top of the pipe. Aboveground pipe will be painted blue or will be color coded or marked like underground pipe.) [FAC 62-555.320(21)(b)3]

SUA NOTES:
1) PAINT SHALL NOT BE APPLIED BY CONTRACTOR

IN ACCORDANCE WITH SUA SPECIFICATIONS

PUSH ON JOINT PIPE RESTRAINT REQUIREMENTS AT FITTINGS, VALVES AND DEAD ENDS

PIPE SIZE	90° BEND	45° BEND	22½° BEND	11¼° BEND	REDUCER	VALVE	DEAD END	TEE
4"	54'	54'	36'	36'	54'	72'	72'	72'
6"	54'	54'	36'	36'	54'	72'	72'	72'
8"	54'	54'	36'	36'	54'	72'	72'	72'
10"	54'	54'	36'	36'	54'	108'	108'	108'
12"	72'	72'	54'	54'	72'	108'	108'	108'
14"	72'	72'	54'	54'	72'	108'	108'	108'
16"	72'	72'	54'	54'	72'	154'	154'	154'
18"	72'	72'	54'	54'	72'	154'	154'	154'
20"	90'	90'	54'	54'	90'	154'	154'	154'
24"	90'	90'	54'	54'	90'	172'	172'	172'
30"	90'	90'	54'	54'	90'	180'	180'	180'
36"	90'	90'	54'	54'	90'	270'	270'	270'
42"	108'	108'	54'	54'	108'	270'	270'	270'
48"	108'	108'	54'	54'	108'	270'	270'	270'
54"	108'	108'	54'	54'	108'	270'	270'	270'

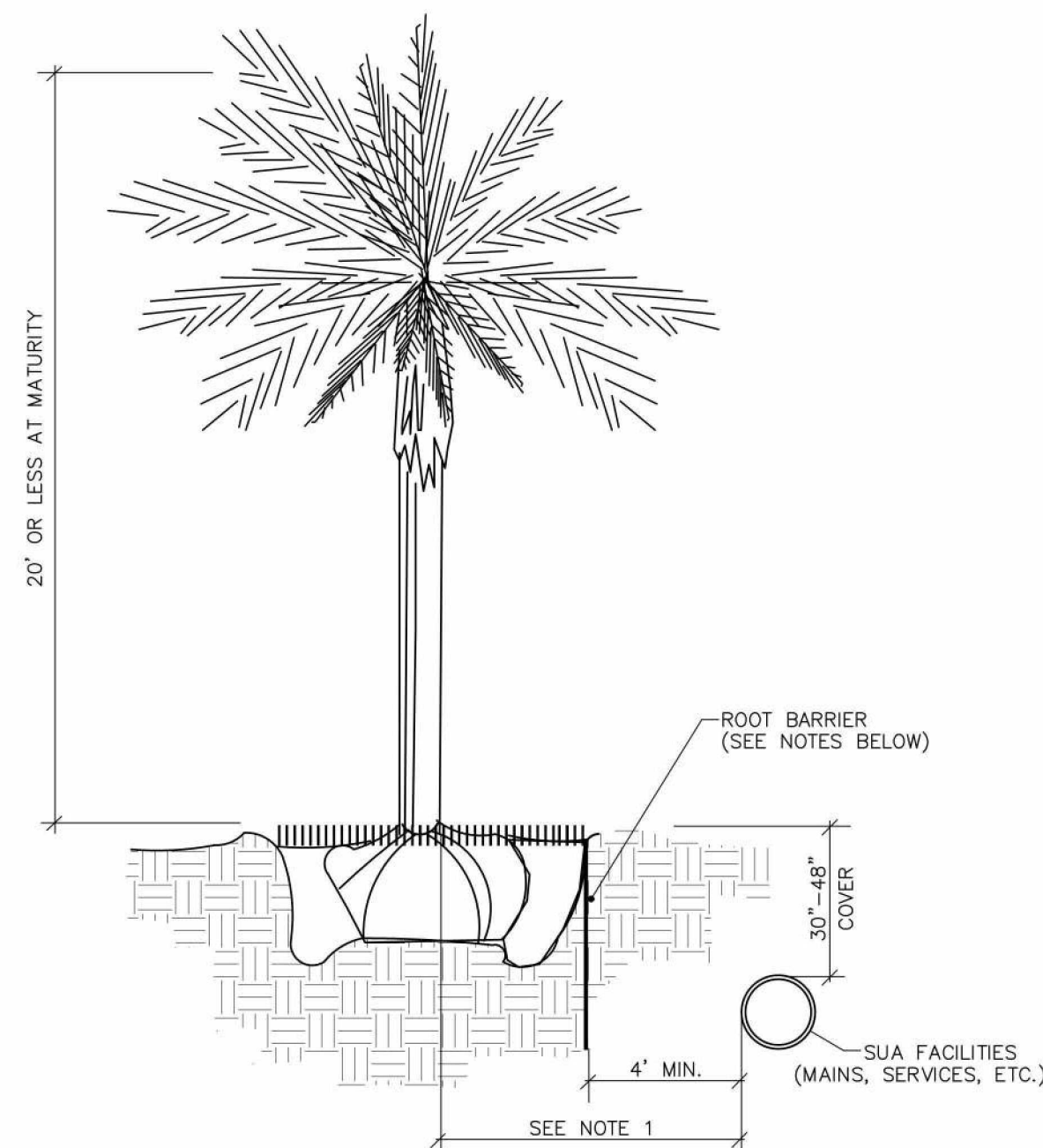
MINIMUM LENGTH OF PUSH ON JOINT PIPE WITH SPECIAL RESTRAINING GASKETS

NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)

- ALL BURIED PRESSURE MAINS SHALL INCLUDE A RESTRAINED JOINT SYSTEM. THE CONTRACTOR SHALL USE A DUCTILE IRON RESTRAINING SYSTEM AS MANUFACTURED BY EDAA IRON, INC. (MEGALUG) OR APPROVED EQUAL FOR ALL MECHANICAL JOINT FITTINGS AND LOCKING GASKETS FOR PUSH-ON JOINT PIPE.
- RESTRAINING LENGTHS SHOWN ARE THE MINIMUM LENGTH REQUIRED BASED ON A TEST PRESSURE OF 150 P.S.I.G. WITH A MINIMUM COVER OF 30".
- THRUST BLOCKS, IN ADDITION TO THE ABOVE OUTLINED RESTRAINTS, SHALL ALSO BE REQUIRED AT ALL TIE-INS TO EXISTING LINES. ALL TAPPING TEES ON EXISTING LINES, ALL NEW HYDRANTS, ALL ABOVE-GROUND ASSEMBLIES 3" AND LARGER AND MAINS GREATER THAN 12" IN DIAMETER.
- IF LENGTH BETWEEN MECHANICAL JOINT FITTINGS AND/OR VALVES IS LESS THAN THE MINIMUM LENGTHS SHOWN IN THIS TABLE, THE CONTRACTOR SHALL RESTRAIN THE ENTIRE LENGTH.

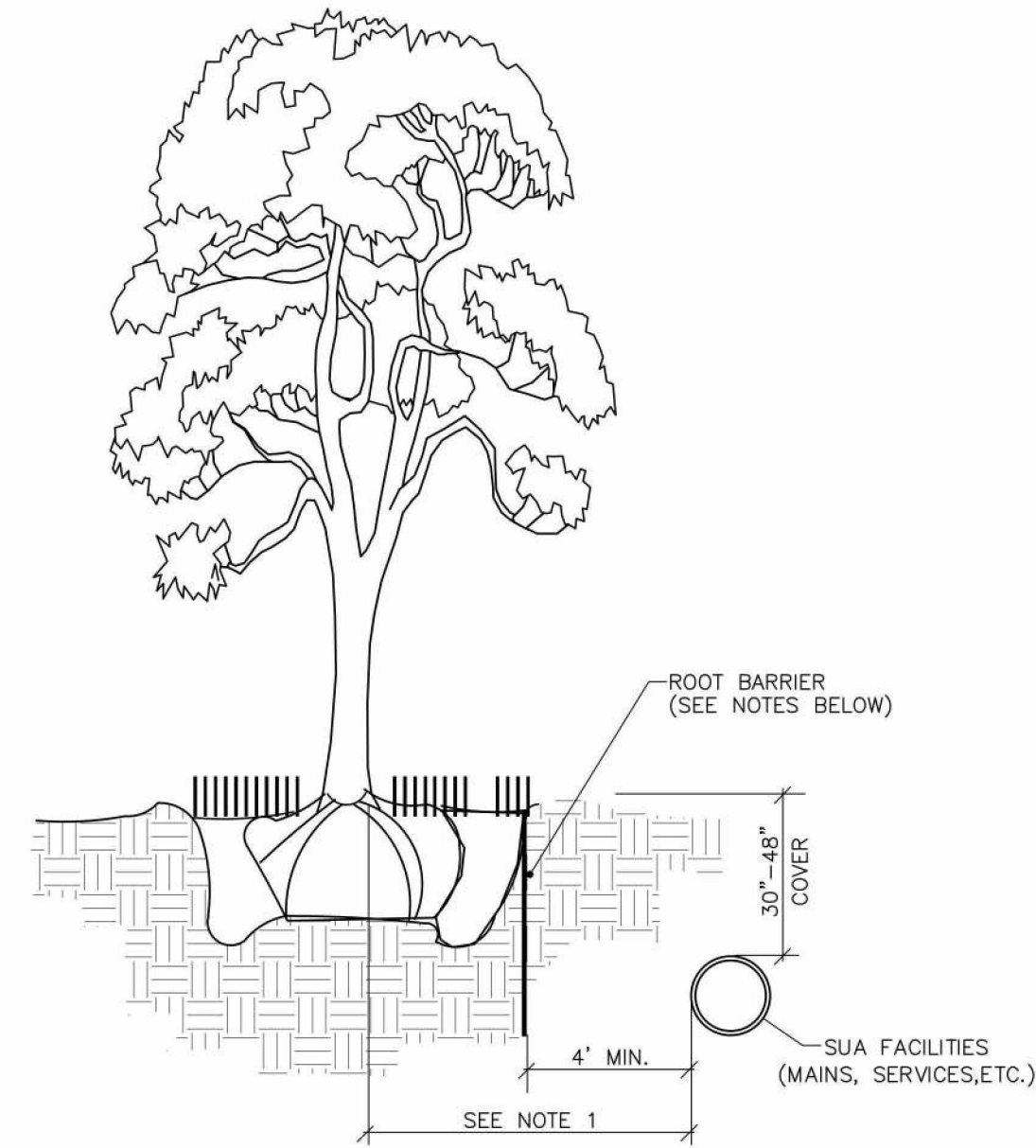
Pipe Restraint Table
August 27, 2014

DATE				RECORD DRAWING DATA				BY				
PBG GOLF COURSE SEACOAST UTILITY AUTHORITY WATER & SEWER DETAILS SOUTHERN DESIGN GROUP, INC. Engineering, Planning & Project Management 609 Hepburn Avenue, Suite 204 Jupiter, Florida 33458 561-743-0501												SEAL
DRAWN LVC EB# 5142 DATE 2/15 JOB NO. 14033 DESIGNED SVA/LVC CHECKED LVC SCALE N/A DRAWING NO.												SHEET 9 OF 12
NO. DATE REVISIONS												LAURENT B. VAN COTT, P.E.



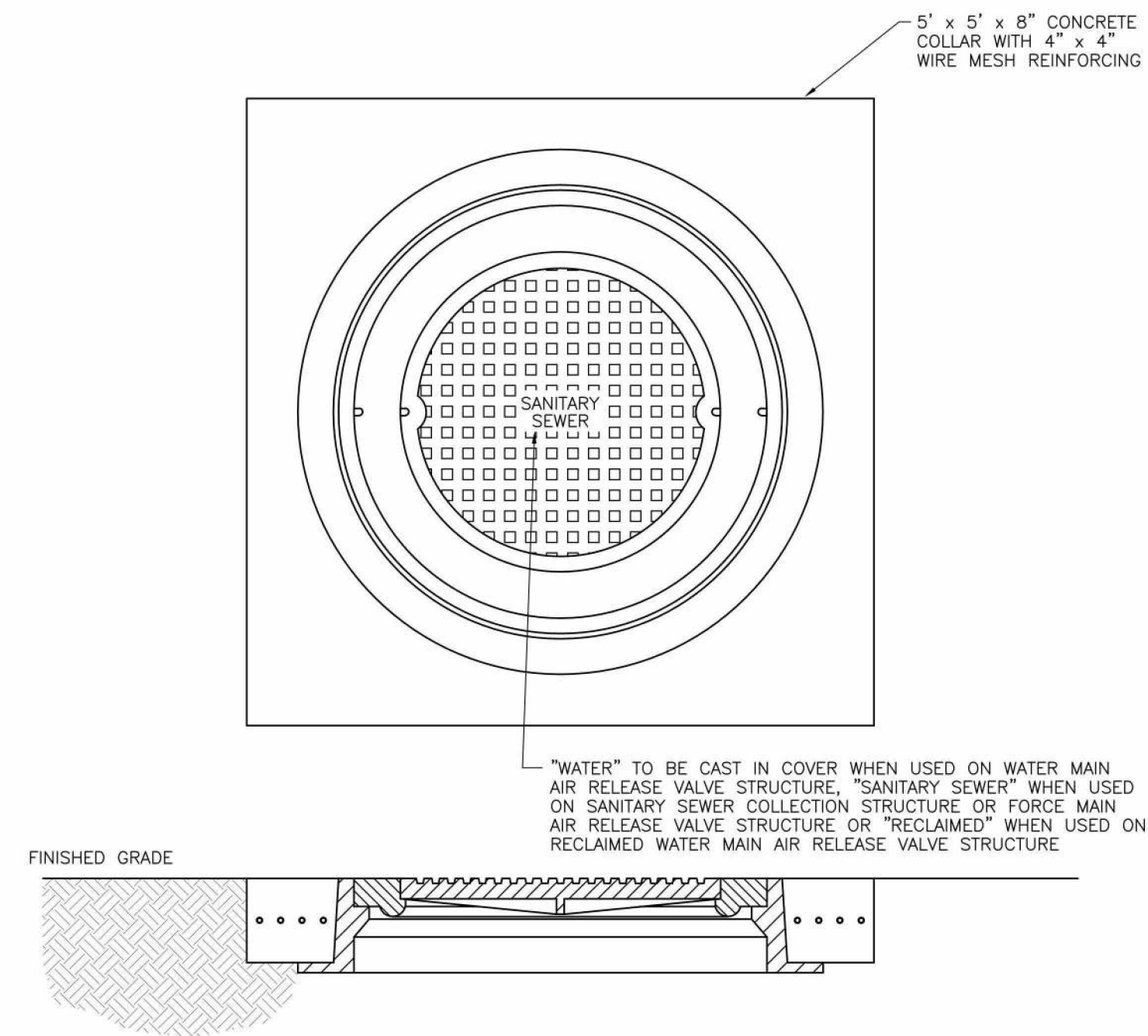
- NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)
1. THIS DISTANCE SHALL BE 7' MINIMUM WITH ROOT BARRIER AND 10' MINIMUM IF NO ROOT BARRIER IS USED.
 2. ALL ROOT BARRIERS SHALL BE 4' MINIMUM FROM ALL SEACOAST FACILITIES.
 3. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH SEACOAST AND INSPECTED BY SEACOAST PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
 4. ROOT BARRIERS SHALL BE MINIMUM 3/8" DEEP. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 3/8" PANELS MANUFACTURED BY BIOBARRIER.
 5. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

Typical Small Tree or Palm Tree with Root Barrier
August 27, 2014



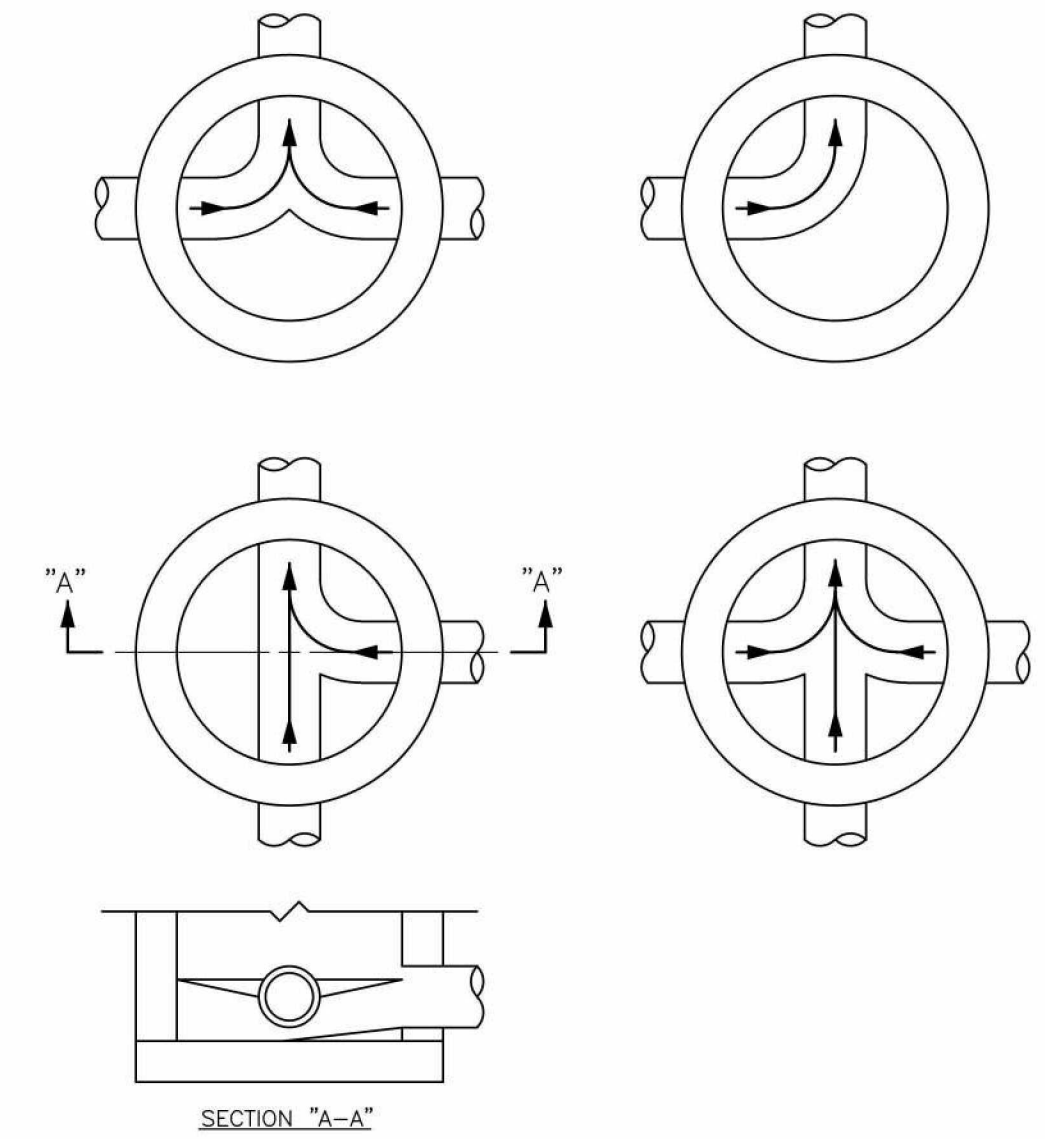
- NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)
1. THIS DISTANCE SHALL BE 10' MINIMUM WITH ROOT BARRIER AND 15' MINIMUM IF NO ROOT BARRIER IS USED.
 2. ALL ROOT BARRIERS SHALL BE 4' MINIMUM FROM ALL SEACOAST FACILITIES.
 3. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH SEACOAST AND INSPECTED BY SEACOAST PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
 4. ROOT BARRIERS SHALL BE MINIMUM 3/8" DEEP. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 3/8" PANELS MANUFACTURED BY BIOBARRIER.
 5. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
 6. LARGE PALM TREES INCLUDE ROYAL, WASHINGTONIAN, BISMARCK AND SIMILAR SIZED SPECIES.

Typical Canopy Tree, Large or Exotic Palm Tree with Root Barrier
August 27, 2014



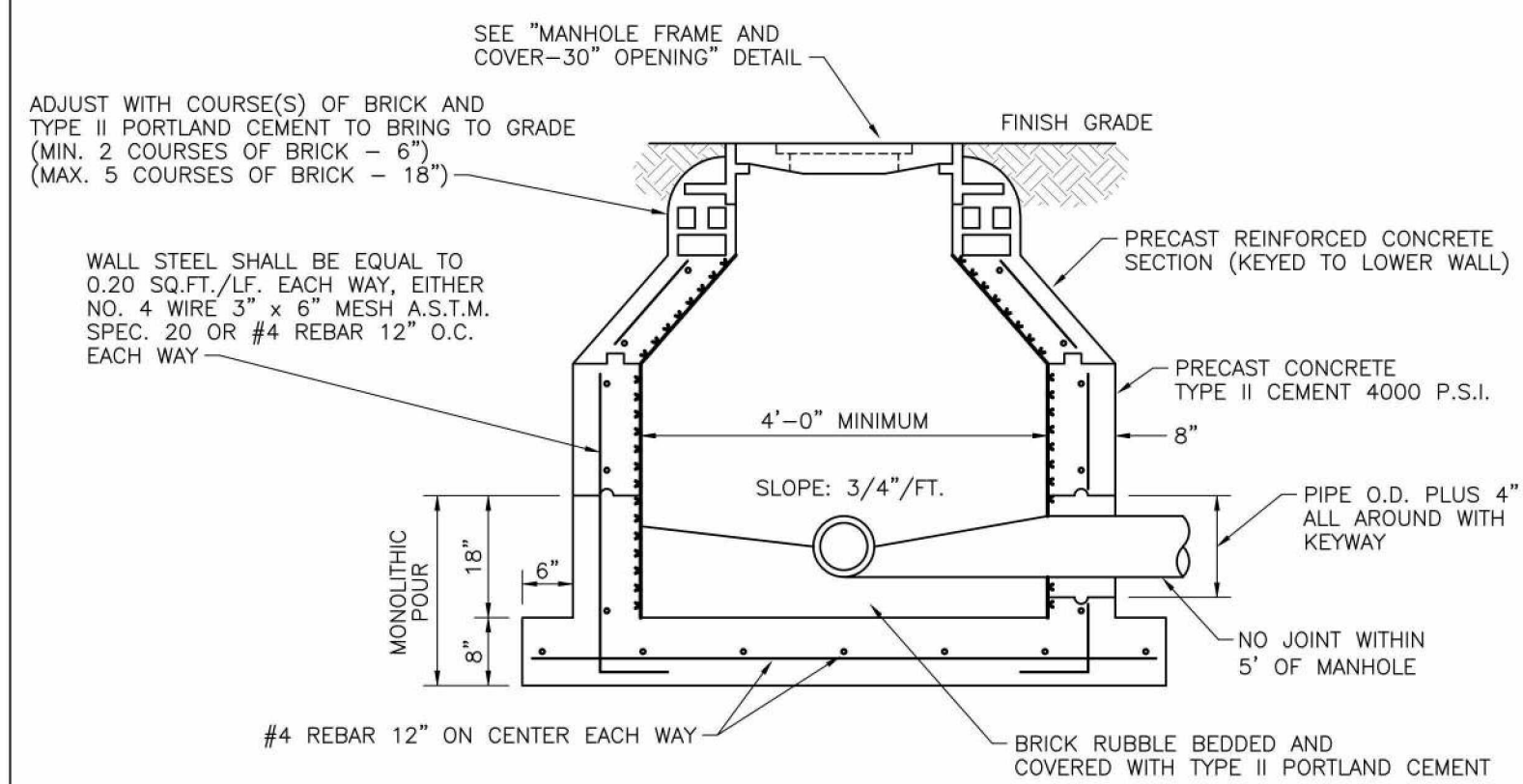
- NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)
1. IN GREEN AREAS OR ANY AREA DEEMED TO HAVE QUESTIONABLE DRAINAGE, A WATER TIGHT MANHOLE INSERT SUCH AS "SEWER GUARD" OR APPROVED EQUAL WILL BE REQUIRED.
 2. APPROVED MANHOLES (DOUBLE COVER TYPE):
A) U.S. FOUNDRY MODEL No. 230-AB-M
B) VULCAN FOUNDRY MODEL No. VM-101
 3. CONCRETE COLLAR IS REQUIRED ONLY WHEN MANHOLE IS OUT OF PAVEMENT.

Manhole Frame and Cover (30" Opening)
August 27, 2014



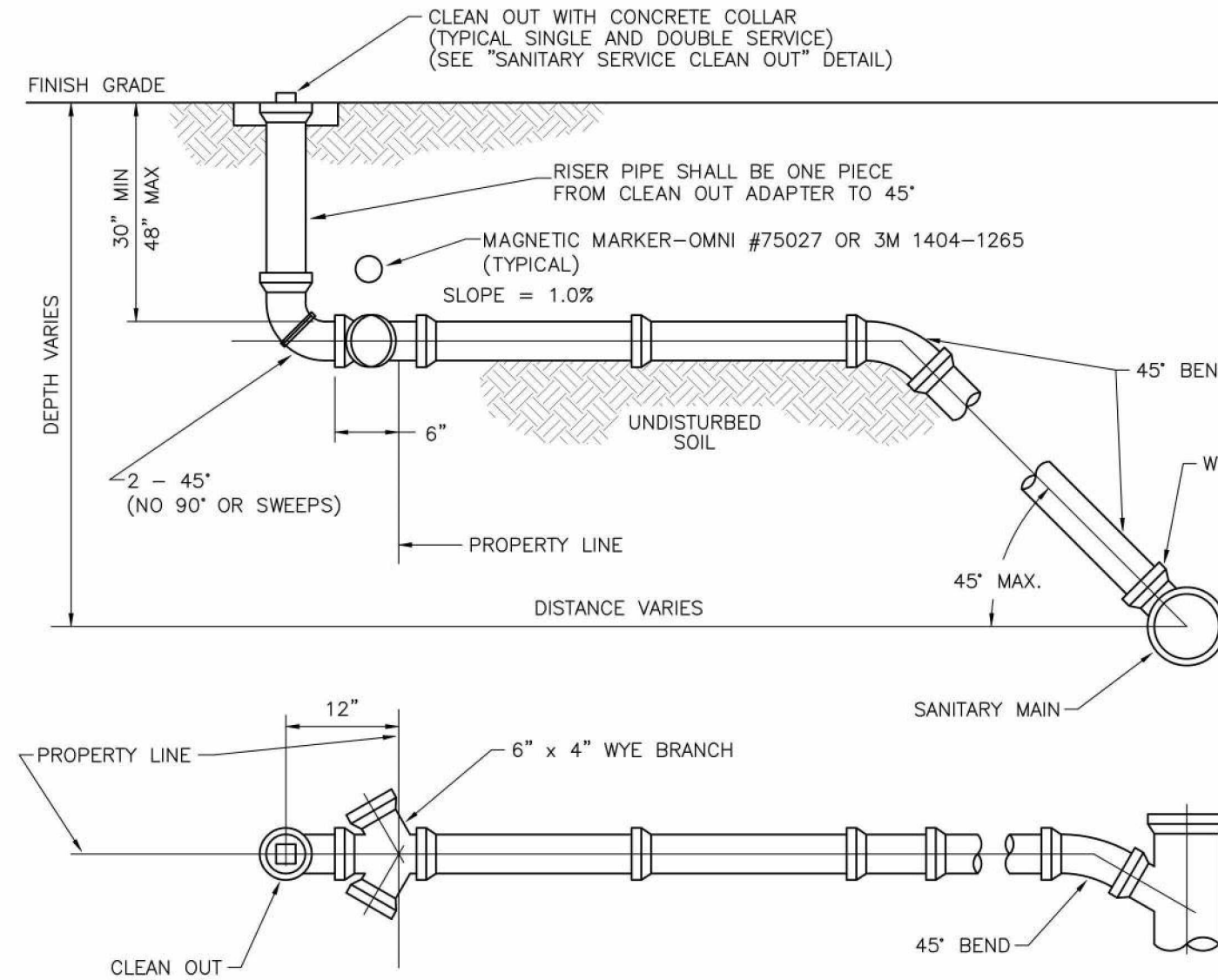
- NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)
1. INVERT CHANNELS TO BE CONSTRUCTED FOR SMOOTH FLOW WITH NO OBSTRUCTIONS.
 2. SPILLWAYS SHALL BE CONSTRUCTED BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS PROVIDING FOR SMOOTH FLOWS.
 3. CHANNELS FOR FUTURE CONSTRUCTIONS (STUBS) SHALL BE CONSTRUCTED, FILLED WITH SAND, AND COVERED WITH 1" OF MORTAR.
 4. SLOPE MANHOLE ITSELF WITH A 1:2 SLOPE FROM MANHOLE WALL TO CHANNEL.
 5. INVERT SHALL BE A MINIMUM OF 1/2 THE DIAMETER OF THE LARGEST PIPE OR 4" DEEP.

Flow Patterns for Invert Channels
August 27, 2014



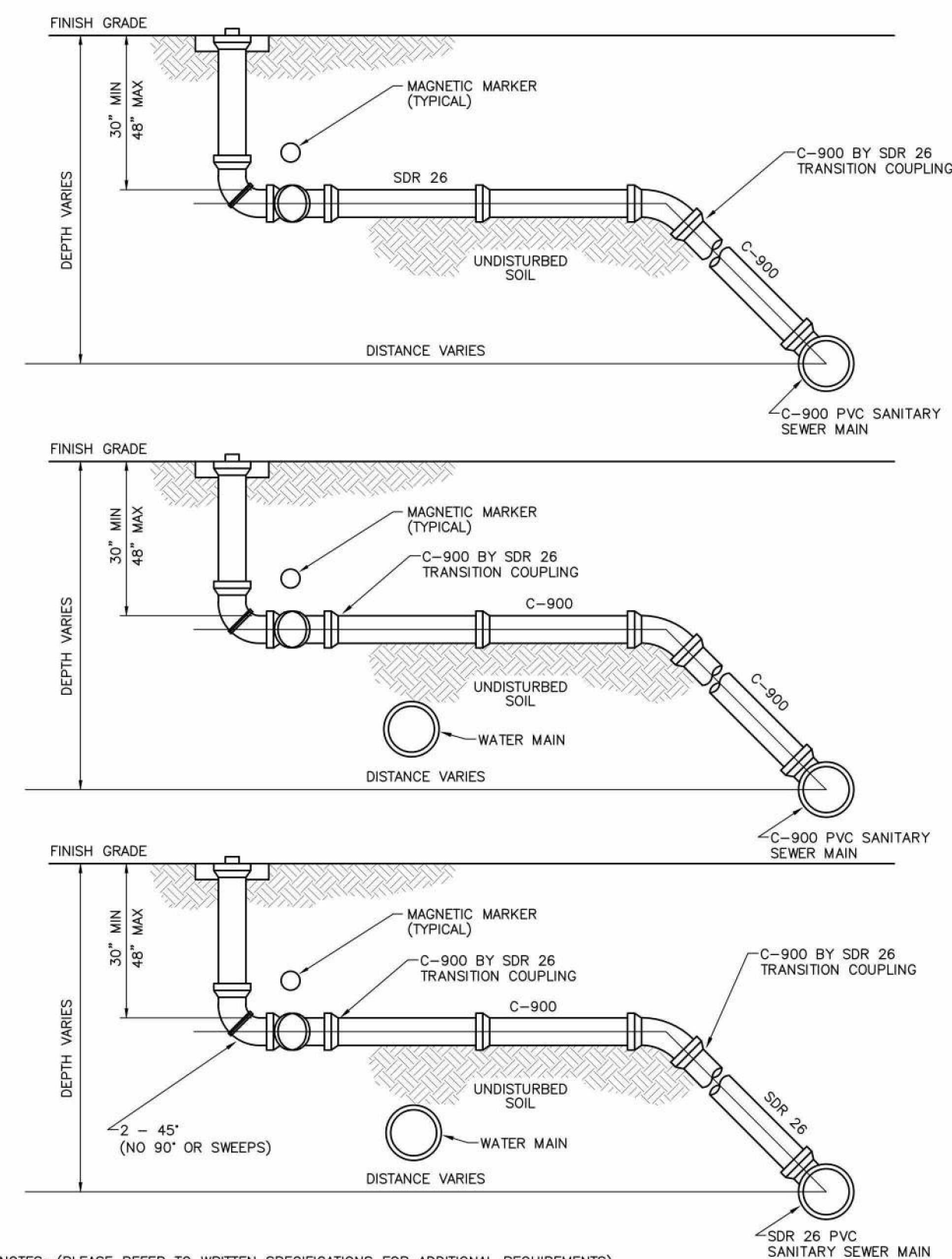
- NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)
1. MANHOLES SHALL CONFORM TO A.S.T.M. C478.(MIN.)
 2. WALL REINFORCEMENTS A.S.T.M. DESIGNATION A185-64.(LATEST REVISION)(MIN.)
 3. IF TWO CAGES OF WIRE MESH ARE USED, ONE SHALL BE POSITIONED 3" FROM THE INSIDE SURFACE AND ONE 3" FROM THE OUTSIDE SURFACE. IF A SINGLE CAGE OR REBAR IS USED, IT SHALL BE CENTERED WITHIN WALL THICKNESS. NO EXPOSED STEEL SHALL BE PERMITTED.
 4. LIFT HOLES THROUGH PRECAST STRUCTURE ARE PERMITTED.
 5. A MINIMUM OF SEVEN DAYS CURE TIME IS REQUIRED PRIOR TO DELIVERY.
 6. ALL PIPE HOLES SHALL BE PRECAST OR CORE DRILLED. OVERSIZED HOLES WILL BE REJECTED.
 7. ANY VISIBLE REINFORCING WIRE, STEEL OR HONEYCOMBS SHALL BE CAUSE FOR REJECTION.
 8. SEE TECHNICAL SPECIFICATIONS FOR BEDDING REQUIREMENTS.
 9. "RAM-NEK" OR APPROVED EQUAL AT ALL RISER JOINTS (1/2" THICK WITH WIDTH AT LEAST 1/2 THE WALL THICKNESS) WITH GROUT ON INSIDE AND OUTSIDE.
 10. ALL OPENINGS SHALL BE SEALED USING ONLY TYPE II PORTLAND CEMENT/SAND MORTAR AND POTABLE WATER FOR MUD WORK ON JOINTS, LIFTING HOLES, INVERTS, ETC. WHEN AN ACCELERATOR IS NECESSARY, "ANTI HYDRO" IS THE ONLY PRODUCT APPROVED.
 11. BRICK MASONRY CONSTRUCTION TO BE STUCCOED WITH 3/4" TYPE II CEMENT INSIDE AND OUTSIDE, AND INSIDE TO BE COATED WITH TWO COATS OF KOPPERS 300 OR APPROVED EQUAL.
 12. A FLOW CHANNEL SHALL BE CONSTRUCTED INSIDE MANHOLE TO DIRECT INFLUENT INTO FLOW STREAM, AND COATED WITH TWO COATS OF KOPPERS 300 OR APPROVED EQUAL.
 13. INTERIOR OF ALL SANITARY MANHOLES SHALL HAVE AGRU SURE GRIP CONCRETE PROTECTIVE LINER INSTALLED AT THE TIME OF MANUFACTURING. SEE "AGRU SURE GRIP LINER DETAILS" DRAWING FOR ADDITIONAL AGRU SURE GRIP REQUIREMENTS.

Standard Precast Manhole
August 27, 2014



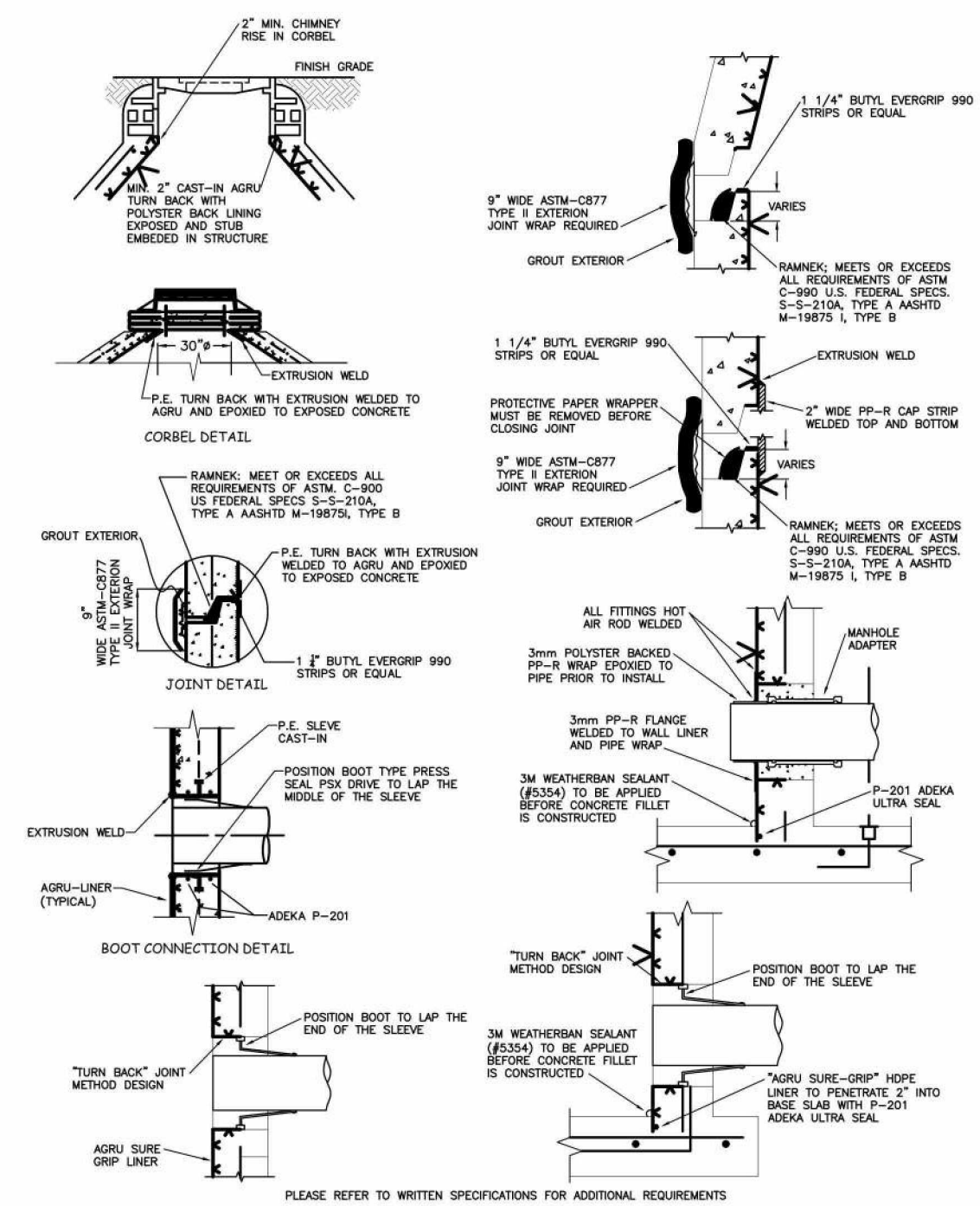
- NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)
1. THE END OF EACH SERVICE CONNECTION SHALL BE MARKED WITH A 2" x 2" TREATED WOOD STAKE AND AN E.M.S. SANITARY SEWER MARKER.
 2. EACH SERVICE CONNECTION SHALL BE PLUGGED WATERTIGHT WITH AN APPROVED CAP OR PLUG.
 3. CUT OFF BELL END WHEN USING FERRENCO COUPLING FOR VCP (FOR EXISTING SERVICES ONLY)
 4. FOR PVC INSTALLATIONS, CONNECT TO EXISTING "BELL END" AND CONNECT OPPOSITE END WITH PVC TO PVC KNOCK ON SLEEVE.
 5. SOLIDLY TAMP BACKFILL AT LEAST ONE FOOT ABOVE TOP OF PIPE. SERVICES UNDER PAVED AREAS SHALL BE BACKFILLED TO THE SAME SPECIFICATIONS AS SHOWN ON "PAVEMENT REPLACEMENT" DETAIL.
 6. CONTRACTOR SHALL MARK ON A CLEAN SET OF PLANS THE FINAL STATIONING OR DISTANCE AND DIRECTION FROM MANHOLE TO EACH SERVICE LATERAL AND GIVE TO ENGINEER FOR RECORD DRAWING PURPOSES.
 7. ANY DEVIATION FROM THESE METHODS MUST BE APPROVED BY SUA.
 8. THE USE OF UNNECESSARY FITTINGS ON THE CUSTOMERS LINE TO REDUCE EXCAVATION EFFORTS WILL BE CAUSE FOR REJECTION.
 9. THE USE OF 90° SWEEPS ON THE CUSTOMERS LINE IN LIEU OF 45° BENDS WILL REQUIRE AN ADDITIONAL CLEAN OUT AS SHOWN ON "SANITARY SERVICE CLEAN OUT DETAIL". THE CLEAN OUT SHALL BE ON THE HOUSE SIDE OF THE TOP SWEEP WITHIN 2' OF THE SWEEP.

Sewer Service Connection (Wye Branch)
August 27, 2014



- NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)
- WHERE NO WATER MAIN EXISTS AND SANITARY MAIN IS SDR 26 PVC, LATERAL FROM MAIN TO CLEAN OUT SHALL BE SDR PVC.
- SEWER SERVICE LATERALS SHALL CROSS UNDER WATER MAINS WITH A MINIMUM VERTICAL SEPARATION OF TWELVE (12) INCHES. IF 12" VERTICAL SEPARATION CANNOT BE MAINTAINED, THEN THE WATER MAIN SHALL BE D.I.P. AND THE SEWER SERVICE LATERAL SHALL BE C-900 SDR 18 OR BETTER AND THE MINIMUM SEPARATION SHALL BE SIX (6) INCHES. WHEN IT IS NOT POSSIBLE FOR THE WATER MAIN TO CROSS OVER THE SEWER SERVICE LATERAL A MINIMUM VERTICAL SEPARATION OF AT LEAST TWELVE (12) INCHES MUST BE MAINTAINED. THE WATER MAIN SHALL BE D.I.P. AND THE SEWER LATERAL SHALL BE C-900 SDR 18 OR BETTER.

C-900 Sewer Service Transition
August 27, 2014



Agru Sure Grip Liner Details
August 27, 2014

PBG GOLF COURSE				LAURENT B. VAN COTT, P.E.	
SEACOAST UTILITY AUTHORITY				SEAL	
WATER & SEWER DETAILS					
SOUTHERN DESIGN GROUP, INC.					
Engineering, Planning & Project Management					
609 Hepburn Avenue, Suite 204					
Jupiter, Florida 33458				561-743-0501	
DRAWN	LVC	EB# 5142	DATE	2/15	JOB NO.
DESIGNED	SUA/LVC	CHECKED	LVC	SCALE	N/A
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