

**CITY OF PALM BEACH GARDENS  
CITY COUNCIL  
Agenda Cover Memorandum**

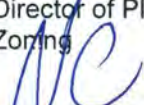
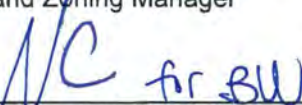



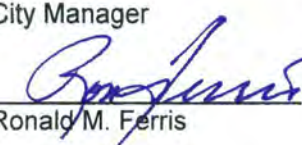
**Meeting Date: November 16, 2016  
Resolution 72, 2016**

**Subject/Agenda Item:**

**Turtle Beach Planned Unit Development Amendment and Major Conditional Use Public Hearing and Consideration for Approval:** A request from 4506 PGA Blvd, LLC for approval of a Planned Unit Development (PUD) Amendment and Major Conditional Use at the Turtle Beach PUD for a two- (2) story, 9,000-square-foot building with bank and professional office uses and a drive-through ATM. The Turtle Beach PUD is generally located 550 feet west of the intersection at Military Trail on the south side of PGA Boulevard.

**[X] Recommendation to APPROVE**

**[ ] Recommendation to DENY**

<p><b>Reviewed by:</b> Director of Planning and Zoning  Natalie M. Crowley, AICP</p> <p>Development Compliance and Zoning Manager  Bahareh Wolfs, AICP</p> <p>City Attorney  R. Max Lohman, Esq.</p>	<p><b>Originating Dept.:</b> Planning &amp; Zoning: Project Manager  Erin Kelley Planner</p> <p>[X] Quasi – Judicial [ ] Legislative [X] Public Hearing</p> <p><b>Advertised:</b> [X] Required [ ] Not Required Date: 11/1/2016 Paper: Palm Beach Post</p>	<p><b>Finance:</b> Accountant  Tresha Thomas</p> <p><b>Fees Paid:</b> <u>N/A</u></p> <p><b>Funding Source:</b> [ ] Operating [X] Other <u>N/A</u></p> <p><b>Budget Acct. #:</b> <u>N/A</u></p> <p>Effective Date: <u>N/A</u></p> <p>Expiration Date: <u>N/A</u></p>	<p><b>Council Action:</b> [ ] Approved [ ] Approved w/ Conditions [ ] Denied [ ] Continued to: _____</p>
<p><b>Approved By:</b> City Manager  Ronald M. Ferris</p>	<p><b>Affected parties:</b> [ X ] Notified [ ] Not Required</p>	<p><b>Attachments:</b></p> <ul style="list-style-type: none"> <li>• Development Application</li> <li>• Location Map</li> <li>• Resolution 72, 2016</li> </ul>	



## **EXECUTIVE SUMMARY**

The subject petition is a request for approval of a Planned Unit Development (PUD) Amendment to allow a two- (2) story, 9,000-square-foot building with 7,500 square feet of professional office use and 1,500 square feet of bank use with a drive-through on 1.01 acres of land. The proposed bank/financial institution with a drive-through is a Major Conditional Use in the Professional Office zoning district pursuant to City Code Section 78-159, *Table 21, Permitted, Conditional, and Prohibited Use Chart*. The Applicant is requesting two (2) waivers.

Staff recommends approval of the PUD Amendment and the Major Conditional Use.

## **BACKGROUND**

On October 5, 1995, the City Council adopted Ordinance 10, 1995, approving a Future Land Use (FLU) Map amendment for the subject parcel from Residential Medium (RM) to Professional Office (PO).

On April 5, 2007, the City Council adopted Ordinance 6, 2007, approving a rezoning from Residential Medium (RM) to Professional Office (PO) with a Planned Unit Development (PUD) Overlay, to be known as the Turtle Beach PUD.

On April 5, 2007, the City Council adopted Resolution 17, 2007, approving the Turtle Beach PUD Site Plan for a 5,150-square-foot building with bank and general office uses and a Major Conditional Use for a drive-through.

On January 5, 2012, the City Council adopted Resolution 1, 2012, approving an amendment to the Turtle Beach PUD Site Plan to allow a 3,012-square-foot bank with drive-through.

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## **LAND USE & ZONING**

The land-use designation of the subject site, as shown on the City's Future Land Use Map, is Professional Office (PO) and has a zoning designation of Professional Office (PO) with a Planned Unit Development (PUD) Overlay. The subject parcel also lies within the PGA Boulevard Corridor Overlay. The existing land uses and zoning designations of the properties surrounding the subject site are provided in the table below.

**Table 1. Existing Zoning and Future Land-Use Designations**

<b>EXISTING USE</b>	<b>ZONING</b>	<b>LAND USE</b>
<u>Subject Property</u> Turtle Beach PUD	Professional Office (PO) / Planned Unit Development (PUD) / PGA Overlay	Professional Office (PO)
<u>North</u> Midtown PUD	Mixed-Use (MXD) / Planned Unit Development (PUD) / PGA Overlay	Mixed Use (MXD)
Garden Lakes and Garden Square Shoppes PUD	General Commercial-1 (CG-1) / Planned Unit Development (PUD) / PGA Overlay	Commercial (C)
<u>South</u> Garden Isles (PGA Golf Club Estates)	Residential Low-2 (RL-2)	Residential Low (RL)
<u>East</u> SunTrust Building	General Commercial-1 (CG-1) / Planned Unit Development (PUD) / PGA Overlay	Commercial (C)
<u>West</u> PGA Commons PUD	Mixed Use (MXD) / Planned Unit Development (PUD) / PGA Overlay	Mixed Use (MXD)

## **CONCURRENCY**

### **Traffic**

On June 22, 2016, the City's Traffic Consultant, Simmons and White, completed the review of the Applicant's traffic impact statement and confirmed that the proposed development is consistent with the requirements of the Traffic Performance Standards (TPS) of Palm Beach County. A letter of approval was issued with a build-out date of December 31, 2020. The proposed project result is a *de minimus* number of peak-hour trips (30 AM and 28 PM).

### **Drainage**

The project site is located within the South Florida Water Management District (SFWMD), North Palm Beach County Improvement District (NPBCID), and Palm Beach Gardens



jurisdictions. The proposal establishes legal positive outfall under permit number 50-01923-S issued by SFWMD in 1992. The proposed changes match conceptual assumptions for site improvements and do not adversely impact the surface water management system. The surface water management system consists of pipes, inlets, and an exfiltration trench. Ultimate discharge is the C-17 Canal via the Thompson River. The system will continue to meet the storm water requirements of SFWMD, NPBCID, and Palm Beach Gardens. The Drainage Statement was submitted with the subject PUD Amendment petition and was reviewed and accepted by the City's Engineering Department.

## **PROJECT DETAILS**

### **Existing Site Details**

The Turtle Beach PUD is approximately 1.01 acres in size and is generally located on the south side of PGA Boulevard, approximately 550 feet west of the intersection at PGA Boulevard and Military Trail. Currently, the subject parcel is vacant. The previous approved development via Resolution 1, 2012 was never implemented and has subsequently expired.

### **Proposed Site Plan and Points of Access**

The Applicant is requesting approval for a new one- (1) story, 9,000-square-foot building that consists of 7,500 square feet of professional office use and 1,500 square feet of bank use. The site design also incorporates a remote ATM for the bank use. The site plan proposes a maximum lot coverage of 10.4%, which is approximately 25% below the Code requirement for the Professional Office zoning district. Access to the site will be provided through an existing ingress/egress point along PGA Boulevard. This access point will be shared with the adjacent SunTrust building. Pedestrian access will be provided through the connection of the pedestrian sidewalk to a pedestrian plaza north of the proposed building with frontage on PGA Boulevard with a fountain, two (2) benches, and two (2) bicycle parking stations.

### **Vehicular Circulation and Connectivity**

The site plan includes the current right-in, right-out access drive with two-way traffic in the drive aisle behind the proposed building. The drive-through ATM is providing one (1) eastbound lane with a stop sign and stop bar. The Fire Department has reviewed the plans, and the Applicant will be providing an emergency access turnaround in the southwest corner of the site to meet the applicable standards.

### **Parking**

Pursuant to City Code Section 78-345, *Table 33: Required Off-Street Parking Spaces*, the required parking ratio for Bank/Financial Institution with a Drive-Through is one (1) space per 250 square feet, and the required parking ratio for Professional Office is one (1) space per 300 square feet. Pursuant to City Code Section 78-345 (l)(1)(b), the land development regulations allow for a reduction in parking space dimensions for office uses subject to the approval by the City Council. The bank use requires six (6) parking spaces and the Professional Office use requires 25 spaces, for a total of 31 parking spaces required. The site



plan is providing a total of 31 spaces, and therefore, meets the requirements of the Parking Code. The Applicant is proposing that all spaces are at the reduced space dimension of 9 feet by 18.5 feet.

#### Site Lighting

The photometric plans have been reviewed by Staff and are consistent with City Code Section 78-182. The Applicant is proposing pole-mounted lights on site that match the adjacent SunTrust building and bollard lighting along the pedestrian sidewalk.

#### Architecture

The proposed new two- (2) story building utilizes a Romanesque Revival architectural style with symmetrical and hierarchical massing. The front façade, which fronts PGA Boulevard, offers a symmetrical configuration and includes a simulated stone entrance, establishing a pedestal below the second-story windows, as well as a cornice feature that accentuates this central tower. The building includes stucco scoring on all elevations and the parapet wall. All first-story windows incorporate ornamental cast stone trim at the window heads and sills. In addition, the south and east elevations feature scored stucco walls with a creeping fig vine. The building height meets the City Code requirement of 36 feet with the front tower feature reaching 36 feet tall and a proposed roof height of 30 feet.

#### PGA Boulevard Corridor Overlay

The proposed building meets the intent of City Code Section 78-221, *PGA Boulevard corridor overlay*, through the implementation of the PGA design guidelines. The Applicant is proposing high quality four- (4) sided architecture designed to create a harmonious effect with the surroundings through the use of scale, proportions, form, materials, texture, and color. The landscaping will utilize preferred tree species and free-form design along PGA Boulevard, and pedestrian connectivity is proposed with a meandering pedestrian sidewalk along PGA Boulevard that connects to a pedestrian plaza in front of the proposed building with two (2) benches, two (2) bicycle racks, and a fountain.

#### Art in Public Places (AIPP)

Pursuant to City Code Section 78-261, *Art in Public Places Requirements*, all development where total vertical construction costs are equal to or greater than \$1,000,000.00 shall provide art valued in an amount of one percent (1%) of the total vertical construction costs. If the aggregate cost of the entire project exceeds the \$1,000,000.00 threshold, each phase of development shall contribute the required one percent of construction cost towards art in public places for the building project. A Condition of Approval will be included in this development order mandating the Applicant satisfy the AIPP requirement provided the project exceeds the one-million-dollar threshold.



### Building Floorplan

The Applicant has indicated that the building will be occupied by First Republic Bank. The first-floor plan designates approximately 1,500 square feet for bank use in the north-west corner of the building, and the remaining 3,000 square feet are proposed as Professional Office use. The entire second floor is proposed to be occupied as professional office use. The floor access to the second floor will be provided by one (1) internal stairwell along the south side of the building, and one (1) external stairwell will be provided leading to the roof. The floor plans depict the building entrances located at the north, west, and south elevations of the proposed building.

### Landscaping

The Applicant is proposing to maintain the existing Live Oak trees along the west perimeter of the site. The site currently consists of mostly sod, therefore, the supplemental plantings include two (2) Royal Palms, Bismark Palms, and Silver Buttonwood along the north elevation with annual in-season flowers along the perimeter of the pedestrian plaza. The plantings along the pedestrian sidewalk include multiple Dune Sunflower bushes, Horizontal Cocoplum, and Live Oaks. The Applicant is proposing foundation landscaping along the west elevation to include Montgomery Palms, Ligustrums, Hammey Crotons, and Miniature Pitch Apple shrubs. The rear ATM island includes the plantings of one (1) Bismark Palm and Hammey Crotons. The Applicant is also proposing three (3) Crepe Myrtles to be placed in the existing shared access median between the Turtle Beach PUD and the SunTrust Building. The Applicant has proposed Sabal Palm and Live Oak trees along the south perimeter with a beige six (6)-foot-tall concrete masonry wall to screen the building from the residential neighborhood on the other side of the canal. The City Forester has reviewed the entire site, and all existing foundation landscaping meets or exceeds the City's Code.

### Signage

The Applicant is proposing on-site signage that consists of a ground sign, a flat/wall sign for a principal structure/principal tenant, and a flat/wall sign for ground-floor uses. The flat/wall sign for a principal structure/principal tenant sign is proposed above the second story windows on the north elevation as an individual mounted channel letter sign with dark bronze letters and 23-inch and 15-inch letters. The flat/wall sign for ground-floor uses is proposed above the first-floor entrance on the west elevation with individual mounted channel letters in dark bronze with 14.5- and 10.25-inch letters. The copy areas for both wall signs meet the City's Code requirements for signage. The ground sign is approximately 8 feet 10 inches tall by 6 - feet 8 -inches wide with 9 -inch and 6.25 -inch letters, and is setback over 20 feet from the right-of-way. Due to the limited roadway frontage of 245 linear feet, the Applicant is requesting a waiver from City Code Section 78-285, *Table 24: Permanent Signs*, to permit a ground sign with less than the required 300 linear feet of right-of-way.

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## **WAIVER REQUEST**

The Applicant is requesting two (2) waivers with the subject request.

**Table 2. Waiver Requests**

	Code	Requirement	Proposed	Waiver	Staff Recommendation
1	Section 78-285, <i>Table 24, Permanent Signs</i>	One (1) ground sign per 300 linear feet of right-of-way	One (1) ground sign for 245 linear feet of right-of-way	55 linear feet of right-of-way	Approval
2	Section 78-153, <i>Table 12, Property Development Regulations – Nonresidential Zoning Districts, Note 5</i>	Rear setback of 15 feet, with an additional perimeter or boundary setback of 75 feet when abutting a residential zoning district	55-foot rear setback abutting a residential zoning district	35 feet	Approval

1. The Applicant is requesting a waiver from City Code Section 78-285, *Table 24: Permanent Signs*, that permits ground signs for parcels with 300 linear feet of right-of-way. The subject site has approximately 245 linear feet of frontage along PGA Boulevard, and the Applicant is seeking relief from this requirement. The proposed ground sign meets the other signage design requirements. The Applicant has provided justification through proposing a pedestrian plaza with two (2) benches and a fountain north of the building. Staff is supportive of the waiver request.
2. The Applicant is requesting a waiver from City Code Section 78-153, *Table 12, Property Development Regulations*, that requires a rear setback of 15 feet, with an additional perimeter or boundary setback of 75 feet when abutting a residential zoning district. The Applicant is proposing a 55-foot rear setback abutting a residential zoning district and is requesting relief from the Code requirement. A 100-foot-wide canal currently exists between the property line of Turtle Beach PUD and the nearest residential property. The canal is currently zoned Residential Low-2 (RL-2); however, the south property line of Turtle Beach PUD is approximately 100 feet from the nearest residential lot. The Applicant has proposed a six (6)-foot-tall concrete masonry wall that will match the building's colors along the south perimeter to screen the building from the adjacent residential lot that will connect to the neighboring PGA Commons project. The Applicant has proposed Sabal Palm and Live Oak Trees on both sides of the wall to screen the building from the residential neighborhood on the other side of the canal. Staff is supportive of the waiver request.



## **STAFF ANALYSIS**

The proposed project incorporates a two- (2) story building with a Romanesque Revival architectural style. The front façade offers a symmetrical configuration, and the use of special stone material creating tower elements on the north and west elevations creates a strong architectural façade. The overall mass of the building is tailored to the small site area using stepping of the footprint on the rear side and east side of the building. All design details are complementary of Romanesque design, with decorative cast stone inlays, and cast stone trim at the window heads and sills.

The landscape design exceeds the required amount of landscape points by approximately 41%. The Applicant has provided foundation landscaping on all elevations along the perimeter of the site and within the ATM island. The Applicant will also provide supplemental landscaping along the existing pedestrian sidewalk and within the shared access median in between the Turtle Beach PUD and the adjacent SunTrust building. Staff is satisfied with the Applicant's landscaping proposal.

The Applicant's proposed signage package meets the City's Design Guidelines through the use of signs that are compatible with the building's design. The wall signs are proposed with individually mounted channel letters in dark bronze. The monument sign is proposed with a green aluminum pan featuring internally lit letters and has a solid base and frame to match the building's design. Though the City's Design Guidelines prefer monument signs with limited box-type manufactured components, the solid base and framing provides for the inclusion of the use of permanent building materials.

Overall, the Applicant's proposal is consistent with the regulations set forth by the City's Land Development Regulations and the PGA Boulevard Corridor Overlay.

## **MAJOR CONDITIONAL USE ANALYSIS**

A Conditional Use Analysis has been provided as part of the application in accordance with Section 78-52(d), Conditional Uses, of the Land Development Regulations for a Bank/Financial Institution with a Drive Through.

The following is Staff's analysis based on the criteria set forth in Section 78-52(d), *Conditional Uses*:

### **(1) Comprehensive Plan. The proposed use is consistent with the comprehensive plan.**

The comprehensive plan designation for this site is Professional Office (PO). The use is consistent and compatible with the Comprehensive Plan.

### **(2) Chapter requirements. The proposed use is consistent with all applicable requirements of this chapter.**

The proposed use is consistent with all applicable requirements of Chapter 78 of the City's Code.



**(3) Standards. The proposed use is consistent with the standards for such use as provided in Section 78-159.**

The proposed use is in compliance with the requirements set forth in Section 78-159 of the City's Code based on the waivers requested.

**(4) Public welfare. The proposed use provides for the public health, safety, and welfare by:**

**a) Providing for safe and effective means of pedestrian access;**

A pedestrian plaza is proposed for adequate access from the existing sidewalk adjacent to PGA Boulevard, and an additional sidewalk is proposed to extend from the plaza to the west entrance.

**b) Providing for a safe and effective means of vehicular ingress and egress;**

Ingress and egress for the subject parcel is provided by using the existing driveway connection. In addition, there is no proposed direct connection to either of the adjacent rights-of-way.

**c) Providing for an adequate roadway system adjacent to and in front of the site;**

The subject property has access to PGA Boulevard from an existing shared driveway connection located on the subject parcel.

**d) Providing for a safe and efficient onsite traffic circulation, parking, and overall control;**

The proposed site plan addresses all safety concerns and provides efficient on-site vehicle circulation and pedestrian access.

**e) Providing adequate access for public safety purposes, including fire and police protection;**

The site has been designed to address all comments and concerns from both the fire and police departments.

**(5) Screen and buffering. The proposed uses utilize such techniques as landscaping, screening, buffering, site or building design, or business operation procedures to mitigate impacts on surrounding properties, including such impacts as:**

**a) Noise;**

The proposed bank/financial institution with a drive through is located over 100 feet from the nearest residential building in the adjacent residential project. The proposed use is required to meet all noise requirements outlined in the City's Performance Standards (Section 78-661 of the City Code).

**b) Glare;**

No activities will be conducted outside that would create any glare and the site's lighting is consistent with the City's lighting regulations.



**c) Odor;**

The proposed project will not create any odor.

**d) Ground, wall, or roof mounted mechanical equipment;**

All ground- wall- or roof-mounted mechanical equipment will be screened consistent with the standards of the City's Land Development Regulations.

**e) Perimeter, interior, and security lighting;**

All security lighting will be in compliance with the City's Land Development Regulations.

**f) Signs;**

The signage proposed will meet the Sign Code with regard to overall dimensions of the proposed signage. The Applicant has proposed a Master Signage Program consisting of two (2) wall signs and one (1) ground sign. With the requested waiver, the signage will be in compliance with Section 78-285, *Table 24, Permanent Signs*.

**g) Waste disposal and recycling;**

The proposed use of a financial institution will have no disposal of trash as all documents are removed from the property and shredded off site.

**h) Outdoor storage of merchandise and vehicles;**

There will be no outdoor storage of merchandise or vehicles on this site.

**i) Visual Impact;**

The proposed building will be constructed to meet all current and applicable City Land Use Regulations and Florida Building Code requirements. The Applicant has requested a waiver from City Code Section 78-153, *Table 12, Property Development Regulations – Nonresidential Zoning Districts, Note 5*, to allow a rear setback of 55 feet when abutting a residential zoning district. An existing 100-foot-wide canal separates the Turtle Beach PUD from the nearest residential building. The Applicant has proposed a six- (6) foot-tall concrete masonry wall to match the building's color along the southern property boundary with supplemental landscaping consisting of Sabal Palm and Live Oak trees on both sides of the wall.

**j) Hours of operation;**

The hours of operation for the proposed financial institution and the professional offices will be normal business hours, 8:00a.m. to 6:00p.m.

**(6) Utilities. The proposed use minimizes or eliminates the impact of utility installation, including underground and overhead utilities, on adjacent properties;**

The proposed use will connect to the utilities currently existing along PGA Boulevard.

**(7) Dimensional standards. The proposed use meets or exceeds all dimensional requirements required by this chapter;**

The proposed use meets and exceeds the majority of the dimensional requirements. The site meets the stacking lengths, and parking stall sizes. Based on the proposed parking



stall sizes, the Applicant has included additional landscaping over and above the requirement. The proposed development will meet all required City Land Use and Code Requirements.

**(8) Neighborhood plans. The proposed use is consistent with the goals objectives, policies, and standards of neighborhood plans;**

There are no neighborhood plans for the subject site. However, any residential neighborhoods within the area will not be negatively impacted by the proposed development.

**(9) Compatibility. The overall compatibility of the proposed development with adjacent and area uses, and character or area development;**

The proposed development is compatible with the surrounding property. The property is zoned for Professional Office Use with a land use of Professional Office. The proposed use is consistent with the zoning and land use. The subject parcel is surrounded by Mixed Use, Commercial, and Planned Unit Developments. South of the property line exists a 100-foot canal separating the proposed building and the nearest residential lot.

**(10) Patterns of development. The proposed use will result in logical, timely, and orderly development patterns;**

The development of this site is consistent with the Comprehensive Plan and City Land Development Regulations. The proposed project and conditional use will provide for a logical, timely, and orderly pattern of development with minimal disruption to the site or the adjacent properties and surrounding areas.

**(11) Purpose and intent. The proposed use will be in harmony with the general purpose and intent of this chapter and the goals, objectives, and policies of the City;**

The proposed use is consistent with the general purpose and intent of the Code, as well as the goals, objectives, and policies of the City for nonresidential development.

**(12) Adverse impact. The design of the proposed use and structures will minimize any adverse visual impacts or impacts caused by the intensity of the use;**

The proposed project and major conditional use will allow an ATM only drive-through and will not have an adverse visual impact visually on the area. Further, the existing landscaping and proposed landscaping will further limit any visual impacts of the building.

**(13) Environmental impact. The design of the proposed use minimizes any adverse impacts that may be created, including impact on environmental and natural resources, including air, water, storm water management, wildlife, vegetation, and wetlands;**

There are no existing environmental areas on the site.

**PLANNING, ZONING, AND APPEALS BOARD (PZAB)**

On October 13, 2016, the PZAB at a Public Hearing recommended approval of the subject petition to the City Council by a vote of 6 to 1.



**STAFF RECOMMENDATION**

Staff recommends **APPROVAL** of Resolution 72, 2016 as presented.



**CITY OF PALM BEACH GARDENS**  
**DEVELOPMENT APPLICATION**

**Planning and Zoning Department**  
**CITY OF PALM BEACH GARDENS**  
10500 North Military Trail  
Palm Beach Gardens, FL 33410  
(561) 799-4243 Fax (561) 799-4281

**Request:**

- |  |  |
|--|--|
| <input type="checkbox"/> Planned Community Development (PCD)           | <input type="checkbox"/> Annexation              |
| <input type="checkbox"/> Planned Unit Development (PUD)                | <input type="checkbox"/> Rezoning                |
| <input checked="" type="checkbox"/> Amendment to PCD, PUD or Site Plan | <input type="checkbox"/> Site Plan Review        |
| <input type="checkbox"/> Conditional Use                               | <input type="checkbox"/> Concurrency Certificate |
| <input type="checkbox"/> Amendment to the Comprehensive Plan           | <input type="checkbox"/> Time Extension          |
| <input type="checkbox"/> Administrative Approval                       | <input type="checkbox"/> Miscellaneous           |
| <input type="checkbox"/> Administrative Appeal                         | <input type="checkbox"/> Other _____             |

Date Submitted: March 30, 2016

**Project Name:** First Republic Bank f.k.a. Turtle Beach PUD

Owner: 4605 PGA Blvd., LLC

Applicant (if not Owner): 4506 PGA Blvd., Inc.

Applicant's Address: 4500 PGA Blvd. PBG FL 33418 Telephone No. \_\_\_\_\_

Agent: Gentile Glas Holloway O'Mahoney & Associates, Inc. (2GHO)

Contact Person: George Gentile/Pat Lentini E-Mail: george@2gho.com/pat@2gho.com

Agent's Mailing Address: 1907 Commerce Lane Suite 101 Jupiter FL 33458

Agent's Telephone Number: 561-575-9557

**FOR OFFICE USE ONLY**

Petition Number: \_\_\_\_\_

Date & Time Received: \_\_\_\_\_

**Fees Received**

Application \$ \_\_\_\_\_

Engineering \$ \_\_\_\_\_

Receipt Number: \_\_\_\_\_



Architect: Glidden Spina & Partners (GSP)

Engineer: Smiley & Associates, Inc.

Planner: 2GHO

Landscape Architect: 2GHO

**Site Information:**

**Note: Petitioner shall submit electronic digital files of approved projects. See attachment for details.**

General Location: south side of PGA Boulevard, west of Military Trail

Address: 4506 PGA Boulevard

Section: 12 Township: 42 Range: 42

Property Control Number(s): 52-42-42-12-26-000-0000

Acreage: 1.01 Current Zoning: PUD Requested Zoning: PUD

Flood Zone B Base Flood Elevation (BFE) – to be indicated on site plan

Current Comprehensive Plan Land Use Designation: PO

Existing Land Use: vacant Requested Land Use: Same

Proposed Use(s) i.e. hotel, single family residence, etc.: financial institution

Proposed Square Footage by Use: 9,000 s.f. (1,500 s.f. of bank and 7,500 s.f. of professional office)

Proposed Number and Type of Dwelling Unit(s) i.e. single family, multifamily, etc. (if applicable):



## **Justification**

Information concerning all requests (attach additional sheets if needed.)  
{Section 78-46, Application Procedures, Land Development Regulations.}

1. Explain the nature of the request: The Applicant is proposing a PUD Site Plan Amendment to allow a change to the previously approved site plan from a 3,012 s.f. bank with drive thru to a 2 story office building with a 1,500 s.f. financial institution with an ATM drive-thru lane on the first floor and 7,500 s.f. professional office on both the first floor and second floor.

2. What will be the impact of the proposed change on the surrounding area?

There is no impact to the surrounding area since the previously approved use was a financial institution and the proposed PUD Site Plan amendment is for a financial institution and offices.

3. Describe how the rezoning request complies with the City's Vision Plan and the following elements of the City's Comprehensive Plan - Future Land Use, Transportation, Housing, Infrastructure, Coastal Management, Conservations, Recreation and Open space, Intergovernmental Coordination and Capital Improvement.

The property is not being rezoned.



4. How does the proposed project comply with City requirements for preservation of natural resources and native vegetation (Section 78-301, Land Development Regulations)?

The property has been previously cleared and has no natural resources or native vegetation.

5. How will the proposed project comply with City requirements for Art in Public Places (Chapter 78-261, Land Development Regulations)?

The proposed project will comply with the AIPP requirements if required.

6. Has project received concurrency certification?

Previous concurrency has expired and is being applied for with this application.

Date Received: \_\_\_\_\_

**Legal Description of the Subject Property**

(Attach additional sheets if needed)

Or see attached deed for legal description.

**Location**

The subject property is located approximately 500' mile(s) from the intersection of PGA Blvd.  
and Military Trail \_\_\_\_\_, on the ☐ north, ☐ east, ☒ south, ☐ west side of PGA Blvd.  
\_\_\_\_\_  
(street/road).



## Statement of Ownership and Designation of Authorized Agent

Before me, the undersigned authority, personally appeared Phillip Brandt  
who, being by me first duly sworn, on oath deposed and says:

1. That he is the of Manager of 4506 PGA Blvd., LLC, which is the fee simple title owner of the property described in the attached Legal Description.
2. That he is requesting PUD Site Plan Amendment application processing in the City of Palm Beach Gardens, Florida.
3. That he has appointed George G. Gentile and 2GHO/Stephen Mathison to act as authorized agent on his behalf to accomplish the above project.

Name of Owner: 4506 PGA Blvd., LLC

  
Signature of Owner

4500 PGA Boulevard, Suite 207  
Street Address

P. O. Box

561-691-9050  
Telephone Number

Email Address

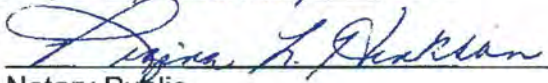
Phillip Brandt Authorized Representative  
by: Name/Title

Palm Beach Gardens, FL 33418  
City, State, Zip Code

City, State, Zip Code

561-622-1851  
Fax Number

Sworn and subscribed before me this 19th day of FEBRUARY, 2016.

  
Notary Public

My Commission Expires:

3-17-18

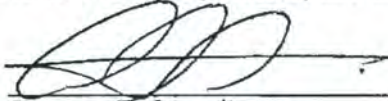




### Applicant's Certification

I/We affirm and certify that I/we understand and will comply with the land development regulations of the City of Palm Beach Gardens, Florida. I We further certify that the statements or diagrams made on any paper or plans submitted here with are true to the best of my/our knowledge and belief. Further, I/we understand that this application, attachments, and application filing fees become a part of the official records of the City of Palm Beach Gardens, Florida, and are not returnable.

Applicant is:



Signature of Applicant

☐ Owner

George G. Gentile

Print Name of Applicant

☐ Optionee

1907 Commerce Lane Suite 101

Street Address

☐ Lessee

Jupiter FL 33458

City, State, Zip Code

☒ Agent

561-575-9557

Telephone Number

☐ Contract Purchaser

561-575-6250

Fax Number

george@2gho.com

E-Mail Address





Palm Beach Gardens Planning and Zoning Department  
10500 North Military Trail, Palm Beach Gardens, FL 33410  
561-799-4230

Permit # \_\_\_\_\_

### Financial Responsibility Form

The owner understands that all City-incurred professional fees and expenses associated with the processing of this application request are ultimately the responsibility of the owner. A security deposit shall be deposited in an interest-bearing account with any accrued interest to be retained by the City of Palm Beach Gardens.

The owner and/or designee shall be invoiced on a monthly basis for professional fees such as, but not limited to, consultant engineering services, legal services, advertising costs, and/or any other costs attributable to the processing of the permit for which the City incurred during the previous month. The owner and/or designee shall reimburse the City within thirty (30) days from date of invoice. If payment is not received, the City may utilize the security deposit for re-imbursement purposes. **All activities related to the pending permit(s) will cease until any outstanding invoices are paid.**

The owner/designee further understands that transfer of this responsibility shall require a completed form, signed and notarized by the responsible party, and delivered to the City Planning and Zoning Department if the name and/or address of the responsible party changes at anytime during the application review process.

Phillip Brandt  
Owner signature

2/19/16  
Date

Phillip Brandt  
Owner printed name

52-42-42-12-26-000-0000  
Property Control Number

**DESIGNEE/BILL TO:**  
4506 PGA Blvd. LLC

4500 PGA Boulevard Suite 207 Palm Beach Gardens FL

Phillip Brandt  
Designee Acceptance Signature

### NOTARY ACKNOWLEDGEMENT

STATE OF FLORIDA

COUNTY OF PALM BEACH

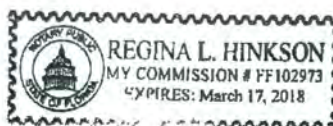
I hereby certify that the foregoing instrument was acknowledged before me this 19th day of FEBRUARY, 2016, by Phillip Brandt. He or she is personally known to me or has produced \_\_\_\_\_ as identification.

Regina L. Hinkson  
Notary public signature

Regina L. Hinkson  
Printed name

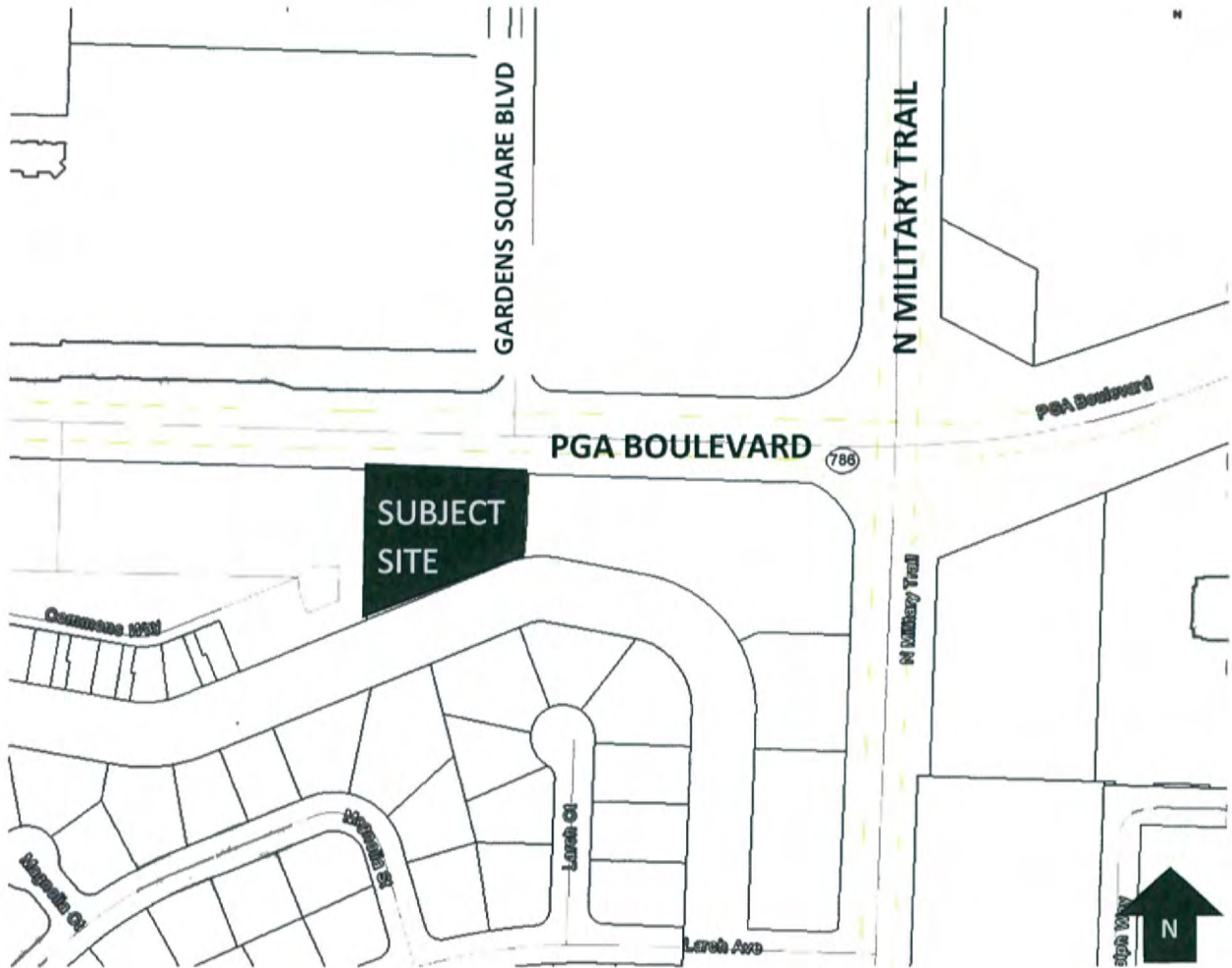
State of FLORIDA at-large

My Commission expires: 3-17-18





# LOCATION MAP





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RESOLUTION 72, 2016

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF PALM BEACH GARDENS, FLORIDA AMENDING THE TURTLE BEACH PLANNED UNIT DEVELOPMENT (PUD) AND APPROVING A MAJOR CONDITIONAL USE TO ALLOW A TWO- (2) STORY, 9,000-SQUARE-FOOT BUILDING WITH BANK AND PROFESSIONAL OFFICE USES AND A DRIVE-THROUGH ATM; SUCH PUD IS GENERALLY LOCATED 550 FEET WEST OF THE INTERSECTION AT MILITARY TRAIL AND PGA BOULEVARD, AS MORE PARTICULARLY DESCRIBED HEREIN; PROVIDING CONDITIONS OF APPROVAL; PROVIDING WAIVERS; PROVIDING AN EFFECTIVE DATE; AND FOR OTHER PURPOSES.

**WHEREAS**, the City Council, as the governing body of the City of Palm Beach Gardens, Florida, pursuant to the authority in Chapter 163 and Chapter 166, *Florida Statutes*, and the City's Land Development Regulations, is authorized and empowered to consider petitions related to zoning and land development orders; and

**WHEREAS**, on October 5, 1995, the City Council adopted Ordinance 10, 1995, approving a Future Land Use (FLU) Map amendment for the subject parcel from Residential Medium (RM) to Professional Office (PO); and

**WHEREAS**, on April 5, 2007, the City Council adopted Ordinance 6, 2007, approving a rezoning from Residential Medium (RM) to Professional Office (PO) with a Planned Unit Development (PUD) Overlay, to be known as the Turtle Beach PUD; and

**WHEREAS**, on April 5, 2007, the City Council adopted Resolution 17, 2007, approving the Turtle Beach PUD site plan for a 5,150-square-foot building with bank and general office uses and a Major Conditional Use for a drive-through; and

**WHEREAS**, on January 5, 2012, the City Council adopted Resolution 1, 2012, approving an amendment to the Turtle Beach PUD site plan to allow for a 3,012-square-foot bank with a drive-through; and

**WHEREAS**, the subject site has a Planned Unit Development (PUD) Overlay with an underlying Professional Office (PO) zoning designation, and has a land-use designation of Professional Office (PO); and

**WHEREAS**, the Planning and Zoning Department has reviewed the application, has determined that it is sufficient and consistent with the City's Comprehensive Plan and Land Development Regulations, and has recommended approval; and



**WHEREAS**, the Planning, Zoning, and Appeals Board reviewed the petition at its October 13, 2016, meeting and recommended approval of the subject petitions (PUDA-16-04-000063 and CUMJ-16-04-000042) by a vote of 6 to 1; and

**WHEREAS**, the City Council has considered the evidence and testimony presented by the Applicant and other interested parties and the recommendations of the various City of Palm Beach Gardens reviewing agencies and staff; and

**WHEREAS**, the City Council deems approval of this Resolution to be in the best interest of the health, safety, and welfare of the residents and citizens of the City of Palm Beach Gardens and the public at large.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF PALM BEACH GARDENS, FLORIDA** that:

**SECTION 1.** The foregoing recitals are hereby affirmed and ratified.

**SECTION 2.** The application is hereby APPROVED for a Planned Unit Development (PUD) Amendment and Major Conditional Use for a two- (2) story, 9,000-square-foot office building with a bank and drive-through ATM, subject to the conditions of approval contained herein, which is in addition to the other requirements otherwise provided by resolution for the real property described as follows:

(See Exhibit "A" for Legal Description)

**SECTION 3.** The City Council of the City of Palm Beach Gardens, Florida hereby APPROVES the following waivers:

1. Section 78-285, *Table 24, Permanent Signs*, which permits one (1) ground sign per 300 linear feet of right-of-way, to allow a ground sign with 245 linear feet of right-of-way.
2. Section 78-153, *Table 12, Property Development Regulations – Nonresidential Zoning Districts, Note 5*, which requires a rear setback of 15 feet, with an additional perimeter or boundary setback of 75 feet when abutting a residential zoning district, to allow a 55-foot rear setback abutting a residential zoning district.

**SECTION 4.** This approval is subject to the following conditions, which shall be the responsibility of and binding upon the Applicant, its successors, or assigns.

1. Prior to the issuance of a Certificate of Occupancy, an inspection from Development Compliance is required (Planning and Zoning).
2. Prior to the issuance of the first Certificate of Occupancy, all amenities shall be constructed per the approved plans. (Planning and Zoning).



3. Prior to the issuance of the first building permit, the Applicant shall comply with City Code Section 78-261, Art in public places requirements, and submit construction cost estimates to verify the one percent (1%) vertical construction cost for the required Art in Public Places (AIPP) fee. Art in Public Places is required if the vertical construction cost of all new improvements on the project site is greater than One Million Dollars (\$1,000,000). The Applicant shall provide art on site or make a payment in lieu thereof. (Planning and Zoning)
4. All on-site lighting shall be cast downward and shielded from adjacent properties. (Planning and Zoning)
5. At no time shall staging of construction vehicles and/or service vehicles occur within a public right-of-way. (Planning and Zoning)
6. Prior to the issuance of the first land alteration permit for the project, the Applicant shall install a six- (6) foot-tall construction fence with a privacy tarp around the project site. Final locations are to be determined and modified by the Director of Planning and Zoning at the time of building permit submittal. The location of the construction fence with privacy tarp may be modified by the Director of Planning and Zoning during the construction of the project to provide necessary screening of construction activities from the public. (Planning and Zoning)
7. All gutters, downspouts, vents, and louvers attached to the building shall be painted to match the surface to which it is attached. (Planning and Zoning)
8. Prior to the issuance of the Certificate of Occupancy, all new ground-mounted and rooftop mechanical equipment shall be screened from view per Section 78-195. (Planning and Zoning)
9. Prior to the issuance of a building permit, the Applicant shall schedule and attend a pre-permit meeting with City staff. (Planning and Zoning)
10. Prior to the issuance of the building permit for vertical construction, the proposed wall along the south property line shall be installed in accordance with the approved development plans. (Planning and Zoning)
11. The Applicant, successors, and assigns shall be responsible for the maintenance of landscaping and irrigation for the road shoulder adjacent to PGA Boulevard from the eastern property terminus to the western property terminus. (City Forester)
12. The Applicant, successors, and assigns shall be responsible for the maintenance of their fair share of the median within PGA Boulevard from the eastern property terminus to the western property terminus. (City Forester)
13. All utilities shall be located underground, and all utility boxes shall be screened from the PGA Boulevard right-of-way. (City Forester)



- 1 14. Prior to the issuance of the infrastructure permit, the Applicant shall submit a City  
2 Right-of-Way permit for the installation of the irrigation intake and drainage outfall.  
3 (Engineering)  
4
- 5 15. Prior to the issuance of the clearing permit, infrastructure permit, or the building  
6 permit for the vertical construction, whichever occurs first, the Applicant shall provide  
7 itemized cost estimates and surety for the project (public or private), in accordance  
8 with the LDR Sections 78-309 and 78-461. The itemized cost estimates shall include  
9 all public elements for the on-site and off-site infrastructure, landscaping, and  
10 irrigation-related improvements for the project. The cost estimates shall be dated,  
11 signed, and sealed by a professional engineer and landscape architect registered in  
12 the State of Florida. Surety will be based on 110% of the total combined City-  
13 approved cost estimates and shall be posted with the City. (Engineering)  
14
- 15 16. Prior to the issuance of the clearing permit or infrastructure permit or demolition  
16 permit, whichever comes first, the Applicant shall submit an updated construction  
17 phasing and safety plan for the City to review. The construction phasing and safety  
18 plan shall include all necessary construction zone signage and fencing as required  
19 by the Engineering Department and will need to be monitored throughout the  
20 construction duration and modified as necessary to allow for safe and effective  
21 pedestrian and vehicular movement throughout the project. If at any time the  
22 contractor wishes to modify the phasing plan, a revised phasing plan shall be  
23 submitted to the City Engineer for review. (Engineering)  
24
- 25 17. Prior to the issuance of the infrastructure permit, the Applicant shall submit a site  
26 lighting permit application along with a signed and sealed Photometric Plan to the  
27 City. (Engineering)  
28
- 29 18. Prior to the issuance of the infrastructure permit, the required ADA elements for the  
30 building entrance, pedestrian access areas, and ramps shall be shown and detailed  
31 on the plans for review by the City. (Engineering)  
32
- 33 19. Prior to the commencement of construction, the Applicant shall schedule a pre-  
34 construction meeting with City staff. Inspections related to the infrastructure permit  
35 will not be performed until the pre-construction meeting has occurred. In addition,  
36 failure to comply with this condition could result in a Stop-Work Order of all  
37 work/construction activity for the subject development site. (Engineering)  
38
- 39 20. The following items are required to be ongoing throughout the project:  
40
  - 41 a. The construction, operation, and/or maintenance of any elements of the subject  
42 project shall not have any negative impacts on the existing drainage of  
43 surrounding areas. If at any time during the project development it is determined  
44 by the City that any of the surrounding areas are experiencing negative drainage  
45 impacts caused by the project, it shall be the Applicant's responsibility to resolve  
46 said impacts in a period of time and a manner acceptable to the City prior to



additional construction activities. The City may cease issuing building permits and/or Certificates of Occupancy until all drainage concerns are resolved. (Engineering)

b. Prior to the issuance of the infrastructure permit, if applicable, the Applicant shall provide the City Engineer with copies of all permits, permit applications, and Requests for Additional Information to and from regulatory agencies regarding issues on all permit applications, certifications, and approvals, including South Florida Water Management District, Northern Palm Beach County Improvement District, Seacoast Utility Authority, Palm Beach County, Palm Beach County Health Department, FDOT, etc. (Engineering)

c. The Applicant shall comply with all Federal EPA and State of Florida Department of Environmental Protection NPDES requirements, including, but not limited to, preparation of a storm water pollution prevention plan and identification of appropriate Best Management Practices, as generally accepted by the Environmental Protection Agency (EPA) and/or local regulatory agencies, for construction activities, implementation of the approved plans, inspection, and maintenance of controls during construction, including a Notice of Intent prior to the issuance of the infrastructure permit and Notice of Termination prior to the issuance of the Certificate of Completion for the infrastructure permit. (Engineering)

21. Prior to the issuance of the Certificate of Occupancy, the Applicant shall provide electronic certified civil design as-builts in both pdf and AutoCAD. (Engineering)

22. Prior to the issuance of the Certificate of Occupancy, the Applicant shall provide copies of the required testings as provided for on the plans and specifications and in accordance with the FDOT for the City's review. (Engineering)

23. Prior to the issuance of the Certificate of Occupancy, the Applicant shall submit all required recorded easements and easement modifications to the City. (Engineering)

24. All pavement marking and striping, excluding parking stall striping, shall be installed with thermoplastic materials. Also, paver bricks of appropriate color shall be used on paver brick areas in lieu of paint or thermoplastic material for conformance with Section 78-344 of the City LDRs. (Engineering)

**SECTION 4.** This petition is approved subject to strict compliance with the Exhibits listed below, which are attached hereto and made a part hereof as Exhibit "B":

1. Site Plan, SP-1, prepared by *Gentile Glas Holloway O'Mahoney & Associates*, dated October 24, 2016, City stamped October 24, 2016.

2. Site Details, SP-2, prepared by *Gentile Glas Holloway O'Mahoney & Associates*, dated October 24, 2016.



3. Area Calculations Plan, SP-3, prepared by *Gentile Glas Holloway O'Mahoney & Associates*, dated September 9, 2016.
4. Landscape Development Plan, LP-1, prepared by *Gentile Glas Holloway O'Mahoney & Associates*, dated October 24, 2016.
5. Floor Plans, A1, prepared by *Glidden Spina*, dated September 9, 2016, City stamped October 24, 2016.
6. Roof Plan, A2, prepared by *Glidden Spina*, dated September 9, 2016.
7. Exterior Elevations, A3, prepared by *Glidden Spina*, dated September 27, 2016.
8. Color Exterior Elevations, A4, prepared by *Glidden Spina*, dated September 27, 2016.
9. Electrical Photometric Plan, EP1.1, prepared by *Glidden Spina*, dated September 30, 2016.
10. Electrical Notes, Legend and Specs, EP0.1, prepared by *Glidden Spina*, dated September 9, 2016.

**SECTION 5.** All representations made by the Applicant or the Applicant's agent at any public hearing regarding this application are specifically incorporated herein, and this approval is granted subject to same.

**SECTION 6.** This Resolution shall become effective immediately upon adoption.

(The remainder of this page intentionally left blank)



**PASSED AND ADOPTED** this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

**CITY OF PALM BEACH GARDENS, FLORIDA**

BY: \_\_\_\_\_  
Marcie Tinsley, Mayor

**ATTEST:**

BY: \_\_\_\_\_  
Patricia Snider, CMC, City Clerk

**APPROVED AS TO FORM AND  
LEGAL SUFFICIENCY**

BY: \_\_\_\_\_  
R. Max Lohman, City Attorney

**VOTE:**

**AYE   NAY   ABSENT**

MAYOR TINSLEY	_____	_____	_____
VICE MAYOR JABLIN	_____	_____	_____
COUNCILMEMBER PREMURROSO	_____	_____	_____
COUNCILMEMBER MARINO	_____	_____	_____
COUNCILMEMBER WOODS	_____	_____	_____



## EXHIBIT "A"

KNOW ALL MEN BY THESE PRESENTS THAT TURTLE BEACH LTD, A FLORIDA LIMITED PARTNERSHIP, OWNER OF THE LAND SHOWN HEREON AS TURTLE BEACH BANK, AS A PARCEL OF LAND SITUATED IN SECTION 12, TOWNSHIP 42 SOUTH, RANGE 42 EAST, WITHIN THE CITY OF PALM BEACH GARDENS, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID NORTHWEST ONE-QUARTER (1/4) OF SECTION 12; THENCE, WESTERLY ALONG THE NORTH LINE OF SAID SECTION 12, A BEARING OF NORTH 88°37'35" WEST, A DISTANCE OF 572.33 FEET; THENCE, SOUTH 01°22'25" WEST, A DISTANCE OF 60.00 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF PGA BOULEVARD AND ALSO THE POINT OF BEGINNING;

THENCE, SOUTH 01°33'11" WEST, A DISTANCE OF 128.86 FEET TO A POINT ON THE NORTHERLY LINE OF "PLAT NO. 1 PGA NATIONAL GOLF CLUB ESTATES", AS RECORDED IN PLAT BOOK 27 AT PAGE 208 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SAID POINT ALSO BEING A POINT ON A NON-TANGENT CIRCULAR CURVE CONCAVE TO THE SOUTH HAVING A RADIUS OF 150.00 FEET AND A RADIAL BEARING OF SOUTH 09°59'20" EAST; THENCE WESTERLY, ALONG SAID CURVE, AND ALONG SAID NORTH LINE, THROUGH A CENTRAL ANGLE OF 12°22'29", AND AN ARC DISTANCE OF 32.40 FEET TO THE POINT OF TANGENCY; THENCE CONTINUE WESTERLY ALONG THE NORTHERLY LINE OF SAID PLAT, SOUTH 67°38'11" WEST, A DISTANCE OF 234.32 FEET; THENCE, NORTH 01°33'11" EAST, A DISTANCE OF 232.93 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF PGA BOULEVARD; THENCE, SOUTH 88°37'35" EAST, ALONG THE SOUTH RIGHT-OF-WAY LINE, A DISTANCE OF 245.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 1.008 ACRES, MORE OR LESS.



## EXHIBIT "B"





**PROJECT NARRATIVE**  
**Turtle Beach PUD**  
***First Republic Bank***  
**PUD Site Plan Amendment**  
~~March 30, 2016~~  
~~April 13, 2016~~  
~~August 9, 2016~~  
~~September 9, 2016~~  
**September 26, 2016**

**Request/Location:**

On behalf of 4506 PGA Blvd., LLC, we would like to request a PUD Site Plan Amendment for the previously approved Turtle Beach Planned Unit Development to allow a 9,000 square foot building on 1.01 acres of land. Also included with this application is a request for a Concurrency Certificate approval for the proposed project and a Major Conditional Use that will allow for the proposed ATM drive-thru lane. The subject site is located on the south side of PGA Boulevard approximately one-tenth mile west of Military Trail.

**Proposed:**

The proposed 2-story 9,000 square foot building will be used by First Republic Bank in its entirety. The banking and transaction part of the bank will be 1,500 s.f. and located on the first floor. The remainder of the first floor and the entire second floor will be professional offices for the trust and wealth management offices for First Republic Bank. There will be an ATM only drive thru along the south side of the building.

First Republic Bank and its subsidiaries provide private banking, private business banking and private wealth management. Founded in 1985, First Republic specializes in exceptional, relationship-based service offered through preferred banking or wealth management offices primarily in San Francisco, Palo Alto, Los Angeles, Santa Barbara, Newport Beach, San Diego, Portland, Boston, Greenwich, Palm Beach and New York City. First Republic offers a complete line of banking products for individuals and businesses, including deposit services, as well as residential, commercial and personal loans.

**History:**

Previously approved in 2012 was a 1-story 3,012 square foot bank building with 2 drive-through lanes. The following is a list of all the approvals for Turtle Beach PUD:

<b>Turtle Beach PUD LIST OF APPROVALS</b>		
<b>Petition No.</b>	<b>Application Request</b>	<b>Date of Approval</b>
Ordinance 10, 1995	Future Land Use Amendment from RM to PO	October 5, 1995
Ordinance 6, 2007	Rezoning from RM to PO with a PUD Overlay	April 5, 2007





<b>Turtle Beach PUD LIST OF APPROVALS</b>		
<b>Petition No.</b>	<b>Application Request</b>	<b>Date of Approval</b>
Resolution 17, 2007	Approved Turtle Beach PUD site plan for 5,150 s.f. building and Major Conditional Use with four (4) waivers	April 5, 2007
Resolution 101, 2007	Approval of Plat	September 19, 2007
Resolution 1, 2012	PUD Amendment to allow a 1-story 3,012 s.f. bank with drive through.	January 5, 2012

### **Surrounding Uses:**

The subject site has a PO Future Land Use designation and is zoned PO with a PUD Overlay. The subject site is also located within the PGA Boulevard Corridor Overlay.

### **Existing Zoning and Land Use Designations**

<b>EXISTING USE</b>	<b>FUTURE LAND USE</b>	<b>ZONING</b>
<b>SUBJECT PROPERTY:</b>	PO	PO/PUD/PGA Overlay
<b>TO THE NORTH :</b> <i>Midtown PUD</i>	MXD	Mixed Use (MXD)/PUD/PGA Overlay
<b>TO THE SOUTH :</b> <i>Garden Isles (PGA Golf Club Estates)</i>	Residential Low (RP)	Residential Low-2 (RL-2)
<b>TO THE EAST :</b> <i>4500 PGA Boulevard</i>	Commercial (C )	General Commercial (CG-1/PUD/PGA Overlay
<b>TO THE WEST :</b> <i>PGA Commons PUD</i>	MXD	MXD/PUD/PGA Overlay

### **Concurrency:**

A request for Concurrency Certificate is part of this application request. A Traffic Report has been submitted as part of the application request.

### **Architecture:**

The architectural style of the building is Mediterranean. It follows the classical rules of architecture found in historic Mediterranean architectural style using massing that is symmetrical and hierarchical. The front facade offers a symmetrical configuration and with a center tower element. This is defined by change in height and the use of special stone material on the facade establishing a pedestal, as well as, a strong cornice that accentuates this central tower. This establishes a strong architectural facade with is unmistakably Mediterranean in style. The parapet lines are capped with cast stone looking



Turtle Beach PUD/First Republic Bank  
~~March 30, 2016~~  
~~April 13, 2016~~  
~~August 9, 2016~~  
~~September 9, 2016~~  
September 26, 2016  
Page 3

detailing. This architectural style is further enhanced by the use symmetrically placed window configurations, which are trimmed with a cast stone look.

The overall building is fitted to site, as a result the symmetry of the building is found on the street side (north) and the building entry side (west). On the west side there is an architectural element, which is smaller version of the tower feature on the front of the building (street side). The site is small and as a result the building is tailored to the site using stepping of the footprint on the rear side and east side of the building. The detailing on these sides matches the detailing of the overall architecture.

All design details are complimentary of Mediterranean design, with decorative cast stone inlays, cast stone trim at window heads and sills and a water table base. Overall the required design guidelines have been complied due to the implementation of this style of architecture and the detailing that accompanies it.

**Parking and Circulation:**

The parcel has one (1) point of access from PGA Boulevard, which is shared with 4500 PGA Boulevard. The proposed site plan provides for 33 parking spaces and an emergency turn-around area for fire-rescue along the western edge of the property.

**Landscape:**

Maintain consistency with the established character of the area with highlighted hardscape amenity areas. To enhance the meandering sidewalk along the north property line, the Applicant has included a paver brick walkway feature that runs perpendicular to the sidewalk and includes a planter at the center. All of the planting materials and quantities proposed are consistent with the City Code.

The table below shows how the proposed plan exceeds required points.

	LANDSCAPE POINTS
Required Landscape Points	1,838
Provided Landscape Points	4,440

**Waivers:**

Resolution 1, 2012 approved on January 4, 2012 granted the following four (4) waivers for the project:

1. Section 78-345(d), Increase in parking spaces, to allow for three (3) additional parking spaces for a total of 15 spaces.
2. Section 78-285, Table 24: Permanent Signs, to allow a ground sign on a site with 245 linear feet of right-of-way.



3. Section 78-153, Table 12: Property Development Regulations – Non-residential Zoning District Regulations, to allow a setback of 31 feet from a residential district.
4. Section 78-159, Note 29, Bank or financial institution, to allow a setback of 31 feet from a residential zoning district.

The proposed waivers are:

	CODE SECTION	REQUIREMENT	PROPOSED (As Previously Approved)	WAIVER
1.	Section 78-285, Table 24 Permanent Signs	1 ground sign per 300 linear feet of ROW	1 ground sign for 245 linear feet	55 linear feet
2.	Section 78-153, Table 2 Property Development Regulations	90 foot setback from residential	55 feet	35 feet

1. Section 78-285, Table 24: Permanent Signs, to allow a ground sign on a site with 245 linear feet of right-of-way.

***The subject site has approximately 245 linear feet of ROW; with 300 feet is required. This waiver was previously approved and the Applicant is asking that it be approved again.***

***The ground sign will be beneficial to the public to clearly identify the entrance to the bank. The sign will also help to demarcate the site as a separate parcel from the 4500 PGA Boulevard Bank parcel. Due to the site's location within the PGA Overlay, it has a 55-foot setback that contains dense landscaping and a berm. As the landscaping matures, more of the building will be blocked. Having a sign closer to the roadway will help the bank maintain its visibility while allowing the landscaping to grow uninhibited.***

2. Section 78-153, Table 12: Property Development Regulations – Non-residential Zoning District Regulations, to allow a setback of 55 feet from a residential district.

***This waiver was previously approved and the Applicant is asking that it be approved again. The previous waiver approved allowed a setback of 31 feet to the property line. The proposed waiver request is to allow a 55 foot setback from the property line. The residential community to the south is PGA National Golf Club estates; there is a 100-foot canal, which is part of the residential community and separates the bank from the nearest residential unit. Considering the 100-foot wide canal and the proposed 55 foot building setback, there will be at least 155 feet between the nearest residential home and the bank structure.***



**Criteria for waivers is provided for in Section 78-158 of the code. Please note that all the requested waivers fulfill these criteria:**

1. **The request is consistent with the city's comprehensive plan – the proposed waivers are consistent with the provisions of the Land Development Regulations that allow for waivers in Planned Developments. The proposed waivers are not in violation of the Comprehensive Plan.**
2. **The request is consistent with the purpose and intent of this section – the proposed waivers are consistent with the provisions of the code that allow waiver requests within a Planned Development district necessary to implement the site plan, based upon the most comparable zoning district to provide for more innovative design.**
3. **The request is in support of and furthers the city's goals, objectives, and policies to establish development possessing architectural significance, pedestrian amenities and linkages, employment opportunities, reductions in vehicle trips, and a sense of place – the approval of the site plan and architectural design of the project satisfies the city's goals and objectives for a project with providing pedestrian amenities, new employment opportunities, and establishing a sense of place.**
4. **The request demonstrates that granting of the waiver will result in a development that exceeds one or more of the minimum requirements for PUDs – the proposed waivers will enhance the development of the project by allowing a sign along the front of the property for customers to easily find the site. The Application proposed to exceed the open space and landscape requirements for the site by 37.3%, thereby providing for more than the minimum requirements for open space and landscaping planting.**
5. **The request for one or more waivers results from innovative design in which other minimum standards are exceeded – the proposed improvements and subsequent waivers promote innovate and creative planning and design that will improve the functionality and efficiency of the site.**
6. **The request demonstrates that granting of the waiver will result in the preservation of valuable natural resources, including environmentally-sensitive lands, drainage and recharge areas, and coastal areas – the waivers being requested with this application were previously approved in 2012. The previously approved waivers were for the ground sign which is proposed in the same location as the previous request; the waiver for the setback to residential has been improved with the building being closer to PGA Boulevard and increasing the setback waiver from 31 feet previously approved at 55 feet reducing the setback waiver from 59' to 35'.**
7. **The request clearly demonstrates public benefits to be derived, including but not limited to such benefits as no-cost dedication of rights of way, extensions of pedestrian linkages outside of the project boundaries, preservation of important**



**natural resources, and use of desirable architectural, building and site design techniques** – *the waiver requests will result in public benefits such as promoting desirable architectural building and site design techniques. The drive thru lane will allow a freestanding ATM building and provide for better circulation throughout the site. The granting of the waivers will allow the site to make improvements that will enhance the functionally, efficiency and aesthetics of the site.*

- 8. Sufficient screening and buffering, if required, are provided to screen adjacent uses from adverse impacts caused by a waiver** – *sufficient screening and buffering has been provided. The granting of the waivers will not cause any adverse impact to the adjacent uses.*
- 9. The request is not based solely or predominantly on economic reasons** – *the waivers requests are not based solely and predominantly on economic reasons. The requests permit improved design consistent with the established development character. The waivers will allow the development of this project to provide desirable architecture and aesthetically pleasing features.*
- 10. The request will be compatible with existing and potential land uses adjacent to the development site** – *the proposed waiver requests are compatible with the existing and potential land uses adjacent to the development site. The proposed development and subsequent waivers are necessary to make the site functionally, efficiently and aesthetically pleasing with the area. The waiver request is consistent with established PUD character and the overall pattern of area.*
- 11. The request demonstrates the development will be in harmony with the general purpose and intent of this section, and that such waiver or waivers will not be injurious to the area involved or otherwise detrimental to the public health, safety, and welfare** – *the proposed waivers are in harmony with the intent of this LDR section.*

#### **Conditional Use Criteria:**

Based on the pre-application meeting with the City, it was determined that the proposed development will require a Major Conditional Use for the proposed drive through. Section 78-52 of the City of Palm Beach Gardens Code of Ordinances lists thirteen (13) criteria for a Major Conditional Use. Provided below is a point by point justification based on these criteria and how the requested use complies with each.

- 1. Comprehensive Plan. The proposed use is consistent with the comprehensive plan.**

The proposed First Republic Bank is consistent with the City's Comprehensive Plan. The proposed project has an existing land use and zoning that is consistent and compatible



with the comprehensive plan. A drive through facility use is consistent with the overall Goals, Objectives and Policies of the City's Comprehensive Plan and in no way will negatively impact the adjacent properties or surrounding area.

**2. Chapter requirements. The proposed use is consistent with all applicable requirements of this chapter.**

The proposed use is consistent with all applicable requirements of the chapter. Specifically as follows:

- The proposed development meets the front and side setbacks for the proposed Major Conditional Use Application. However, the rear setback based on the site abutting residential there is a required additional setback the applicant is requesting a waiver;
- Parking requirements have been met for both a financial institution and professional office building;
- Proposed signage has met all requirements of the sign code except the proposed monument sign where the applicant has required a waiver since the dimension of the frontage does not meet the minimum 300' requirement;
- Landscaping requirements have been met or exceeded the requirements. The applicant is proposing an 8' landscape buffer with a 6 foot concrete wall with landscaping along both sides of the wall.
- The building elevations and signage will be consistent with the architectural style of the surrounding area.

This request is consistent with the applicable requirements of the City's Land Development Regulations. In addition, the new office building will be built to the most up to date Florida Building Code.

**3. Standards. The proposed use is consistent with the standards for such use as provided in Section 78-159.**

The City standards for a drive through have been met. The proposed office building will have an ATM drive through only and will provide sufficient stacking for the use without adversely impacting the surrounding parking areas.

**4. Public welfare. The proposed use provides for the public health, safety, and welfare by:**

- a. **Providing for safe and effective means of pedestrian access.** Pedestrian connections/pathways will be provided to and from the proposed office building in order to allow customers a safe means to cross through the parking area.
- b. **Providing for a safe and effective means of vehicular ingress and egress.** Ingress and egress for the subject parcel is provided by using the existing driveway connection. In addition, there is no proposed direct connection to either



of the adjacent rights-of-way which will add an additional layer of safety for vehicular and pedestrian traffic.

- c. **Providing for an adequate roadway system adjacent to and in front of the site.** The subject property is has access from PGA Boulevard which is the north property line of the subject site.
- d. **Providing for a safe and efficient onsite traffic circulation, parking, and overall control.** The proposed site plan for the financial institution and the office building meet all City code requirements and provide efficient onsite parking and traffic circulation for the site.
- e. **Providing adequate access for public safety purposes, including fire and police protection.** Access and circulation has been designed to meet code requirements and provide for effective movement for public safety, as well as, allow for emergency vehicles to enter and exit the site safely.

5. **Screen and buffering. The proposed uses utilizes such techniques as landscaping, screening, buffering, site or building design, or business operation procedures to mitigate impacts on surrounding properties, including such impacts as:**

- a. **Noise.** The proposed use will comply with the City's noise standards and regulations.
- b. **Glare.** The proposed lighting will meet all applicable City lighting standards.
- c. **Odor.** The proposed project will not create any odor.
- d. **Ground, wall, or roof mounted mechanical equipment.** All ground, wall or roof mounted mechanical equipment is proposed to be screened via a parapet wall or landscaping.
- e. **Perimeter, interior, and security lighting.** All security lighting will be in compliance with the City's Land Development Regulations.
- f. **Signs.** The signage proposed will meet the sign code with regard to overall dimensions of the proposed signage. However, the location code for allowing a monument sign for every 300' feet of frontage requires a waiver since the frontage of the subject site is 245'. It should be noted that this waiver was a previous waiver that was approved.
- g. **Waste disposal and recycling.** With the proposed use of a financial institution there will be no disposal of trash as all documents are removed from the property and shredded off site.
- h. **Outdoor storage of merchandise and vehicles.** There will be no outdoor storage of merchandise or vehicles on this site.
- i. **Visual Impact.** The proposed building will be designed to be compatible and in harmony with the surrounding properties. In addition, the proposed building will be constructed to meet all current and applicable City Land Use Regulations



and Florida Building Code requirements.

- j. **Hours of operation.** The hours of operation for the proposed financial institution and the professional offices will be normal business hours 8:00a to 6:00p.

6. **Utilities. The proposed use minimizes or eliminates the impact of utility installation, including underground and overhead utilities, on adjacent properties.**

The proposed use will connect to the utilities currently existing along PGA Boulevard.

7. **Dimensional standards. The proposed use meets or exceeds all dimensional requirement required by this chapter.**

The proposed use meets and exceeds the majority of the dimensional requirements. However, with regard to the south property line the applicant is proposing a waiver to allow a reduction of the additional setback requirement since the site abuts a residential district. The site meets the stacking lengths, and parking stall sizes. Based on the proposed parking stall sizes the applicant has included additional landscaping over and above the requirement. The proposed development will meet all required City Land Use and Code Requirements.

8. **Neighborhood plans. The proposed use is consistent with the goals objectives, policies and standards of neighborhood plans.**

There are no neighborhood plans for the subject site. However, any residential neighborhoods within the area will not be negatively impacted by the proposed development.

9. **Compatibility. The overall compatibility if the proposed development with adjacent and area uses, and character or area development.**

The proposed development is compatible with the surrounding property. The property is bounded on the north by PGA Boulevard; to the east is an existing SunTrust Bank building; to the south is an existing 100 foot canal and then residential; to the west is the existing PGA Commons development.

10. **Patterns of development. The proposed use will result in logical, timely, and orderly development patterns.**

The development of this site is consistent with the Comprehensive Plan and City Land Development Regulations. The proposed project and conditional use will provide or a logical, timely and orderly pattern of development with minimal disruption to the site or the adjacent properties and surrounding area.

11. **Purpose and intent. The proposed use will be in harmony with the general purpose and intent of this chapter and the goals, objectives, and policies of the City.**

The proposed use is consistent with the general purpose and intent of the code as well



as the goals, objectives and policies of the City for commercial development.

**12. Adverse impact. The design of the proposed use and structures will minimize any adverse visual impacts or impacts caused by the intensity of the use.**

The proposed project and major conditional use will allow an ATM only drive-through and will not have an adverse impact visually on the area. Further, the existing landscaping and proposed landscaping will further limit any visual impacts of the building.

**13. Environmental impact. The design of the proposed use minimizes any adverse impacts that may be created, including impact on environmental and natural resources including air, water, storm water management, wildlife, vegetation, and wetlands.**

There are no existing environmental areas on the Site.

Based on the above Conditional Use Criteria, the proposed use meets and/or exceeds the requirements for a Major Conditional Use

<b>SITE ANALYSIS</b>			
	<b>Code PO</b>	<b>Proposed</b>	<b>New Waiver Requested</b>
<i>Max Lot Coverage</i>	35%	10.4%	No
<i>Max Building Height</i>	36 feet	36 feet	No
<i>Min. Open Space (per PCD)</i>	15%	40%	No
<b>Setbacks</b>			
<i>Front - PGA Boulevard</i>	25'	55'	No
Special Front Setback – Section 78-221d (4) - PGA Overlay – PGA Blvd,		55'	No
<i>Side – east</i>	15'	52.8'	No
<i>Side - west</i>		87.7'	
<i>Rear - south</i>	15'	55'	No
<b>Section 78-153, Table 12</b>	<b>90'</b>	<b>55'</b>	<b>Yes</b>
<i>Section 78-159, note 29</i>	50'	55'	No
<b>Parking</b>			
<i>Number Required</i>	31	32	No
<i>Stall Dimensions</i>	9.5' x18.5'	9.5' x 18.5'	No
<b>Landscaping</b>			



Turtle Beach PUD/First Republic Bank

~~March 30, 2016~~

~~April 13, 2016~~

~~August 9, 2016~~

~~September 9, 2016~~

September 26, 2016

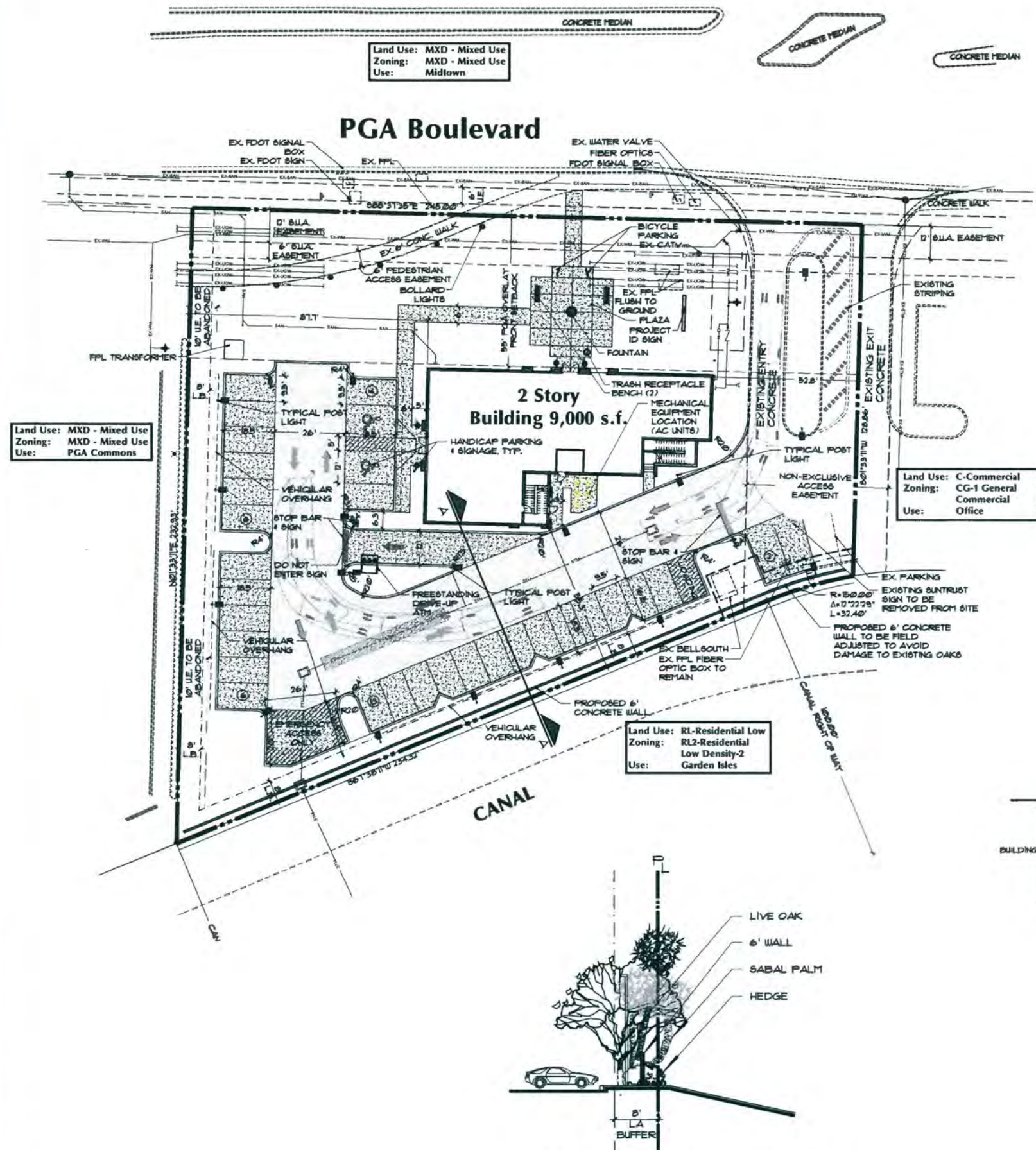
Page 11

<b>SITE ANALYSIS</b>			
	<b>Code PO</b>	<b>Proposed</b>	<b>New Waiver Requested</b>
<i>Buffers</i>	55'	55'	No
<i>Minimum perimeter buffer requirement</i>	8'	8' with a wall	No
<i>Signage</i>			
<b>Ground Sign</b>	<b>1 sign per 300 linear feet</b>	<b>245'</b>	<b>Yes</b>

On behalf of the applicant, 4506 PGA Blvd., LLC, Gentile Glas Holloway O'Mahoney & Associates, Inc. respectfully requests processing of this application. The Project Managers at Gentile Glas Holloway O'Mahoney & Associates, Inc. are George G. Gentile, Dylan Roden and Patricia Lentini.



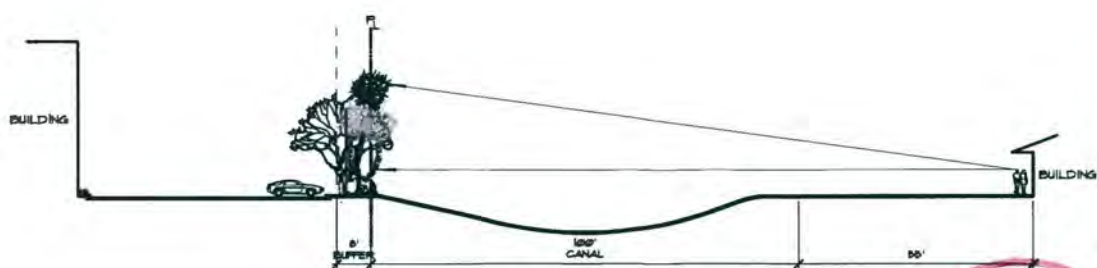
FILE: WPPRST REPUBLIC BANK - DIVORCE DRAWINGS CURRENTLY 15-023 DESIGN BASED ON  
PLOT: 10/24/16 AT 12:00 PM BY: DTLAN  
XREF: 0



**Landscape Buffer Section**  
Scale: 1"=10'

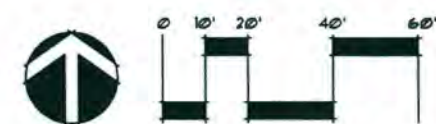
First Republic Bank			
Site Data		8/9/2016	
Description			
Petition Number		First Republic Bank	
Project Name		512 T42 R43	
Section Township Range		52-42-42-12-26-000-0000	
Property Control Number			
Site Area		1.008 Acres	
Future Land Use		Professional Office (PO)	
Existing Zoning		PUD/PGA Overlay, PO (Professional Office)	
Proposed Future Land Use		Professional Office (PO)	
Proposed Zoning		PUD/PGA Overlay, PO (Professional Office)	
Overall Site Totals			
Bank		1,500 s.f.	
Office		7,500 s.f.	
Overall Building Data			
Building Height	Required	Provided	
Setbacks	36' Max	36'	
Front (North)	55'	55' PGA Overlay	
Rear (South)	90'	55.3'	
Side (East)	15'	52.8'	
Side (West)	15'	87.7'	
Lot Coverage	35% Max	10.4%	
Open Space	0.151 AC	0.403 AC	
Total	7,318.2 S.F.	17,536 S.F.	
Minimum Required Open Space	15%		
Open Space Required for Reduction in Parking Length 947.25'x2'	794.5 sf		
		40.0%	
Pervious Area		17,558.2 S.F.	
		40.0%	
Impervious Area		26,353.2 S.F.	
		60.0%	
Parking Data			
Total Spaces	Required	Provided	
Bank	1,500 S.F.	31	
Bank (1/250)		4	
Office	7,500 S.F.	25	
Office (2 per 300 x 1.2)			
Handicap Spaces (if Provided)	2	2	
Bicycle Parking	2	2	
5% of Required Commercial Parking			

Waivers				
	CODE SECTION	REQUIREMENT	PROPOSED (As Previously Approved)	WAIVER
1.	Section 78-285, Table 24 Permanent Signs	1 ground sign per 300 linear feet of ROW	1 ground sign for 245 linear feet	55 linear feet
2.	Section 78-153, Table 2 Property Development Regulations	90 foot setback from residential	55 feet	35 feet



**Section A**  
Scale: 1"=20'

**Notes:**  
-ALL PAVEMENT MARKING AND STRIPING, EXCLUDING PARKING STALLS, SHALL BE INSTALLED WITH THERMOPLASTIC MATERIALS. ALSO PAYER BRICKS OF APPROPRIATE COLOR SHALL BE USED ON PARKING AREAS, IN LIEU OF PAINT OR THERMOPLASTIC MATERIAL.



**Gentile Glas Holloway O'Mahoney & Associates, Inc.**  
Landscape Architects  
Environmental Consultants  
1507 Commerce Lane  
Suite 101  
Jupiter, Florida 33458  
861-575-9551  
861-575-5260 FAX  
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Site Development Plan

**Turtle Beach Bank, PUD**

Palm Beach Gardens, Florida

Designed: GGG/RLB  
Drawn: RLB  
Approved: GGG/RLB/MTM  
Date: 8/9/16  
Job no: 15-1023  
Revisions: 15-1023  
10/24/16

LC 000011  
Sheet Title:  
**Site Development Plan**  
Scale: 1"=20'  
Sheet No:  
**SP-1**  
15-1023

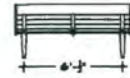




MANUFACTURER: LANDSCAPE FORMS  
DISTRIBUTOR: US&L LANDSCAPE FORMS, LLC  
PRODUCT: LOOP BIKE RACK OR SIMILAR  
SIZE: 14"X36"X10"  
MATERIAL: STANDARD CAST ALUMINUM  
COLOR: METALLIC SILVER  
DESCRIPTION: TO BE MOUNTED WITH EMBEDDED SUPPORTS

**Bike Rack Detail**

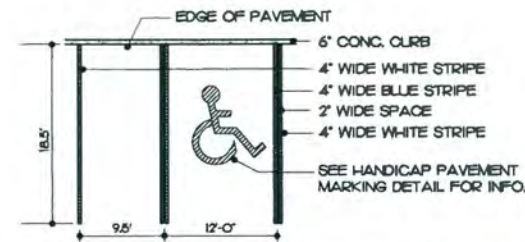
N.T.A.



MANUFACTURER: LANDSCAPE FORMS  
DISTRIBUTOR: US&L LANDSCAPE FORMS, LLC  
PRODUCT: AUSTIN BACKED BENCH WITH CENTER ARMREST OR SIMILAR  
SIZE: 34"X39"X10"  
MATERIAL: POWDERCOATED METAL FRAME, 1/2" SOD, TITANIUM METALLIC (METAL) NO FINISH (WOOD)  
COLOR: TO BE MOUNTED WITH EMBEDDED SUPPORTS  
DESCRIPTION:

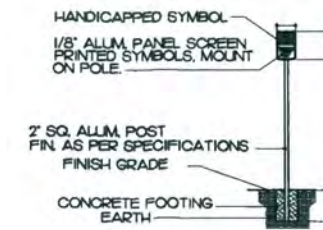
**Bench Detail**

N.T.A.



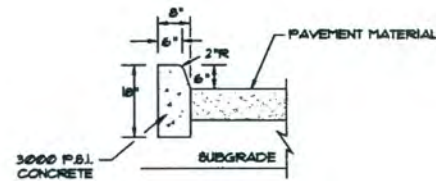
**Handicap Parking Stall Detail**

N.T.A.



**Disabled Parking Sign**

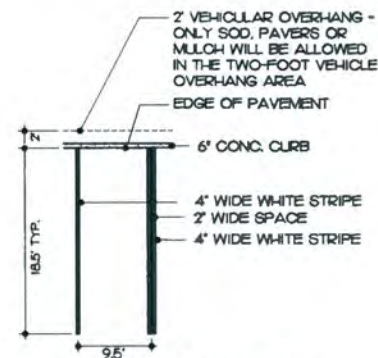
N.T.A.



**Type "D" Curb Detail**

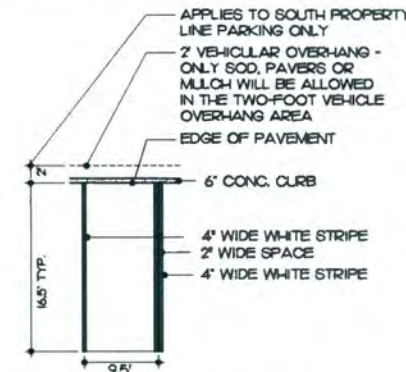
REFER TO FOOT INDEX 300 FOR ADDITIONAL INFORMATION.

N.T.A.



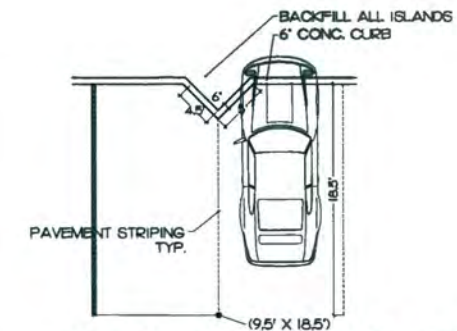
**18.5' Parking Stall Detail**

N.T.A.



**16.5' Parking Stall Detail**

N.T.A.



**Parking Diamond Detail**

N.T.A.



MANUFACTURER: CAMPANIA INTERNATIONAL  
MODEL: BELVEDERE FOUNTAIN  
SIZE: 60"X3" TALL, 4" DIAMETER  
MATERIAL: PRECAST CONCRETE  
COLOR: NATURAL

**Plaza Fountain**

N.T.A.



**B D/F INTERNALLY ILLUMINATED MONUMENT SPECIFICATIONS** Scale: 3/4" = 1'-0"

Manufacture and install one (1) D/F Internally Illuminated monument, as shown.

Specifications:	Specification/Material	Finish	Color
Letters	3/4" White acrylic push-thru & vinyl overlay	SM	White #0020-30
Eagle	3/4" White acrylic push-thru & vinyl overlay	SM	White #0020-30 (head) Gold Metallic #0030-35 (body)
Address #	1/4" FOD aluminum	MAP - Satin	To match FMS 6035 C
Base & Frame	To match building material & color		

**Monument Sign Detail**

SEE SIGNAGE PLANS BY ADAPT FOR MORE INFORMATION

N.T.A.



**Gentile Glas Holloway O'Mahoney & Associates, Inc.**  
Landscape Architects  
Planners  
Environmental Consultants

1501 Commerce Lane  
Suite 101  
Jupiter, Florida 33488  
561-575-2551  
561-575-5260 FAX  
www.GHO.com

Site Development Plan

# Turtle Beach Bank, PUD

Palm Beach Gardens, Florida

Designed: GGG/DLB  
Drawn: DLB  
Approved: GGG/DLB/MTU  
Date: 3/21/16  
Job no.: 15-1023  
Revisions: 10/24/16

Seal

LC 0000111  
Sheet Title:

Site Details

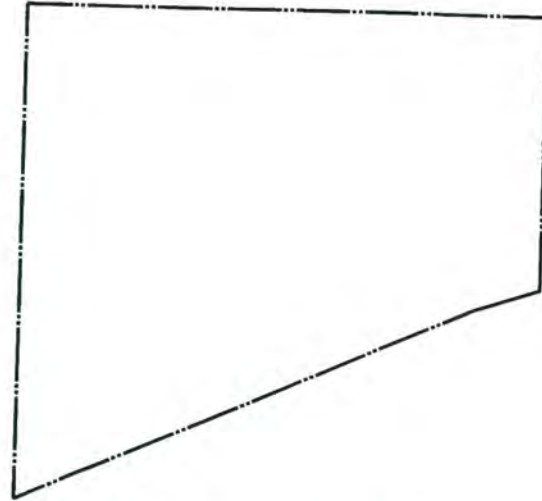
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Sheet No.

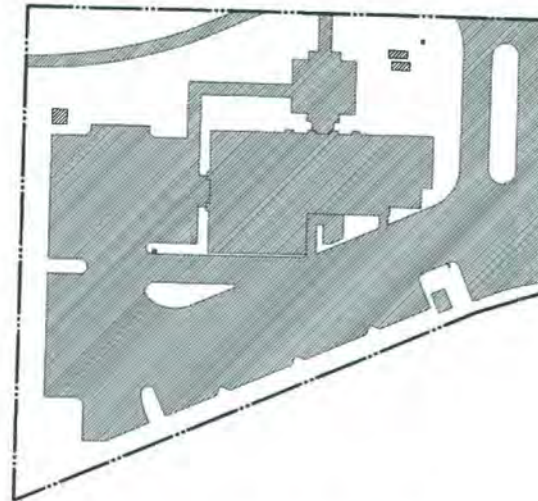
SP-2

15-1023

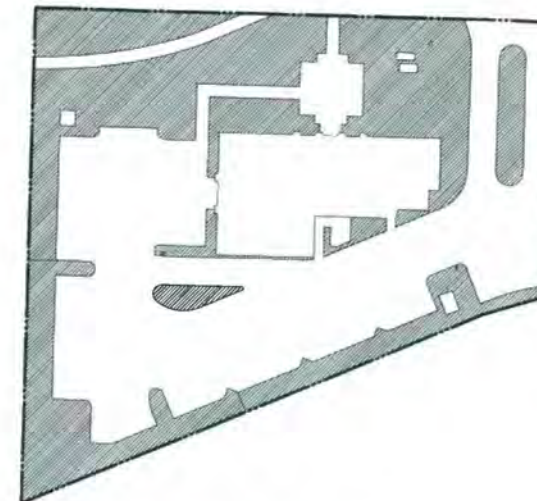




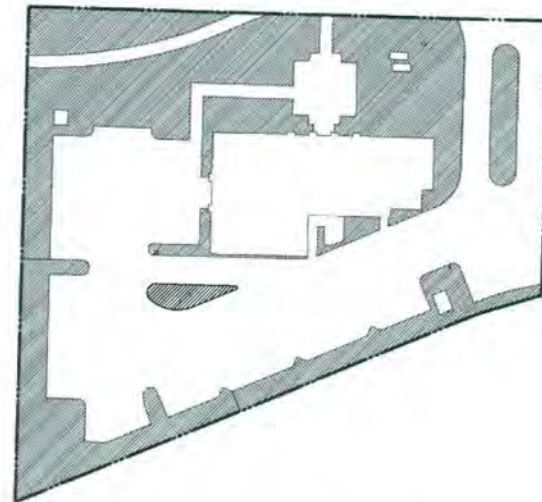
**Total Site Area - 43,911.25 s.f.**



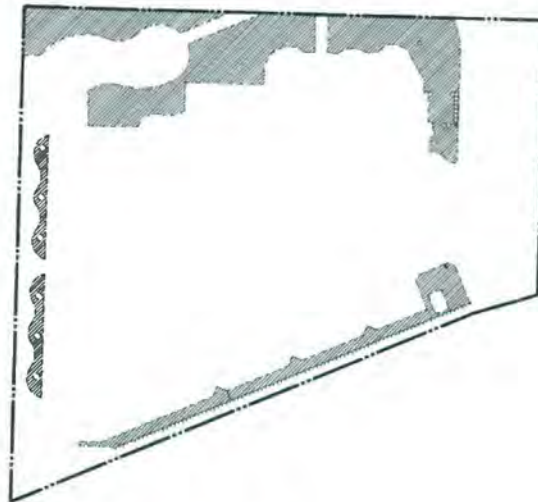
**Impervious Area - 26,483.40 s.f.**



**Pervious Area - 17,427.12 s.f.**

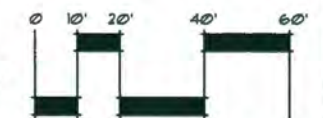


**Open Space for Landscape  
Points Area - 17,408.19 s.f.**



**Sod Area - 6,722.04 s.f.**

Note: Due to small margin of CADD Error  
During Drafting Pervious + Impervious  
Total is .13 s.f. above the total site area



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O'Mahoney  
& Associates, Inc.**  
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**Area Calculations Plan**  
**First Republic Bank**  
Palm Beach Gardens, Florida

Designed: GGG/RLB  
Drawn: RLB  
Approved: GGG/COM/MTL  
Date: 3/14/16  
Job no. 15-3023  
Revisions: 1/8/16

Seal

LC 000011  
Sheet Title:  
**Area  
Calculations  
Plan**

Scale: 1"=20'

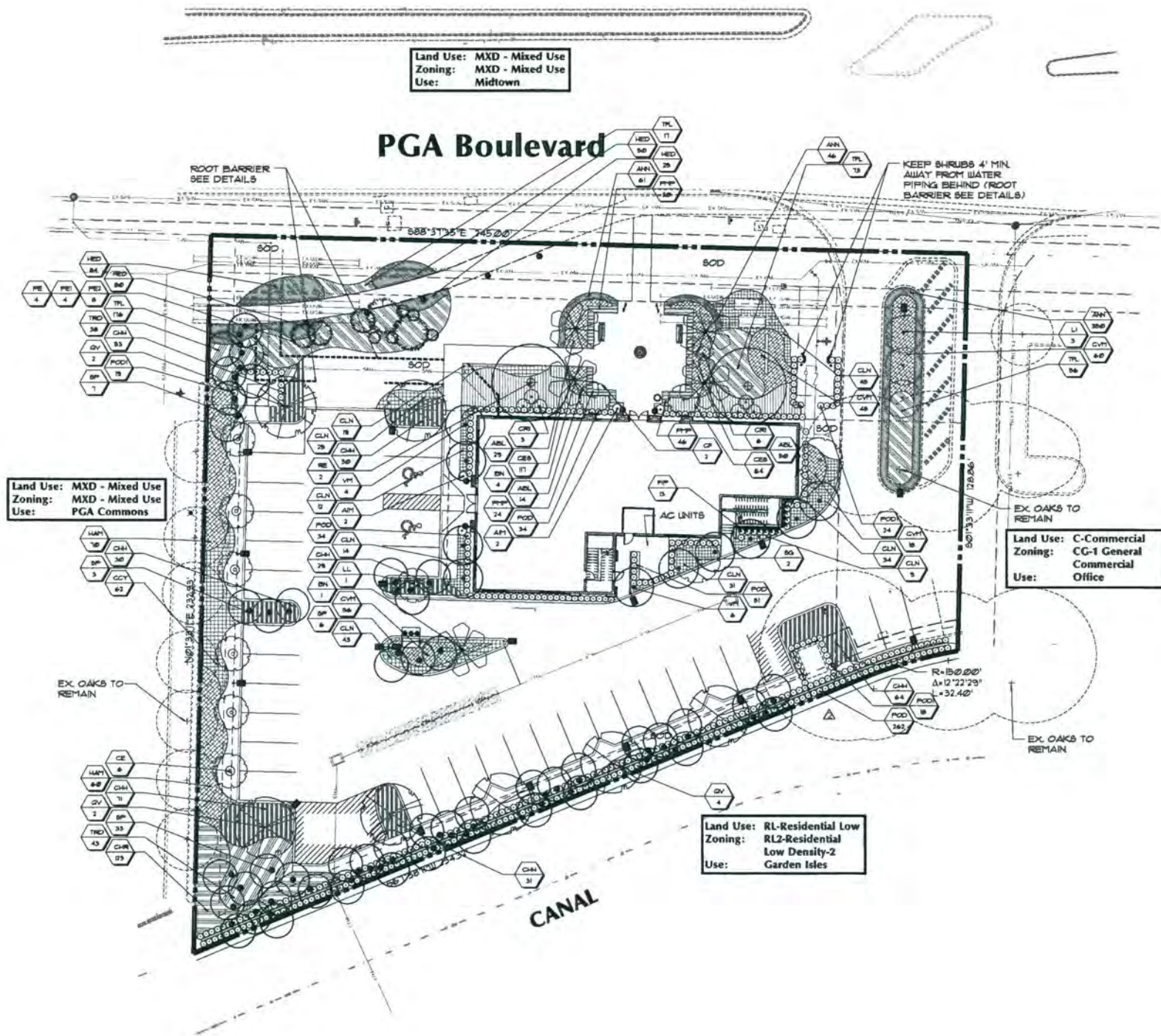
Sheet No.

**SP-3**

15-1023

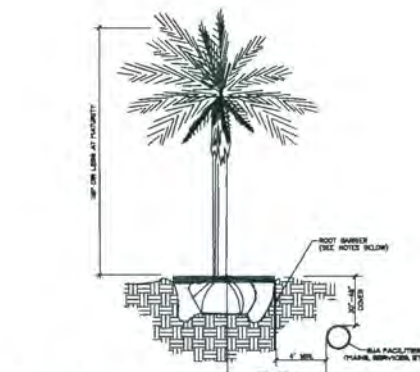


FILE: FIRST REPUBLIC BANK - DIVISION: LANDSCAPE ARCHITECTURE - PROJECT: 15-1023 - DESIGN BASED ON: 15-1023 - 10/24/16 AT 10:54 AM BY: JESSEN



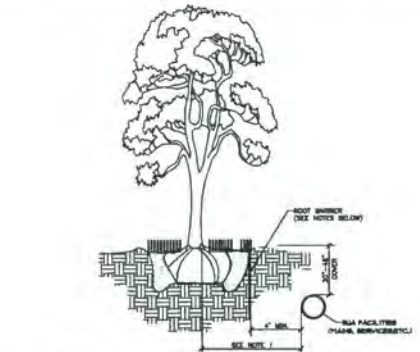
Landscape Data			
Site Area	43,891	1,008 Acres	6/3/2016
Open Space		Required	Provided
Landscape Open Space		6,584 S.F.	17,074 S.F.
For Point Calculation Only (Screening)		15% Min	38.3%
Landscape Points	10.5	1,799 Pts.	4,463 Pts.
Points per 100 x 1			
Maximum Amount of Sod Permitted		6,830 S.F.	6,030 S.F.
40% of Open Space			
Preferred Tree Species Provided		75 %	88.6 %
Preferred Palm Species Provided		75 %	100 %
Preferred Shrubs Species Provided		75 %	98.1 %
Native Species Provided of Required		75 %	80.5 %

**Notes:**  
-LANDSCAPING OF THE LOWER CANOPY OF TREES SHOULD BE TRIMMED TO A MINIMUM HEIGHT OF 6' MAINTAINED THROUGH MATURATION TO INCREASE NATURAL SURVEILLANCE  
-LANDSCAPING OF SHRUBBERY SHOULD BE TRIMMED TO A MAXIMUM HEIGHT OF 36" AND MAINTAINED THROUGH MATURATION TO INCREASE NATURAL SURVEILLANCE



NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)  
1. THE DISTANCE SHALL BE 4' MINIMUM WITH ROOT BARRIER AND 12' MINIMUM IF NO ROOT BARRIER IS USED.  
2. ALL ROOT BARRIERS SHALL BE 4" MINIMUM FROM ALL REAR/STREET FACILITIES.  
3. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH REAR/STREET AND INSPECTED BY REAR/STREET PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.  
4. ROOT BARRIERS SHALL BE MINIMUM 36" DEEP. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTION". FLEXIBLE BARRIERS SHALL BE 24" PANELS MANUFACTURED BY BROWNS.  
5. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

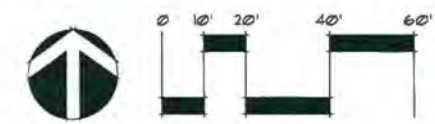
Typical Small Tree or Palm Tree with Root Barrier  
June 24, 2015 (Rev A-15)



NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)  
1. THE DISTANCE SHALL BE 12' MINIMUM WITH ROOT BARRIER AND 12' MINIMUM IF NO ROOT BARRIER IS USED.  
2. ALL ROOT BARRIERS SHALL BE 4" MINIMUM FROM ALL REAR/STREET FACILITIES.  
3. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH REAR/STREET AND INSPECTED BY REAR/STREET PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.  
4. ROOT BARRIERS SHALL BE MINIMUM 36" DEEP. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTION". FLEXIBLE BARRIERS SHALL BE 24" PANELS MANUFACTURED BY BROWNS.  
5. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.  
6. LARGE PALM TREES INCLUDE ROSE, SHAW, AND SIMILAR SPECIES.

Typical Canopy Tree, Large or Exotic Palm Tree with Root Barrier  
June 24, 2015 (Rev A-15)

Scale: 1"=20'



**Gentile Glas Holloway O'Mahoney & Associates, Inc.**  
Landscape Architects  
Planners  
Environmental Consultants

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# Turtle Beach Bank, PUD

Site Development Plan  
Palm Beach Gardens, Florida

Designed: GGG/DB  
Drawn: DBL  
Approved: GGG/DBL/AMH  
Date: 5/31/16  
Job no: 15-1023  
Revisions: 15-1023  
10/24/16

Sheet Title:  
Landscape Development Plan  
Scale: 1"=20'  
Sheet No.:  
LP-1  
15-1023



LC 000011

Sheet Title:

Landscape  
Specifications  
& Details

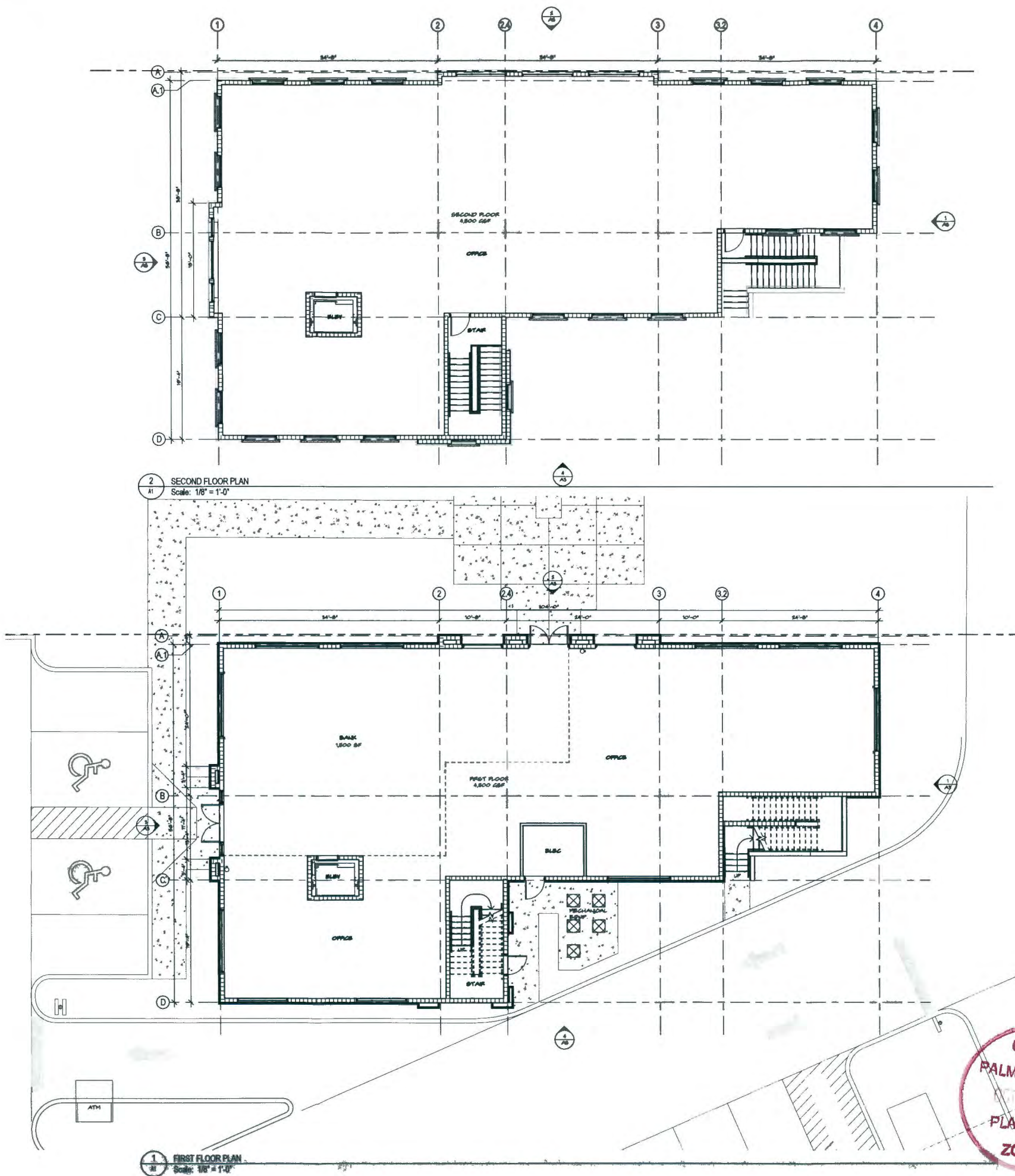
Scale: 1"=20'

Sheet No.

LP-2

B-1023





NEW CONSTRUCTION FOR:  
**TURTLE BEACH PUD**  
**SHELL BUILDING**  
PGA Boulevard  
Palm Beach Gardens, FL 33410

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RIGHTS RESERVED.

Revisions:	
1. REVISIONS TO SUBMITTAL	08-05-16
2. REVISIONS TO SUBMITTAL	09-09-16

Project no: 15019  
Date: 03/11/2016  
Drawn by: KM  
Project Architect: KM  
Partner: KS



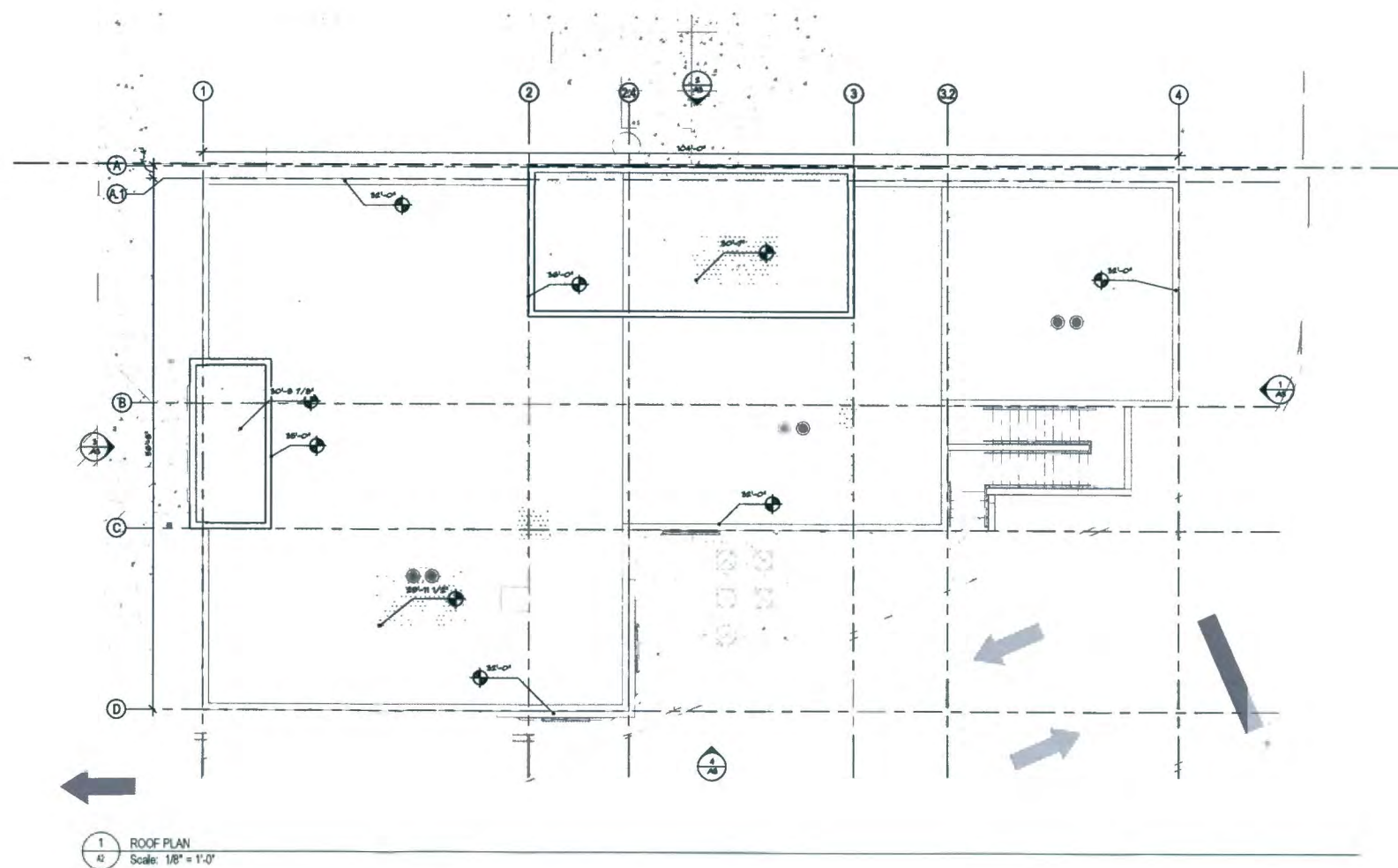
**A1**  
PLANNING



207 SIXTH STREET  
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FL Lic # A03002299

Architecture + Interior Design  
Kathleen M. Spina + Associates





## A2

## PLANNING

NEW CONSTRUCTION FOR:

**NEW CONSTRUCTION**  
**TURTLE BEACH PUD**

## SHELL BUILDING

PGA Boulevard  
Palm Beach Gardens, FL 33410

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Architecture • Interior Design  
Kath M. Rubin © AR13419

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FACADE MATERIAL & COLOR LEGEND

TB-1	TEXTURED SPALLATED STONE STROKE STUCCO
PT-1	SMOOTH STUCCO FINISH - PAINT TO MATCH SB-1
PT-5	SMOOTH STUCCO FINISH - PITTSBURGH PAINTS 650-1 'ANTIQUE WHITE'
PT-5	SMOOTH STUCCO FINISH - PITTSBURGH PAINTS 650-2 'ANTIQUE WHITE'
SB-1	SMOOTH SPALLATED STONE STROKE STUCCO
HT-1	PANED ALUMINUM FRAME, COLOR BRONZE
GS-1	CLAR GLAZING
GS-2	OPALUS STAINED GLAZING
TB-1	12" X 12" BLOCKS IN TEXTURED SPALLATED STONE STROKE STUCCO, SEE EXTERIOR ELEVATIONS FOR PATTERN





FACADE MATERIAL & COLOR LEGEND	
	TB 1 TEXTURED SPALLATED STONE STROKE STUCCO
	PT 1 SMOOTH STUCCO FINISH - PAINT TO MATCH CAST STONE
	PT 2 SMOOTH STUCCO FINISH - PITTSBURGH PAINTS SS-01 'STRIPED'
	PT 3 SMOOTH STUCCO FINISH - PITTSBURGH PAINTS SS-2 'ANTIQUE WHITE'
	SS 1 SMOOTH SPALLATED STONE STROKE STUCCO
	HT 1 ALUMINUM FRAMES, COLOR: BRONZE
	GL 1 CLEAR GLAZING
	GL 2 OPAQUE STAINLESS GLAZING
	TB 1 12\"/>



# PGA Boulevard

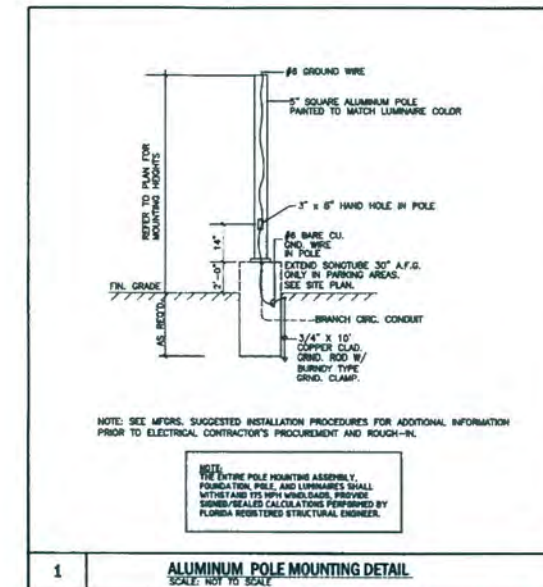
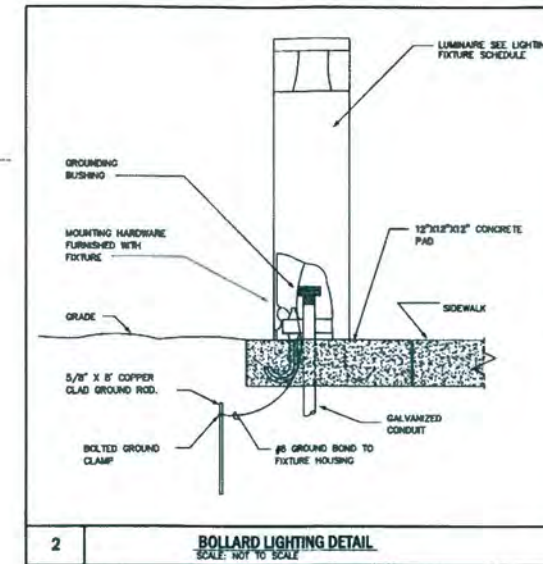
2 Story  
Building 9,000 s.f.

CANAL

Calculation Summary					
Label	Area	Footcandle	Watts	Watts/Ft²	Watts/1000
DRIVE ENTRANCE	4.00	15.0	2.0	2.40	0.75
PARK & DRIVE	4.00	15.0	1.0	4.00	15.00
SPILL	1.40	4.7	0.0	N.A.	N.A.
1' FROM ATM	15.00	15.0	1.00	1.00	1.00
10' FROM ATM	8.14	15.0	2.0	3.07	7.00
PARK & DRIVE EX ATM ZONE	3.00	0.5	1.0	3.00	6.00
SPILL TO ADJ ROAD	0.25	0.5	0.0	N.A.	N.A.
WALKWAY	1.22	2.0	0.0	2.40	4.00

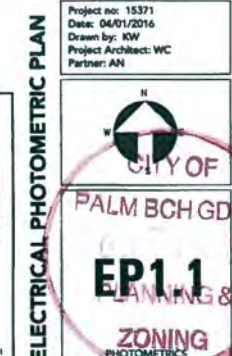
## LIGHTING NOTE

CUTOFFS ARE REQUIRED FOR ALL LIGHTS ADJACENT TO RESIDENTIAL ZONING DISTRICT PER CODE SECTION 78-182.



Symbol	Qty	Label	Description	Luminaire/Lamp	LLB	LBO	W	LLF	Line Watts	Total Watts
⊙	6	B	LED LINEAR ADOBE-115-LTS-00K	2000	0.800	0.800	1.000	0.810	16	128
⊙	8	BA	CIRCON CAS-640-40-40-AL POLE MOUNT 20' A.F.F.	N.A.	0.800	0.800	1.000	0.810	78	782
⊙	7	BB	CIRCON CAS-672-40-40-AL POLE MOUNT 20' A.F.F.	N.A.	0.800	0.800	1.000	0.810	140	1022
⊙	1	BB1	CIRCON CAS-672-40-40-AL POLE MOUNT 20' A.F.F.	N.A.	0.800	0.800	1.000	0.810	140	282
⊙	4	WT	VISOR/LAIRE SRL-1-T4-22LC-5-40-40V-20W	2641	0.800	0.800	1.000	0.810	32	268

PRIOR TO SUBMITTING THE BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND SHALL INCLUDE IN THE BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFIABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.



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Architecture/Interior Design  
Suite 100, Space 1401349

ELECTRICAL PHOTOMETRIC PLAN

1 ELECTRICAL PHOTOMETRIC PLAN  
Scale: 1/16" = 1'-0"



## OVERVIEW

The Circon Cascade Series is the industry's longest lasting high performance solid state luminaires. With the best in thermal management, proprietary optics, and the highest quality components available, Circon products provide beautifully uniform lighting while maintaining unmatched output over the industry's longest lifetimes.

## FEATURES

### Thermal Management

The industry's only combination of the superior thermal conductivity of an aluminum extrusion heat sink with a bird-protected ventilated housing. Dust-aided copper clad boards with thermally conductive interfaces optimize thermal conductivity. Tall, frequent fin geometry paired with largest in class LED spacing provides 15.1in<sup>2</sup> convective surface area per LED.

### Superior Optics

Proprietary optics designed by Circon for the specific output signature of our LEDs combine close-beaming efficiency and uniformity with soft, undetectable edges.

### Quality Components

From injection molding to metal fabrication, extrusion to board population and beyond, 100% of our proprietary components is domestically sourced and designed to provide the longest lasting future life in the industry. We are dedicated to robust design with uncompromising quality in a single technology. Our sole purpose is to deliver the best of the best in commercial solid state lighting.

### Mechanical

Dimensions: 10"W x 13"D x 8.67"H. Carton Weight: 17lbs.  
EPA Rating: 1.02  
Solid aluminum housing, baked powder coat finish on all exterior and interior surfaces. Stainless steel fasteners and hardware; no ferrous metals.  
Bayer Multivision V-0 polycarbonate optics for superior chemical and impact resistance.  
Operating Temperature Range: -40°C/-40°F to 50°C/120°F.

### Electrical

UL/ULX Wet Listed to UL 1599 and E750.  
Driver reduces power if case temperature exceeds 80°C/176°F.  
Class A sound rating.  
0-10V dimming standard, 100% to 10%, available with optional integral sensors.  
>0.9 power factor, <0.0% THD, RoHS.  
Standard 3kV surge suppression. Optional 10kV and 20kV surge suppression.

Notes: \* Circon's LED 75 W in situ at 80°C/176°F ambient and LM-80 data to the DOE's TM-21 Certified.

1

FIXTURE TYPE "SA"

**CASCADE SERIES - AREA AND SITE**

CA2-040-AH-AJ-AL-BZ-AF-NS



System Watts: 75  
LEDs: 48  
Delivered Lumens: 7885 lm  
Distribution: 120 degree  
Color Temperature: 4000K  
Input Voltage: 120-277V  
also available in 247-480V  
CRI: 1 75 Typ  
Mount: 2AF Slip Filter  
Integral Sensor: No Sensor  
Housing Color: Architectural Bronze  
also available in White, Black, Blue, and Custom Colors  
10 Year  
WARRANTY

Spacing Criteria:  
Circon's proprietary 120 degree reflector and lens optic assembly delivers an evenness uniformity of better than 1:2:1 when spaced at 1.33 times the mounting height. At 2.07 times the mounting height, uniformity is better than 2:1.

Your Authorized Circon Agent



## OVERVIEW

The Circon Cascade Series is the industry's longest lasting high performance solid state luminaires. With the best in thermal management, proprietary optics, and the highest quality components available, Circon products provide beautifully uniform lighting while maintaining unmatched output over the industry's longest lifetimes.

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### Quality Components

From injection molding to metal fabrication, extrusion to board population and beyond, 100% of our proprietary components is domestically sourced and designed to provide the longest lasting future life in the industry. We are dedicated to robust design with uncompromising quality in a single technology. Our sole purpose is to deliver the best of the best in commercial solid state lighting.

### Mechanical

Dimensions: 12"W x 19"D x 8.67"H. Carton Weight: 22lbs.  
EPA Rating: 1.5  
Solid aluminum housing, baked powder coat finish on all exterior and interior surfaces. Stainless steel fasteners and hardware; no ferrous metals.  
Bayer Multivision V-0 polycarbonate optics for superior chemical and impact resistance.  
Operating Temperature Range: -40°C/-40°F to 50°C/120°F.

### Electrical

UL/ULX Wet Listed to UL 1599 and E750.  
Driver reduces power if case temperature exceeds 80°C/176°F.  
Class A sound rating.  
0-10V dimming standard, 100% to 10%, available with optional integral sensors.  
>0.9 power factor, <0.0% THD, RoHS.  
Standard 3kV surge suppression. Optional 10kV and 20kV surge suppression.

Notes: \* Circon's LED 75 W in situ at 80°C/176°F ambient and LM-80 data to the DOE's TM-21 Certified.

2

FIXTURE TYPE "SB" & "SB1"



System Watts: 148  
LEDs: 72  
Delivered Lumens: 14367  
Distribution: 120 degree  
Color Temperature: 4000K  
Input Voltage: 120-277V  
also available in 247-480V  
CRI: 1 75 Typ  
Mount: 2AF Slip Filter  
Integral Sensor: No Sensor  
Housing Color: Architectural Bronze  
also available in White, Black, Blue, and Custom Colors  
10 Year  
WARRANTY

Spacing Criteria:  
Circon's proprietary 120 degree reflector and lens optic assembly delivers an evenness uniformity of better than 1:2:1 when spaced at 1.33 times the mounting height. At 2.07 times the mounting height, uniformity is better than 2:1.

Your Authorized Circon Agent



## CONTRACTOR GENERAL CONDITIONS NOTES

1. RFIS- CONTRACTOR SHALL SUBMIT RFIS WITH HIS PROPOSED SOLUTION IN A TIMELY MANNER. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 5 WORKING DAYS TO RESPOND.
2. SUBMITTALS AND PRODUCT DATA- CONTRACTOR SHALL PREPARE A SUBMITTAL SCHEDULE FOR APPROVAL BY THE A/E. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 10 WORKING DAYS TO REVIEW SUBMISSIONS. ALL SUBMITTALS, PRODUCT DATA, SHALL BE CLEARLY STAMPED AND INDICATED APPROVED BY THE CONTRACTOR PRIOR TO SUBMISSION TO THE CONSULTANT.
3. SHOP DRAWINGS- CONTRACTOR SHALL PREPARE A SHOP DRAWING SCHEDULE FOR APPROVAL BY THE A/E. CONTRACTOR RECOGNIZES THE CONSULTANT SHALL REQUIRE UP TO 10 WORKING DAYS TO REVIEW SHOP DRAWINGS. ALL SHOP DRAWINGS SHALL BE CLEARLY STAMPED AND INDICATED APPROVED BY THE CONTRACTOR PRIOR TO SUBMISSION TO THE CONSULTANT.
4. LAYOUT AND COORDINATION DRAWINGS- CONTRACTOR SHALL PREPARE SCALED COMPREHENSIVE COORDINATED LAYOUT DRAWINGS, PROVIDE SECTIONS, GENERAL ARRANGEMENTS, ELEVATIONS INCLUDING ALL DISCIPLINES FOR HIS PROPOSED LAYOUT AND ROUTING PRIOR TO FABRICATION. SUBMIT TO OWNER AND A/E FOR REVIEW AND GENERAL CONFORMANCE. PROVIDE DRAWINGS THAT DEMONSTRATE VIA COORDINATED ELEMENTS AND SYSTEMS WITH STRUCTURE THAT CLEARLY INDICATE PROPOSED SYSTEMS WILL FIT, FUNCTION AS INTENDED, BE FREE OF INTERFERENCES AND CONFORM TO REQUIRED CODE AND MANUFACTURER WORKING AND MAINTENANCE CLEARANCES.
5. DEVIATIONS FROM BASIS FOR DESIGN SYSTEMS SHALL BE CLEARLY IDENTIFIED ON ALL SUBMISSIONS.
6. SUBSTITUTIONS:
  - A. CONTRACTOR SHALL PREPARE REQUESTS WITH COMPLETE COORDINATION INFORMATION, INCLUDE ALL CHANGES REQUIRED IN OTHER ELEMENTS OF THE WORK TO ACCOMMODATE THE SUBSTITUTION INCLUDING WORK PERFORMED BY THE OWNER AND THE SEPARATE CONTRACTORS.
  - B. PROVIDE COMPLETE SUPPORTING DATA QUALIFYING THE SUBSTITUTION COMPARED TO THE BASIS OF DESIGN SYSTEM. PROVIDE A DETAILED LIST OF ANY VARIANCES, LIGHTING POWER DENSITY (LPD) SPACE BY SPACE CALCULATIONS, SPACE OR ROOM PHOTOMETRICS, PHYSICAL OR SPATIAL LAYOUTS, ELEVATIONS, ETC. TO THE BASIS OF DESIGN.
  - C. PROVIDE A STATEMENT INDICATING THE EFFECT THE SUBSTITUTION WILL HAVE ON THE WORK SCHEDULE. AFTER THOROUGH EVALUATION, THE PROPOSED SUBSTITUTION WILL RESULT IN WORK THAT IN EVERY SIGNIFICANT RESPECT IS EQUAL TO OR BETTER THAN THE WORK REQUIRED BY THE CONTRACTOR DOCUMENTS AND THAT IT WILL PERFORM ADEQUATELY IN THE APPLICATION INDICATED.
  - D. PROVIDE CERTIFICATION BY THE CONTRACTOR TO THE EFFECT THAT, IN THE CONTRACTOR'S OPTION, AFTER THOROUGH EVALUATION, THE PROPOSED SUBSTITUTION WILL RESULT IN WORK THAT IN EVERY SIGNIFICANT RESPECT IS EQUAL TO OR BETTER THAN THE WORK REQUIRED BY THE CONTRACTOR DOCUMENTS AND THAT IT WILL PERFORM ADEQUATELY IN THE APPLICATION INDICATED.
  - E. CONSULTANT'S EXPENSES THAT ARE INCURRED DUE TO REVISIONS OR SUBSTITUTIONS REQUESTED BY THE CONTRACTOR OR APPROVED BY THE OWNER SHALL BE COMPENSATED TO THE CONSULTANT BY THE CONTRACTOR.
7. AS BUILDS- THE CONTRACTOR SHALL MAINTAIN AND PREPARE A COMPLETE AND ACCURATE SET OF AS BUILDS DURING THE PROJECT AND ISSUE TO THE A/E AND OWNER AT PROJECT CLOSEOUT. DURING THE COURSE OF THE PROJECT, THE CONTRACTOR SHALL DOCUMENT, ISSUE SCALES OR SCALED DRAWINGS FOR FIELD CHANGES THAT ARE PROPOSED OR MADE WHICH VARY FROM THE BASIS OF DESIGN. CONSULTANT EXPENSES THAT ARE INCURRED DUE TO SERVICES OR REVISIONS REQUIRED BY BUILDING DEPARTMENT, OWNER, CONTRACTOR, MANUFACTURER SHALL BE COMPENSABLE TO THE CONSULTANT BY THE CONTRACTOR.
8. INSTALLATION, TESTING AND BALANCING, START UP, COMMISSIONING AND PERFORMANCE TROUBLESHOOTING OF SYSTEMS- CONTRACTOR RECOGNIZES HE IS SOLELY RESPONSIBLE FOR PERFORMANCE AND COMPLETION OF THESE SERVICES AS PART OF THE PROJECT REQUIREMENTS DURING THE COURSE OF THE PROJECT. THE CONTRACTOR SHALL DOCUMENT THE SERVICES COMPLETED TO THE OWNER AND A/E. CONSULTANT EXPENSES THAT ARE INCURRED DUE TO SUPPORTING SERVICES OR REVISIONS REQUIRED BY BUILDING DEPARTMENT, OWNER, CONTRACTOR, MANUFACTURER SHALL BE COMPENSABLE TO THE CONSULTANT BY THE CONTRACTOR.

## UL LISTING AND NRTL CERTIFICATIONS NOTE

CONTRACTOR/MANUFACTURER SHALL PROVIDE COMPLETE DOCUMENTATION AND CERTIFICATIONS FOR ANY EQUIPMENT THAT HE PROPOSES WITH A NRTL (NATIONALLY RECOGNIZED TESTING LAB) LISTING AND LABELING EQUIVALENT TO THE BASIS OF DESIGN UL LISTING.  
IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM ACCEPTABILITY BY THE LOCAL A/E AND AGENCIES FOR THE NRTL LISTING AND CERTIFICATION FOR THE PRODUCTS HE PROPOSES AND DEMONSTRATE SUCH AS PART OF THE PRODUCT DATA SUBMISSION AND INSTALLATION.

## SITE LIGHTING/PHOTOMETRIC NOTES

1. COORDINATE AND VERIFY ALL SITE ELECTRICAL REQUIREMENTS WITH ARCHITECT PRIOR TO ANY CONSTRUCTION/ INSTALLATION.
2. THE COMPLETE STREET LIGHTING POLE MOUNTED ASSEMBLY MUST WITHSTAND A MINIMUM 175 MPH WINDLOADS. CALCULATIONS AND FOUNDATION DESIGN BY CIVIL/STRUCTURAL ENGINEER.
3. PROVIDE IN-LINE FUSES AT EACH POLE, ONE IN EACH HOT LEG.
4. ALL SITE LIGHTING CONDUITS SHALL BE BURIED AT A MINIMUM OF 24" BELOW FINISHED GRADE.
5. ALL SITE LIGHTING SHALL BE PHOTOCELL CONTROLLED UNLESS SPECIFIED OTHERWISE.

## SITE POLE NOTE

WIND LOAD CALCULATIONS AND SITE POLE STRUCTURAL DETAILS ARE TO BE SUBMITTED TO THE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO CONSTRUCTION. (BY CONTRACTOR AND HIS DELEGATED P.E. STRUCTURAL ENGINEER)

## GENERAL ELECTRICAL NOTES

1. DO NOT SCALE THE ELECTRICAL DRAWING. REFER TO THE ARCHITECTURAL PLAN AND ELEVATIONS FOR EXACT LOCATION OF ALL EQUIPMENT AND CONFORM WITH OWNERS REPRESENTATIVES. CONTRACTOR SHALL REFER TO THE ENTIRE SET OF CONTRACT DOCUMENTS FOR PROJECT COORDINATION.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE EDITIONS CURRENTLY ADOPTED BY THE LOCAL AUTHORITIES HAVING JURISDICTION OF THE FOLLOWING: THE NATIONAL ELECTRICAL CODE (NFPA 70), NFPA 72, NFPA 75, THE FIRE PREVENTION CODE INCLUDING NFPA 1 & NFPA 101, NFPA 100, AND THE FBC, AND THE FPPC.
3. UNLESS OTHERWISE NOTED, ALL CONDUCTORS SHALL BE COPPER, WITH "THWN" INSULATION FOR SIZE #10 AND SMALLER. CONDUCTORS LARGER THAN #10 SHALL HAVE "THWN" INSULATION. ALL CONDUCTORS IN WET LOCATIONS MUST HAVE "THWN" INSULATION. ALL CONDUCTORS #10 AND SMALLER MAY BE SOLID. ALL CONDUCTORS #10 AND LARGER SHALL BE STRANDED. ALL CONDUCTORS MUST COMPLY WITH ARTICLE 310 OF THE NEC.
4. OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.
5. DISCONNECT SWITCHES SHALL BE H.P. RATED, HEAVY DUTY, QUICK MAKE, QUICK BREAK, WITH ENCLOSURES AS REQUIRED BY EXPOSURE.
6. THESE PLANS DO NOT SHOW EVERY MINOR DETAIL OF CONSTRUCTION, THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND MEET ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
7. THE ELECTRICAL SYSTEM SHALL BE COMPLETELY AND EFFECTIVELY GROUNDED AS REQUIRED IN ARTICLE 250, NATIONAL ELECTRICAL CODE. THE GROUNDING SYSTEM SHALL BE TESTED AND SHALL BE PROVIDED TO MEASURE A MAXIMUM OF 5 OHMS. PROVIDE A COPY OF THE TEST REPORT TO ENGINEER.
8. ALL MATERIALS SHALL BE NEW AND SHALL BEAR UL LABELS WHERE APPLICABLE.
9. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS WORKMANSHIP MANNER. THE COMPLETE SYSTEM SHALL BE FULLY OPERATIVE AND ACCEPTANCE BY ENGINEER/ARCHITECT MUST BE A CONDITION OF THE SUBCONTRACTOR.
10. THE ELECTRICAL INSTALLATION SHALL MEET ALL STANDARD REQUIREMENTS OF POWER, LIGHT COMPANY, TELEPHONE COMPANY, AND BROADBAND PROVIDER.
11. CIRCUITS SHOWN ON PLANS ARE TO DETERMINE LOAD DATA AND PANEL SIZE. THE CONTRACTOR SHALL PROVIDE CIRCUITS TO SUIT JOB CONDITIONS, BALANCE LOADS ON EACH PHASE.
12. SEE NOTES ON PLANS FOR OTHER REQUIREMENTS.
13. FURNISH AND INSTALL LIGHTING FIXTURES AND LAMPS AS CALLED FOR ON PLANS, OR AS SELECTED BY OWNER.
14. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROCESS OF CONSTRUCTION.
15. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY PHASE OF THE INSTALLATION WHICH MAY BE DAMAGED.
16. ALL REQUIRED INSURANCE SHALL BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY OF PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
17. CHECK ALL EQUIPMENT FOR PROPER VOLTAGE, PHASE, AND CURRENT BEFORE CONNECTION TO CIRCUITS AND START UP.
18. ELECTRICAL CONTRACTOR SHALL CHECK AND VERIFY EQUIPMENT FURNISHED AGAINST THOSE SPECIFIED OR INTENDED AND REVISE BRANCH CIRCUITS AS MAY BE REQUIRED WITH PRIOR APPROVAL OF ENGINEER/ARCHITECT.
19. ALL SYSTEMS AND ROUGH-IN SHALL BE CONCEALED IN FINISHED AREAS. COORDINATE WITH ARCHITECT.
20. THE ELECTRICAL PORTION OF THE CONTRACT DOCUMENTS ARE COORDINATED WITH THE BASIS OF DESIGN EQUIPMENT SPECIFIED BY DIVISION 16 AND OTHER DIVISIONS. WHERE THE CONTRACTOR ELECTS TO SUBSTITUTE A PRODUCT IN LIEU OF PROVIDING THE DESIGN BASIS, AND SAID SUBSTITUTION IS ACCEPTED BY THE A/E AND OWNER, THE CONTRACTOR SHALL MAKE ALL CORRECTIONS TO THE ELECTRICAL SYSTEM NECESSARY IN ORDER TO ENSURE A COMPLETE AND OPERATIONAL INSTALLATION OF THE EQUIPMENT AT NO ADDITIONAL COSTS. WHERE THE CONTRACTOR'S DECISION TO SUBSTITUTE PRODUCTS OR MODIFY DESIGN REQUIRING A/E SERVICES, THE A/E RESERVES THE RIGHT TO REQUEST COMPENSATION FROM THE CONTRACTOR FOR SAID SERVICES.
21. CONTRACTOR SHALL PROVIDE A CONTROLS TRADE SUBCONTRACTOR TO DESIGN AND INSTALL ALL CONTROLS TO MEET THE PROJECT REQUIREMENTS.

## AIR CONDITIONING EQUIPMENT AND CONTROLS SPECIFICATION

1. ELECTRICAL CONTRACTOR SHALL INSTALL ALL CONTROL RACEWAY (CONDUIT), WIRE INSTALLATION, CONNECTIONS ETC. IN ACCORDANCE WITH WIRING DIAGRAMS ON AIR EQUIPMENT.
2. A/E / ELECTRICAL PLANS OR DIAGRAMS FURNISHED BY MANUFACTURER OF THE EQUIPMENT.
3. ALL POWER WIRING FOR THE AIR CONDITIONING EQUIPMENT SHALL BE FURNISHED, INSTALLED AND CONNECTED UNDER THIS SECTION OF THE SPECIFICATION.
4. MECHANICAL CONTRACTOR SHALL PROVIDE MOTOR STARTERS FOR ALL AIR CONDITIONING EQUIPMENT. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL CONNECTIONS TO AIR CONDITIONING EQUIPMENT PER MANUFACTURER'S SPECIFICATIONS.
5. AIR CONDITIONING EQUIPMENT INCLUDES CONDENSER, COMPRESSOR AND FAN. FAN COIL UNITS, ELECTRICAL STRIP HEATER, THERMOSTAT, ETC.

PRIOR TO SUBMITTING THE BID, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND INFORM THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND THE EXISTING CONDITIONS AND SHALL INCLUDE IN THE BID TO CORRECT THE SAME AS DIRECTED. THE ENGINEER AND THE ARCHITECT, ARE NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM VERIFYABLE EXISTING CONDITIONS DISCOVERED AFTER CONTRACT HAS BEEN AWARDED. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD. ALL CHANGES SHALL BE SUBMITTED FOR REVIEW PRIOR TO INSTALLATION. NOT FOR BID UNTIL PERMIT HAS BEEN ISSUED.

## ELECTRICAL SHEET INDEX

SHEET#	DESCRIPTION
EP0.1	ELECTRICAL NOTES, LEGEND, & SPECS
EP1	ELECTRICAL PHOTOMETRIC PLAN

## FBC NOTE

1. CONTRACTOR SHALL COMPLY WITH FBC (C408 2.5.1) PROVIDE OWNER WITH A RECORD SET DRAWING OF COMPLETE INSTALLATION DRAWINGS.
2. CONTRACTOR SHALL COMPLY WITH FBC (C408 2.5.2) PROVIDE OWNER WITH OPERATIONAL MANUALS AND MAINTENANCE MANUALS.

## LIGHTING NOTES

1. ELECTRICAL CONTRACTOR TO VERIFY IF ANY LIGHTING FIXTURES REQUIRE STEP-DOWN TRANSFORMERS QUANTITY AND LOCATION OF THE TRANSFORMERS TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CONSULT ARCHITECT FOR LOCATIONS PRIOR TO BIDDING. PROVIDE ALL TRANSFORMERS AND INCLUDE IN BID.
2. ALL LIGHTING FIXTURES AND FANS TO BE SELECTED & LOCATED BY OWNER /ARCHITECT/INTERIOR DESIGNER, UNLESS OTHERWISE NOTED.
3. ARCHITECT TO SET MOUNTING HEIGHTS FOR ALL FIXTURES WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
4. CONTRACTOR TO PROVIDE LUMINANCES TO CONFORM TO ENERGY CODE, THERMAL ENVELOPE RATINGS.

## FLORIDA BUILDING CODE 2014 CONFORMANCE

1. CONTRACTOR TO PROVIDE ALL LABOR AND MATERIAL TO CONFORM TO FBC 2014 ENERGY COMPLIANCE, RELATED SECTIONS, AND STANDARDS.
2. OWNER SHALL PROVIDE SERVICES OF AN INDEPENDENT COMMISSIONING AGENT (a) TO PREPARE FUNCTIONAL TEST PROCEDURES DOCUMENT SYSTEMS PERFORMANCE, WITNESS CONTRACTOR TESTING, AS REQUIRED BY FBC FOR LIGHTING AND HVAC SYSTEMS.
3. CONTRACTOR SHALL PROVIDE SERVICES TO TEST, BALANCE AND COMMISSION THE SYSTEM VIA AN INDEPENDENT AGENT FOR THE MECHANICAL SYSTEMS ENERGY PERFORMANCE.
4. CONTRACTOR TO PROVIDE COMPLETE CERTIFICATIONS AND CHECKLISTS AS REQUIRED BY FBC FOR HIS WORK RESPONSIBILITIES.

## VOLTAGE DROP NOTE

THE CONTRACTOR, AS PART OF HIS PRICING AND BIDDING, SHALL INCLUDE ALL LABOR, MATERIAL, EQUIPMENT AND TERMINATIONS, INCLUDING FPL AND UTILITY REQUIREMENTS AND APPROVALS FOR ALL CONDUITING AND TERMINATIONS, TO SATISFY THE PROJECT REQUIREMENTS. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND INCLUDE ALL HIS BRANCH CIRCUIT, FEEDER, AND SERVICE CONDUIT CONDUITING AND WIRING LENGTHS AND ROUTING BASED ON HIS PROPOSED INSTALLATION MEANS AND METHODS. WIRING LENGTHS, SHOWN AS THE BASIS OF DESIGN LENGTHS, ARE MERELY AN APPROXIMATION BY THE CONSULTANT. THE CONTRACTOR SHALL USE THOSE BASIS OF DESIGN CONDUIT LENGTHS AND WIRING SIZES AS THE MINIMUM, NOT LIMITED TO, REQUIREMENTS FOR THE PROJECT BIDDING. THE CONTRACTOR, PRIOR TO BIDDING, SHALL CONFIRM ALL HIS PROPOSED LENGTHS, MAKE ANY AND ALL ADJUSTMENTS AS MAY IMPACT THE ELECTRICAL SYSTEMS AND EQUIPMENT FOR CODE COMPLIANCE AND CONSTRUCTION, AND DOCUMENT ALL PROPOSED CHANGES AND ADJUSTMENTS TO THE ARCHITECT AS PART OF HIS BID RESPONSE. THE CONTRACTOR SHALL SUBMIT COMPLETE SCALED PROPOSED ROUTINGS FOR SERVICES AND FEEDERS, QUANTITIES AND CONDUITING SECTIONS THRU BUILDING FOR RACKING, DUCT/RAK CROSS SECTIONS FOR CLEARANCES AND COORDINATED AS FREE OF ALL INTERFERENCES, ETC. CONTRACTOR SHALL SUBMIT ALL DOCUMENTATION TO THE ARCHITECT FOR REVIEW NO LATER THAN 3 WEEKS AFTER NOTICE TO PROCEED.

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**GLIDDENSPNA + PARTNERS**  
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NEW CONSTRUCTION FOR:  
**TURTLE BEACH PUD**  
PGA Boulevard  
Palm Beach Gardens, FL 33410

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Project Architect: WC  
Partner: AN



EP0.1  
PHOTOMETRICS

ELECTRICAL NOTES, LEGEND AND SPECS